

SITE INFO

PROPERTY OWNER:
DT REALTY LLC
610 NW 161ST CIRCLE
RIDGEFIELD, WA 98642

PROPERTY ADDRESS:
1951 SCHURMAN WAY
WOODLAND, WA 98614

PARCEL NUMBER:
PROPERTY ID

JURISDICTION:
NEIGHBORHOOD
SECTION-TOWNSHIP-RANGE

AREA:
ABBREVIATED PROP REF
816 (WOODLAND OUTLOT) - W/DOL -289B 13 -5N -1W STRONG D.L.C. W/D12136 LOT 1 EXC W/D12136 LOT 2 FEE 3103589.

NEIGHBORHOOD ZONING:

DOR LAND USE CODE 91 - UNDEVELOPED LAND
NEIGHBORHOOD KALAMA/WOODLAND INDUSTRIAL
TAX CODE AREA 900

APPLICANT:
WILSON ARCHITECTS PLLC
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rusty@wilsonarchitects.us

501810102
3050492

JURISDICTION
KALAMA/WOODLAND INDUSTRIAL
13-5N-1W

3.06 ACRES

KALAMA/WOODLAND INDUSTRIAL
I-1

CONST. DATA

NOTE: THE PROPOSED ONE STORY STRUCTURE IS SLAB ON GRADE WITH WOOD STRUCTURAL WALL AND ROOF FRAMING SYSTEM. CONSTRUCTION TYPE V-B.
TYPE OF CONST. (IBC 602.1)
OFFICE WOOD FRAME
OCCUPANCY:
MAX ALLOWABLE:
STORIES
HEIGHT

V-B SPRINKLERED
B, S1

1
25'-3"

FLOOR AREA
BASEMENT NO
MAIN FLOOR AREA 15,050 SF
MEZZANINE 1,250 SF

KEY NOTES

- | | |
|--------------------------------------|---|
| 1 PROPOSED WAREHOUSE AND OFFICE | 11 DETENTION POND AND BIOFILTRATION SWALE SEE CIVIL DUG |
| 2 LOADING BAY | 12 SHARED DRIVEWAY |
| 3 EV GOLF CART CHARGING STATION | 13 LANDSCAPE AREA |
| 4 WASHING AREA | 14 TRANSFORMER PAD SEE ELECT DUG |
| 5 CONCRETE PAVING | 15 MECH EQUIP PAD SEE MECH DUG |
| 6 TRASH ENCLOSURE | 16 LOADING AREA |
| 7 STANDARD PARKING | |
| 7.1 EV STANDARD PARKING | |
| 8 ADA PARKING WITH SIGN | |
| 9 5' WIDE PEDESTRIAN WALKWAY | |
| 10 BIOFILTRATION SWALE SEE CIVIL DUG | |

TOXIC HAZARDS

IF ASBESTOS CONTAINING EXTERIOR CAULK IS TO BE REMOVED OR OTHERWISE DISTURBED, WORK MUST BE PERFORMED BY QUALIFIED AND TRAINED PROFESSIONALS IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS. SCOPE AND CONTRACT FOR ANY ASBESTOS-RELATED WORK SHALL BE SUBMITTED TO CITY OF VANCOUVER PRIOR TO THE WORK BEING PERFORMED.

STORM WATER

ONSITE STORM FACILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE OWNER. A COVENANT RUNNING WITH THE LAND IS GRANTED TO THE CITY OF VANCOUVER FOR ACCESS AND THE CITY OF VANCOUVER FOR ACCESS AND FOR ACCESS AND INSPECTION OF THE PRIVATE STORM FACILITIES.

INADVERTENT DISCOVERY

IN THE EVENT OF AN INADVERTENT DISCOVERY OF POTENTIALLY SIGNIFICANT ARCHAEOLOGICAL MATERIALS (BONES, SHELL, STONE TOOLS, HEARTHES, ETC) AND/OR HUMAN REMAINS DURING PROJECT ACTIVITIES, ALL WORK IN THE IMMEDIATE VICINITY SHOULD STOP, THE AREA MUST BE SECURED, AND THE DISCOVERY MUST BE REPORTED TO THE DEPARTMENT OF ARCHAEOLOGY AND HISTORIC PRESERVATION (DAHP) (360-586-3065) AND ALL RELEVANT NATIVE AMERICAN TRIBES. IN THE EVENT HUMAN REMAINS ARE IDENTIFIED, LOCAL LAW ENFORCEMENT, THE COUNTY MEDICAL EXAMINER, STATE PHYSICAL ANTHROPOLOGIST AT DAHP (360-586-3534), THE CLARK COUNTY PLANNING OFFICE, AND THE AFFECTED TRIBES SHOULD BE CONTACTED IMMEDIATELY. COMPLIANCE WITH ALL APPLICABLE LAWS PERTAINING TO ARCHAEOLOGICAL RESOURCES (RCW 27.53, 27.44 AND WAC 25-48) AND HUMAN REMAINS (RCW 68.50) IS REQUIRED.

SITE CALCULATIONS

SITE AREA CALCULATION		
LOT AREA	133,293.60 SF	PERCENTAGE %
BUILDING FOOTPRINT/COVERED SHED ROOF	15,050.00 SF	11.29% %
TRASH ENCLOSURE	200.00 SF	0.15% %
PEDESTRIAN WALKWAY	1,080.00 SF	0.81% %
MECH/ELECT PAD/APPRON	318.00 SF	0.24% %
PERIMETER LANDSCAPE AREA	37,284.00 SF	27.97% %
INTERIOR LANDSCAPE	4,923.00 SF	3.69% %
PAVING	74,438.60 SF	55.85% %
TOTAL AREA	133,293.60 SF	100.00% %

BUILDING AREA	
OFFICE	3,675 SF
WAREHOUSE/WORK AREA	3,125 SF
WAREHOUSE/EV STATION	3,750 SF
ROOF SHED AREA	4,500 SF
TOTAL AREA	15,050 SF

MEZZANINE FLOOR	
	1,250 SF

WOODLAND MUNICIPAL CODE

SITE AREA
APPROXIMATE AREA INFO: (3.06 ACRES)

CHAPTER 17.44 - LIGHT INDUSTRIAL DISTRICT (I-1)
MAXIMUM HT 45 FT
I-1 USE BUILDINGS (MAXIMUM HT)

I-1 USE BUILDINGS (MAXIMUM HT)
MORE THAN FIFTY-FIVE FEET TO EAVE HEIGHT. 55 FT

17.44.070 - BUILDING SETBACKS.
FRONT SETBACK 10 FT
SIDE YARD MINIMUM 25 FT
REAR SETBACK 25 FT

LOT COVERAGE: NO LOT COVERAGE LIMITATIONS

17.44.100 - OFF-STREET PARKING AND LOADING.

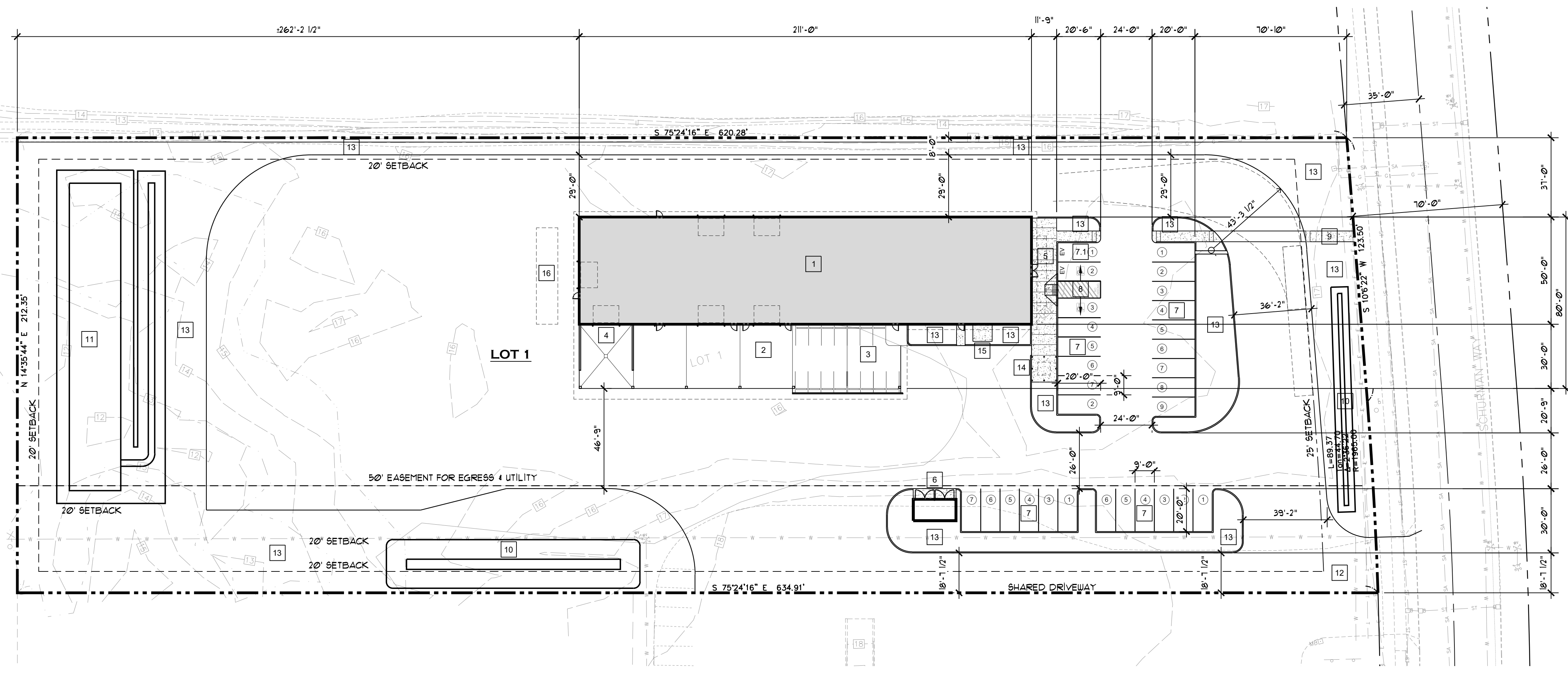
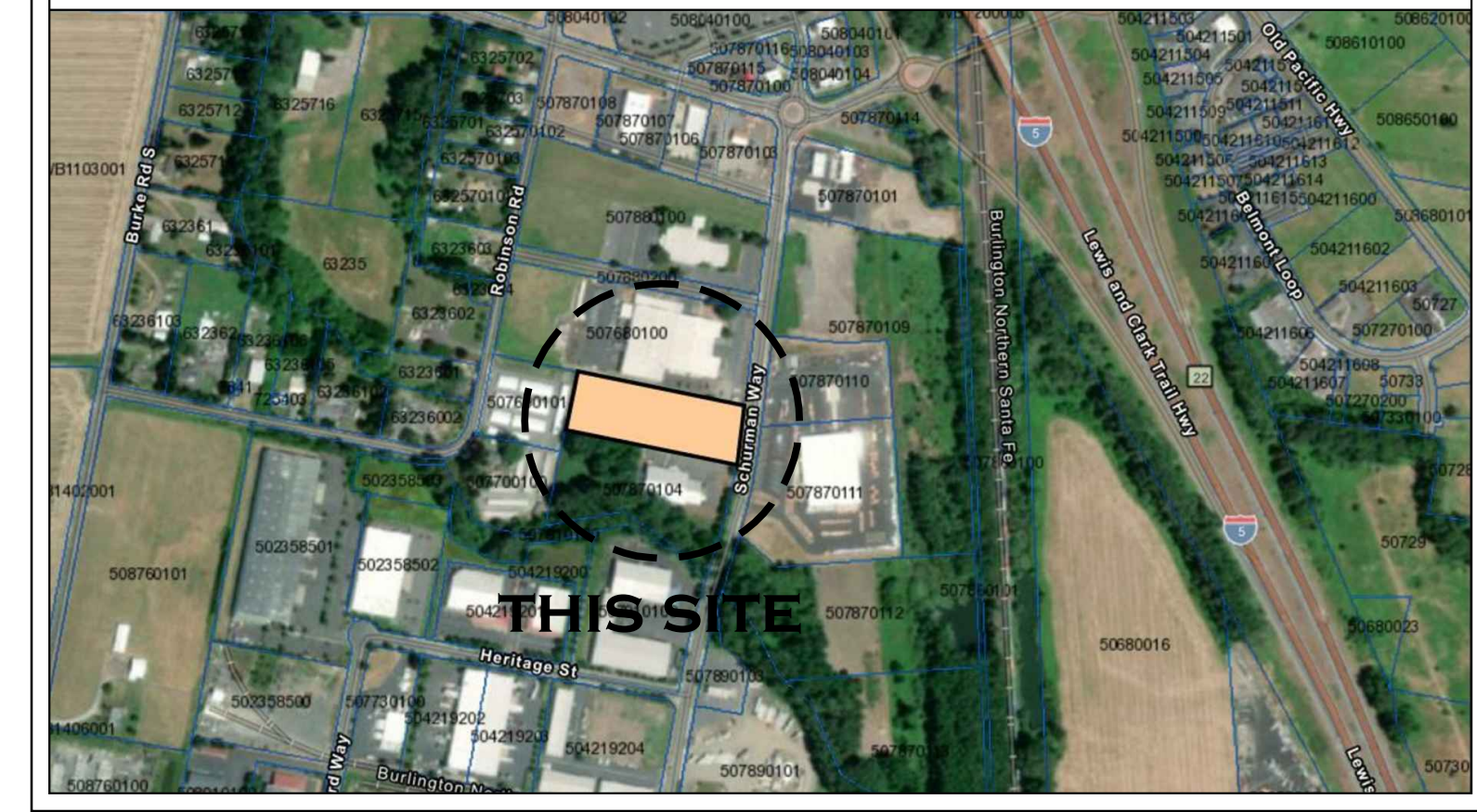
17.44.133 - LANDSCAPING PLAN REQUIREMENTS.

17.44.136 - LANDSCAPE DESIGN AND SCREENING REQUIREMENTS, PER LANDSCAPE PLAN - L11

PARKING REQUIREMENT
CHAPTER 17.56 - OFF-STREET PARKING AND LOADING REQUIREMENTS
OFFICE: 1:200 SF GROSS
STORAGE AND WAREHOUSING:

17.56.160 - ELECTRIC VEHICLE CHARGING STATION SPACES.

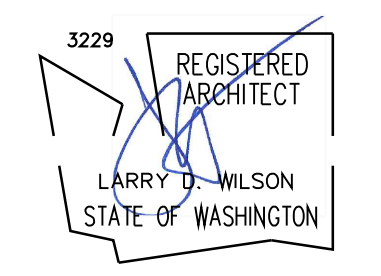
VICINITY MAP



SITE PLANE
SCALE: 1/32" = 1'-0"



WILSON ARCHITECTS, PLLC
404 E 15TH ST. #7
VANCOUVER, WA.
98663
(360) 696-4722



SITE PLAN REVIEW 04-13-22

WAREHOUSE & OFFICE
1951 SCHURMAN WAY
WOODLAND, WA 98674

DATE	SCALE
03-24-22	AS NOTED
JOB NO. 4221	DRAWN BY RGM
REVISIONS:	
1	
2	
3	
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10	

A1.1
SITE PLAN & KEYNOTES

