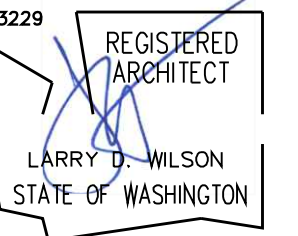


# WAREHOUSE AND OFFICE

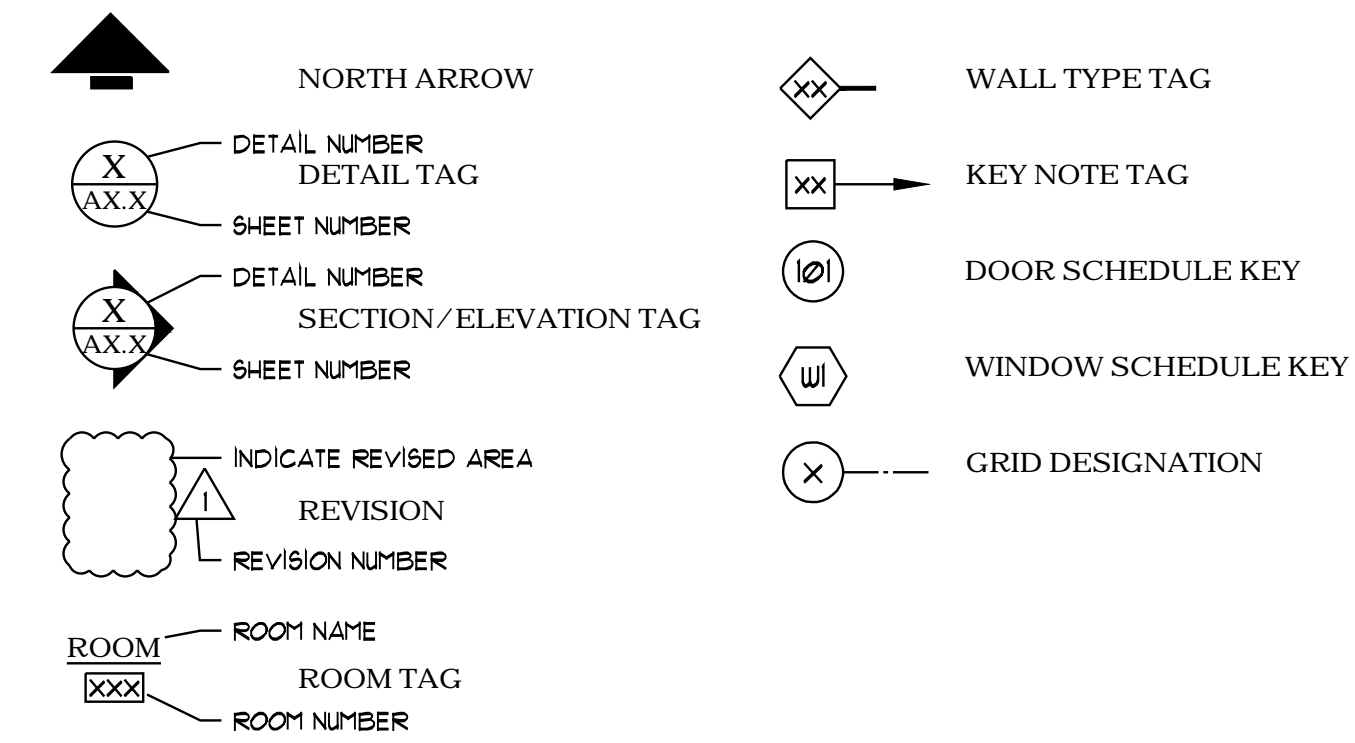
1951 SCHURMAN WAY  
WOODLAND, WA 98674



WILSON  
ARCHITECTS, PLLC  
404 E 15th ST. #7  
Vancouver, Wa.  
98663  
(360) 696-4722



## LEGEND OF SYMBOLS



## ABBREVIATIONS

•	FOUND OR NUMBER	EJ.	EXPANSION JOINT	FLUMB	PLUMBING
+	AND	EXT	EXTERIOR	PLYWD	PLYWOOD
△	AT	FD	FLOOR DRAIN	P.T.	PRESSURE TREATED
ACT	ACOUSTIC CEILING TILE	FEC	FIRE EXTINGUISHER CABINET	PNT	PAINT/PAINTED
AFF.	ABOVE FINISHED FLOOR	FFL	FINISH FLOOR LINE	PVC	POLYVINYL CHLORIDE
ALUM	ALUMINUM	FIXT	FIXTURE	RBR	RUBBER
ANOD	ANODIZE	FLR	FLOOR	RCP	REFLECTED CEILING PLAN
BSMT	BASEMENT	F.O.	FACE OF	R.D.	ROOF DRAIN
BYND	BEYOND	FRP	FIBER GLASS REINFORCED	REQD	REQUIRED
BOT	BOTTOM	FLASTIC	PLASTIC	RM	ROOM
C.I.P.	CAST IN PLACE	FRD	FOUNDATION	SHM	SIMILAR
CHNL	CHANNEL	GA	GAUGE	SPEC	SPECIFICATION OR SPECIFIED
C.J.	CONTROL JOINT	GALV	GALVANIZED	SFKLR	SPRINKLER
CLG	CEILING	GWB	GYP SUM BOARD	S6TL	STAINLESS STEEL
CLR	CLEAR	H.C.	HOLLOW CORE	S.T.C.	SOUND TRANSMISSION CONTROL
CMU	CONCRETE MASONRY UNIT	HT.	HEIGHT	STL	STEEL
COL	COLUMN	H.M.	HOLLOW METAL	STRUCT.	STRUCTURAL
COMPR	COMPRESSIBLE	HR	HOUR	TBD	TO BE DETERMINE
CONC	CONCRETE	HVAC	HEATING VENTILATING AND AIR CONDITIONING	T&G	TONGUE AND GROOVE
CONT	CONTINUOUS	INSUL	INSULATED OR INSULATION	TELE	TELEPHONE
CPT	CARPET	INT	INTERIOR	TL	TILE
CT	CERAMIC TILE	LO	LOW	T.O.	TOP OF
DBL	DOUBLE	LO	LOW	T.O.B.	TOP OF BEAM
DEMO	DEMOLISH	MAX.	MAXIMUM	T.O.C.	TOP OF CONCRETE
DIA	DIAMETER	MEL	MELAMINE	T.O.F.	TOP OF FLOOR
DIM	DIMENSION	M.O.	MASONRY OPENING	T.O.P.	TOP OF PLATE
DN	DOWN	MECH	MECHANICAL	T.O.R.	TOP OF ROOF
DR	DOOR	MEMBR	MEMBRANE	T.O.S.	TOP OF STEEL
DWG	DRAWING	MIN	MINIMUM	TP	TOILET PAPER DISPENSER
EA	EACH	MIRGWB	MOISTURE RESISTANT GYPSUM WALL BOARD	T/D	TELEPHONE DATA
EIFS	EXTERIOR INSULATION & FINISH SYSTEM	MTL	METAL	TYP	TYPICAL
EL	ELEVATION	N.I.C.	NOT IN CONTRACT	UN.	UNLESS OTHERWISE NOTED
ELEC	ELECTRICAL	NO NOM	NUMBER NOMINAL	U/S	UNDERSIDE
ELEV	ELEVATOR	O.C.	ON CENTER	V.F.	VERIFIED IN FIELD
EPDM	ETHYLENE PROPYLENE DIENE	O.H.	OPPOSITE HAND	V.P.	VISION PANEL
EQUAL	EQUAL	O/	OVER	W/	WITH
EXIST'G	EXISTING	P.C.C.	PRE-CAST CONCRETE	WD	WOOD
		P-LAM	PLASTIC LAMINATED		

## PROJECT TEAM

**ARCHITECT:**  
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**ELECTRICAL**  
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RONALD ATHAY, P.E.  
411 NE 83RD ST.  
VANCOUVER, WA 98665  
PHONE: (360) 574-0193  
FAX: (360) 574-0209  
EMAIL: rathay@athayeng.com

**OWNER:**  
PACIFIC GOLF AND TURF LLC  
MARK DAWKINS  
14625 SE STARK  
PORTLAND OR 97233  
PHONE: .  
FAX: .  
EMAIL: .

**CIVIL**  
PLS ENGINEERING  
ANDREW GUNTHER, P.E.  
604 W. EVERGREEN BLVD.  
VANCOUVER, WA 98660  
PHONE: (360) 944-6519  
FAX: .  
EMAIL: andrew@plsengineering.com

**LANDSCAPE**  
ANDERSON ASSOCIATES  
BRITT KILLIAN, P.E. SE  
P.O. BOX 872276  
VANCOUVER, WA 98687  
PHONE: (503) 318-0549  
FAX: .  
EMAIL: dave@andersonassoc-la.net

## SHEET INDEX

### ARCHITECTURAL

- C - COVER SHEET
- A0.1 - PROJECT INFORMATION
- A1.1 - SITE PLAN FOR REFERENCE
- A1.2 - TRASH ENCLOSURE
- A2.1 - BUILDING ELEVATIONS & KEY NOTES
- A2.2 - BUILDING ELEVATIONS & KEY NOTES
- A2.3 - BUILDING SECTIONS
- A2.4 - BUILDING SECTIONS
- A3.1 - FIRST FLOOR PLAN AND KEY NOTES
- A3.2 - MEZZANINE FLOOR PLAN

### LANDSCAPE

- L1.1 - LANDSCAPE PLAN (PRELIMINARY)

### CIVIL

- 01 - COVER SHEET
- 02 - GENERAL NOTES & LEGEND
- 03 - EXISTING CONDITIONS
- 04 - GRADING & EROSION CONTROL PLAN (WEST)
- 05 - GRADING & EROSION CONTROL PLAN (EAST)
- 06 - EROSION CONTROL DETAILS
- 07 - DRAINAGE & SITE IMPROVEMENT PLAN (WEST)
- 08 - DRAINAGE & SITE IMPROVEMENT PLAN (EAST)
- 09 - SANITARY SEWER & WATER PLAN
- 10 - MISCELLANEOUS DETAILS
- 11 - MISCELLANEOUS DETAILS
- 12 - CITY OF WOODLAND STANDARD TRANSPORTATION & DRAINAGE
- 13 - CITY OF WOODLAND STANDARD WATER DETAILS
- 14 - CITY OF WOODLAND STANDARD WATER DETAILS
- 15 - CITY OF WOODLAND STANDARD WATER DETAILS

### ELECTRICAL

- E1.1 - ELECTRICAL SITE PLAN
- E1.1 - ELECTRICAL PT-PT PARKING PLAN

SITE PLAN REVIEW 04-13-22

WAREHOUSE & OFFICE  
1951 SCHURMAN WAY  
WOODLAND, WA 98674

DATE	SCALE
03-24-22	AS NOTED
JOB NO.	DRAWN BY
4221	REGM
REVISIONS:	
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C

PROJECT TEAM  
SHEET INDEX  
LEGEND  
ABBREVIATIONS





### SITE INFO

**PROPERTY OWNER:**  
DT REALTY LLC  
610 NW 161ST CIRCLE  
RIDGEFIELD, WA 98642

**PROPERTY ADDRESS:**  
1951 SCHURMAN WAY  
WOODLAND, WA 98614

**PARCEL NUMBER:**  
PROPERTY ID

**JURISDICTION:**  
NEIGHBORHOOD  
SECTION-TOWNSHIP-RANGE

**AREA:**  
ABBREVIATED PROP REF  
816 (WOODLAND OUTLOT) - W/DOL -289B 13 -5N -1W STRONG D.L.C. W/D12136 LOT 1 EXC W/D12136 LOT 2 FEE 3103589.

**NEIGHBORHOOD ZONING:**

**DOR LAND USE CODE 91 - UNDEVELOPED LAND**  
NEIGHBORHOOD KALAMA/WOODLAND INDUSTRIAL  
TAX CODE AREA 900

**APPLICANT:**  
WILSON ARCHITECTS PLLC  
ATTN: RUSTY MUYUELA  
P: (360) 696-4722  
F: (360) 696-0392  
rusty@wilsonarchitects.us

501810102  
3050492

JURISDICTION  
KALAMA/WOODLAND INDUSTRIAL  
13-5N-1W

3.06 ACRES

KALAMA/WOODLAND INDUSTRIAL  
I-1

### CONST. DATA

NOTE: THE PROPOSED ONE STORY STRUCTURE IS SLAB ON GRADE WITH WOOD STRUCTURAL WALL AND ROOF FRAMING SYSTEM. CONSTRUCTION TYPE V-B.  
TYPE OF CONST. (IBC 602.1)  
OFFICE WOOD FRAME  
OCCUPANCY:  
MAX ALLOWABLE:  
STORIES  
HEIGHT

V-B SPRINKLERED  
B, S1

1  
25'-3"

**FLOOR AREA**  
BASEMENT NO  
MAIN FLOOR AREA 15,050 SF  
MEZZANINE 1,250 SF

### KEY NOTES

- |                                      |   |
|--------------------------------------|---|
| 1 PROPOSED WAREHOUSE AND OFFICE      | 11 DETENTION POND AND BIOFILTRATION SWALE SEE CIVIL DUG |
| 2 LOADING BAY                        | 12 SHARED DRIVEWAY                                      |
| 3 EV GOLF CART CHARGING STATION      | 13 LANDSCAPE AREA                                       |
| 4 WASHING AREA                       | 14 TRANSFORMER PAD SEE ELECT DUG                        |
| 5 CONCRETE PAVING                    | 15 MECH EQUIP PAD SEE MECH DUG                          |
| 6 TRASH ENCLOSURE                    | 16 LOADING AREA   |
| 7 STANDARD PARKING                   |   |
| 7.1 EV STANDARD PARKING              |   |
| 8 ADA PARKING WITH SIGN              |   |
| 9 5' WIDE PEDESTRIAN WALKWAY         |   |
| 10 BIOFILTRATION SWALE SEE CIVIL DUG |   |

### TOXIC HAZARDS

IF ASBESTOS CONTAINING EXTERIOR CAULK IS TO BE REMOVED OR OTHERWISE DISTURBED, WORK MUST BE PERFORMED BY QUALIFIED AND TRAINED PROFESSIONALS IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL REGULATIONS. SCOPE AND CONTRACT FOR ANY ASBESTOS-RELATED WORK SHALL BE SUBMITTED TO CITY OF VANCOUVER PRIOR TO THE WORK BEING PERFORMED.

### STORM WATER

ONSITE STORM FACILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED BY THE OWNER. A COVENANT RUNNING WITH THE LAND IS GRANTED TO THE CITY OF VANCOUVER FOR ACCESS AND THE CITY OF VANCOUVER FOR ACCESS AND FOR ACCESS AND INSPECTION OF THE PRIVATE STORM FACILITIES.  
AF#:

### INADVERTENT DISCOVERY

IN THE EVENT OF AN INADVERTENT DISCOVERY OF POTENTIALLY SIGNIFICANT ARCHAEOLOGICAL MATERIALS (BONES, SHELL, STONE TOOLS, HEARTHES, ETC) AND/OR HUMAN REMAINS DURING PROJECT ACTIVITIES, ALL WORK IN THE IMMEDIATE VICINITY SHOULD STOP, THE AREA MUST BE SECURED, AND THE DISCOVERY MUST BE REPORTED TO THE DEPARTMENT OF ARCHAEOLOGY AND HISTORIC PRESERVATION (DAHP) (360-586-3065) AND ALL RELEVANT NATIVE AMERICAN TRIBES. IN THE EVENT HUMAN REMAINS ARE IDENTIFIED, LOCAL LAW ENFORCEMENT, THE COUNTY MEDICAL EXAMINER, STATE PHYSICAL ANTHROPOLOGIST AT DAHP (360-586-3534), THE CLARK COUNTY PLANNING OFFICE, AND THE AFFECTED TRIBES SHOULD BE CONTACTED IMMEDIATELY. COMPLIANCE WITH ALL APPLICABLE LAWS PERTAINING TO ARCHAEOLOGICAL RESOURCES (RCW 27.53, 27.44 AND WAC 25-48) AND HUMAN REMAINS (RCW 68.50) IS REQUIRED.

### SITE CALCULATIONS

SITE AREA CALCULATION		
LOT AREA	133,293.60 SF	PERCENTAGE %
BUILDING FOOTPRINT/COVERED SHED ROOF	15,050.00 SF	11.29%
TRASH ENCLOSURE	200.00 SF	0.15%
PEDESTRIAN WALKWAY	1,080.00 SF	0.81%
MECH/ELECT PAD/APPRON	318.00 SF	0.24%
PERIMETER LANDSCAPE AREA	37,284.00 SF	27.97%
INTERIOR LANDSCAPE	4,923.00 SF	3.69%
PAVING	74,438.60 SF	55.85%
<b>TOTAL AREA</b>	<b>133,293.60 SF</b>	<b>100.00%</b>

BUILDING AREA		
OFFICE	3,675 SF	
WAREHOUSE/WORK AREA	3,125 SF	
WAREHOUSE/EV STATION	3,750 SF	
ROOF SHED AREA	4,500 SF	
<b>TOTAL AREA</b>	<b>15,050 SF</b>	

MEZZANINE FLOOR		
	1,250 SF	

### WOODLAND MUNICIPAL CODE

**SITE AREA**  
APPROXIMATE AREA INFO: (3.06 ACRES)

**CHAPTER 17.44 - LIGHT INDUSTRIAL DISTRICT (I-1)**  
MAXIMUM HT 45 FT  
I-1 USE BUILDINGS (MAXIMUM HT)

I-1 USE BUILDINGS (MAXIMUM HT)  
MORE THAN FIFTY-FIVE FEET TO EAVE HEIGHT. 55 FT

**17.44.070 - BUILDING SETBACKS.**  
FRONT SETBACK 10 FT  
SIDE YARD MINIMUM 25 FT  
REAR SETBACK 25 FT

LOT COVERAGE: NO LOT COVERAGE LIMITATIONS

17.44.100 - OFF-STREET PARKING AND LOADING.

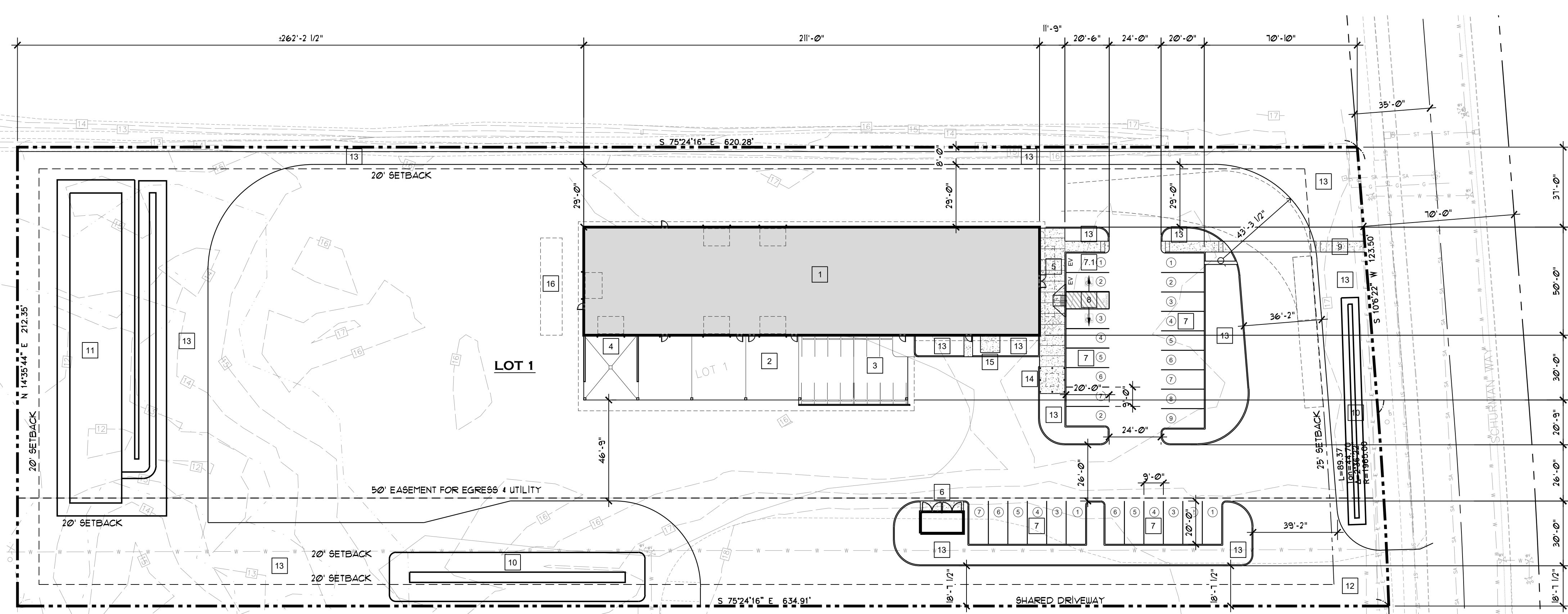
17.44.133 - LANDSCAPING PLAN REQUIREMENTS.

17.44.136 - LANDSCAPE DESIGN AND SCREENING REQUIREMENTS, PER LANDSCAPE PLAN - L11

**PARKING REQUIREMENT**  
CHAPTER 17.56 - OFF-STREET PARKING AND LOADING REQUIREMENTS  
OFFICE: 1:200 SF GROSS  
STORAGE AND WAREHOUSING:

17.56.160 - ELECTRIC VEHICLE CHARGING STATION SPACES.

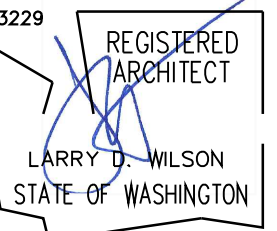
### VICINITY MAP



**SITE PLANE**  
SCALE: 1/32" = 1'-0"



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SITE PLAN REVIEW 04-13-22

WAREHOUSE & OFFICE  
1951 SCHURMAN WAY  
WOODLAND, WA 98674

DATE	SCALE
03-24-22	AS NOTED
JOB NO. 4221	DRAWN BY RGM
REVISIONS:	
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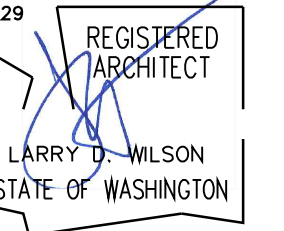
**A1.1**  
SITE PLAN & KEYNOTES



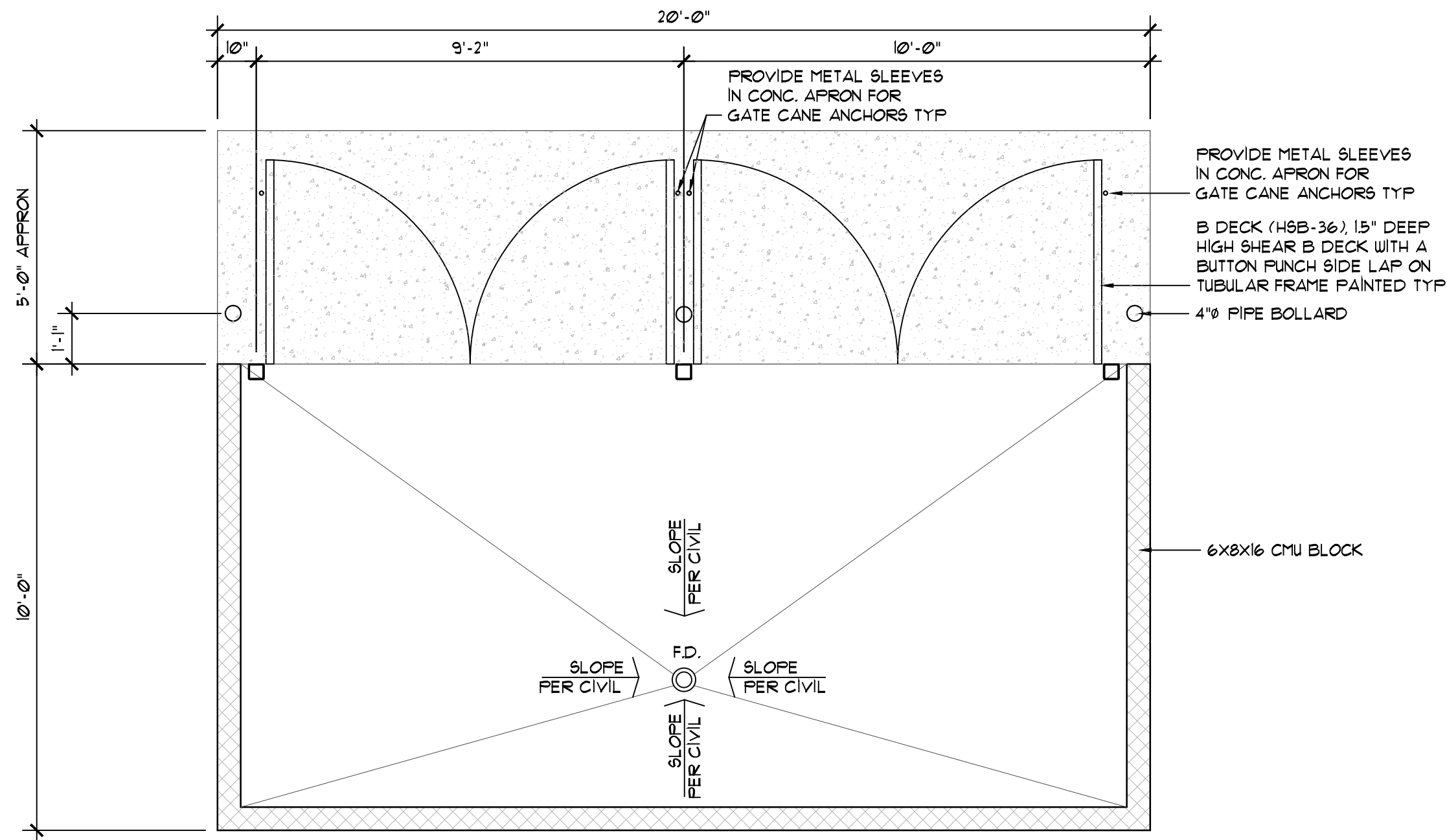




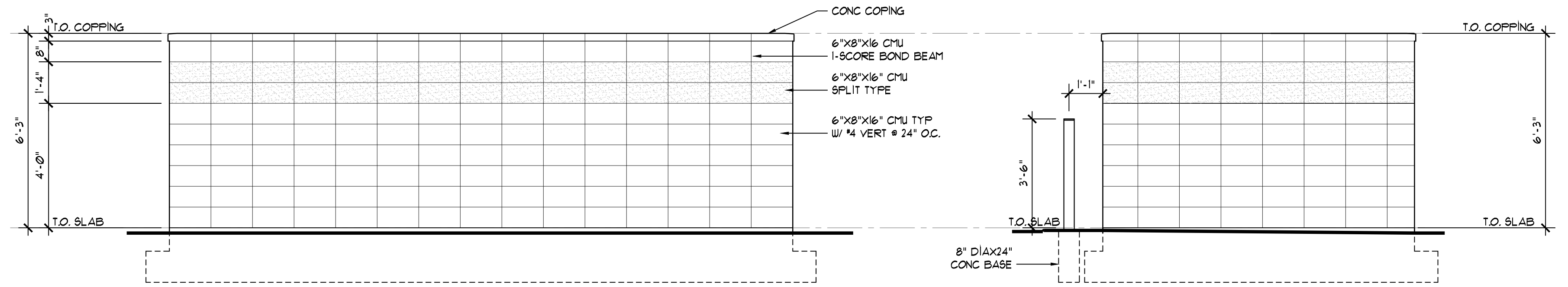
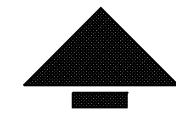
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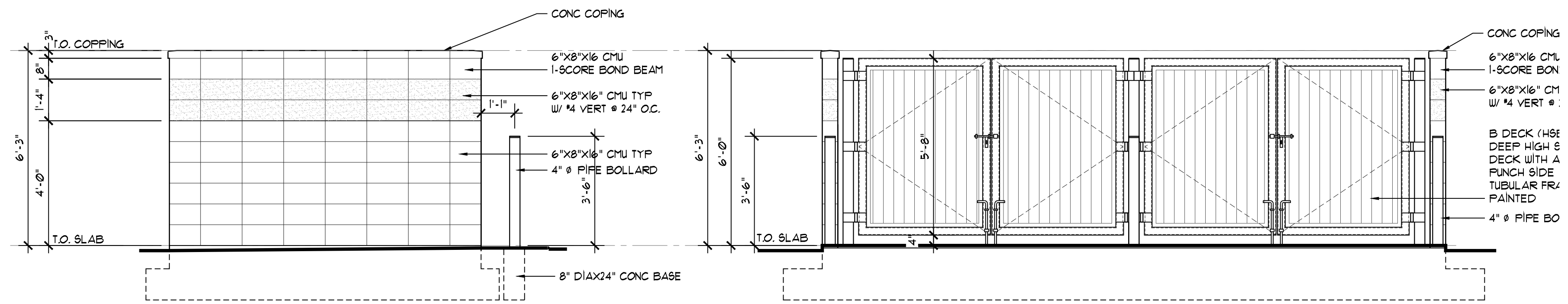


**1 FLOOR PLAN - 20'X10'**  
SCALE: 3/8" = 1'-0"



**3 SOUTH ELEVATION**  
SCALE: 3/8" = 1'-0"

**5 WEST ELEVATION**  
SCALE: 3/8" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 3/8" = 1'-0"

**4 NORTH ELEVATION**  
SCALE: 3/8" = 1'-0"

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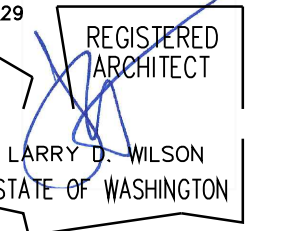
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**A1.2**  
TRASH ENCLOSURE PLAN, ELEV.



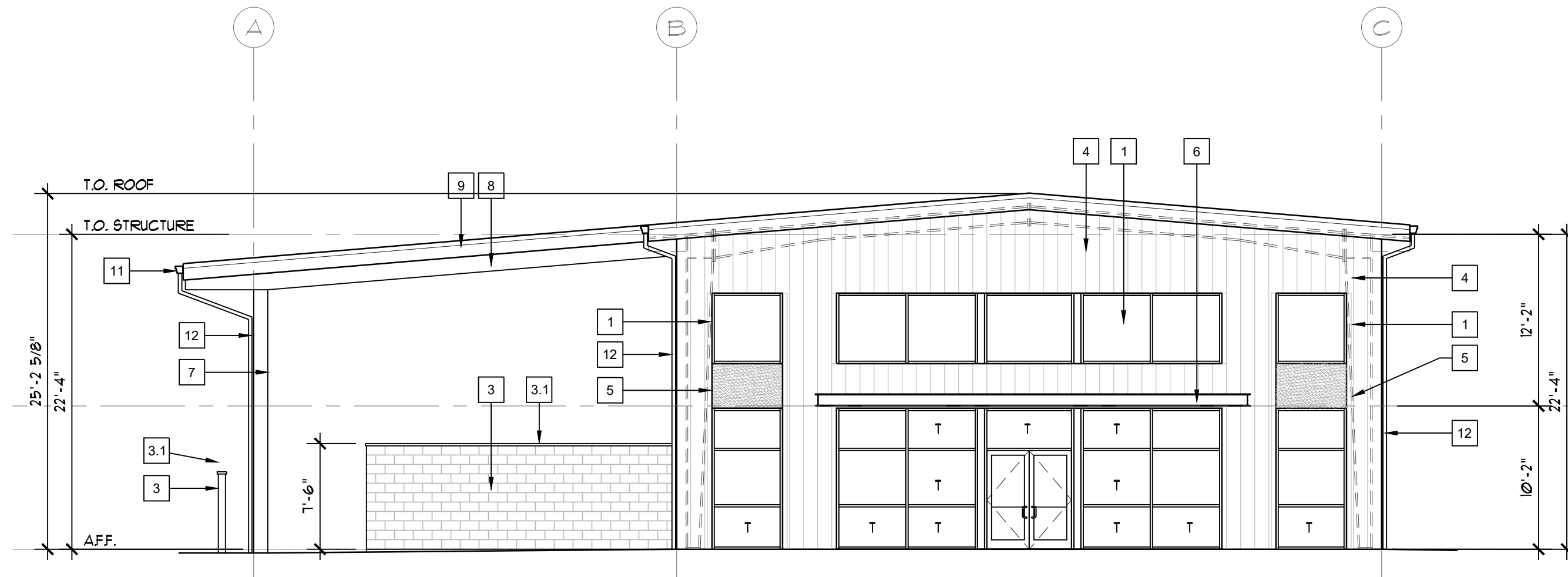


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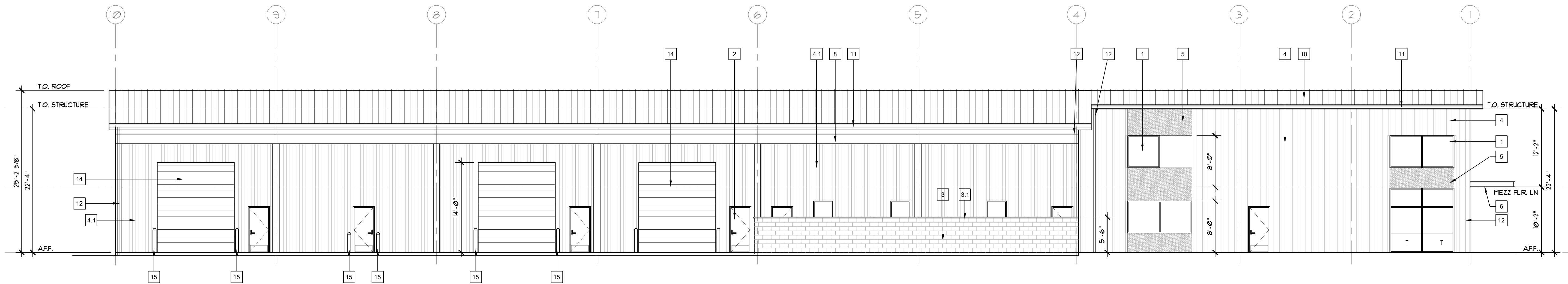


**KEY NOTES**

- 1 WINDOW SEE SCHEDULE TYP
- 2 DOOR SEE SCHEDULE TYP
- 3 CMU
- 3.1 STONE CAPPING
- 4 METAL PANEL TYPE 1
- 4.1 METAL PANEL TYPE 2
- 5 FIBER CEMENT PANEL
- 6 CANOPY PER METAL BLDG
- 7 STEEL POST PER STRUCT'L
- 8 STEEL STRUCTURE PER STRUCT'L
- 9 PRE-FINISHED METAL FLASHING
- 10 STANDING BEAM METAL ROOFING
- 11 PRE-FINISHED METAL GUTTER
- 12 DOWNSPOUT
- 13 EXTERIOR LIGHTING WALL MOUNTED SEE DETAIL X/ATX
- 14 ROLL-UP DOOR
- 15 BOLLARD
- 16 HOSE BIB
- 17 SUSPENDED ACOUSTIC CEILING
- 18 HARDLID
- 19 WELDED WIRE CAGE W/ 3' HINGED DOOR
- 20 CABLE TRAY



**2 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

SITE PLAN REVIEW 04-13-22

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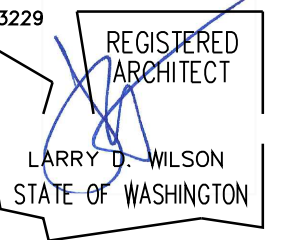
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**A2.1**  
BUILDING ELEVATIONS





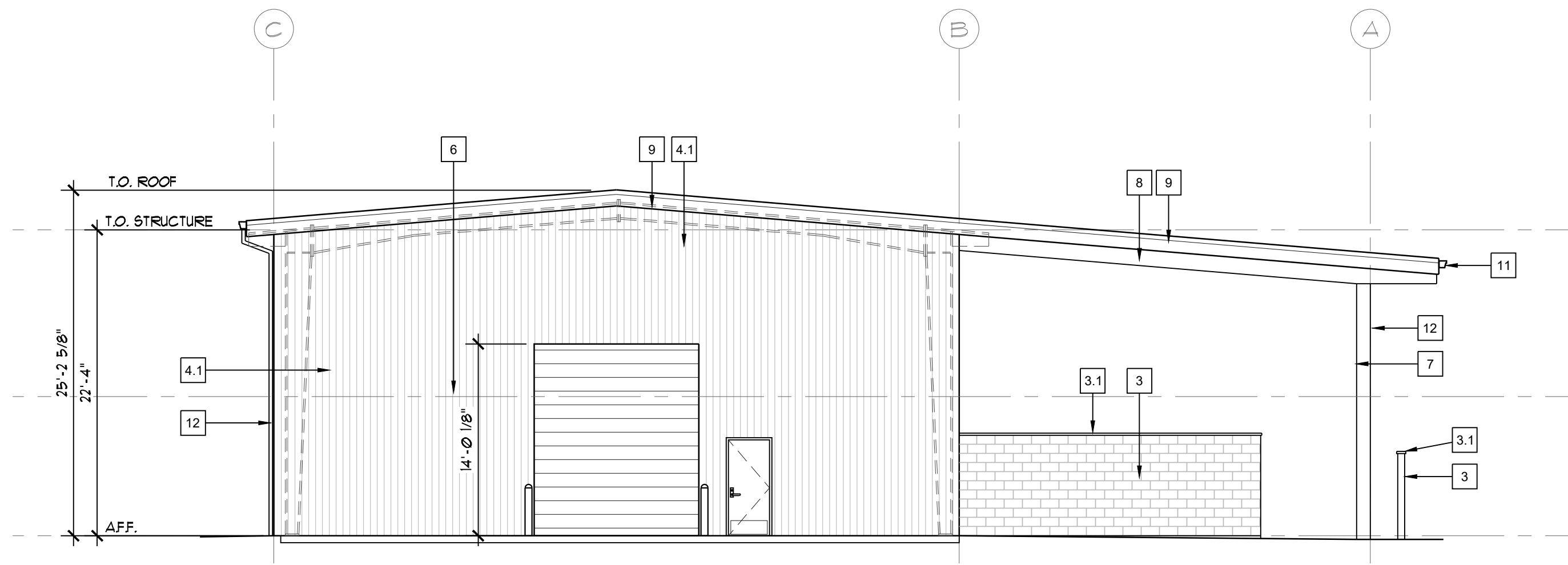
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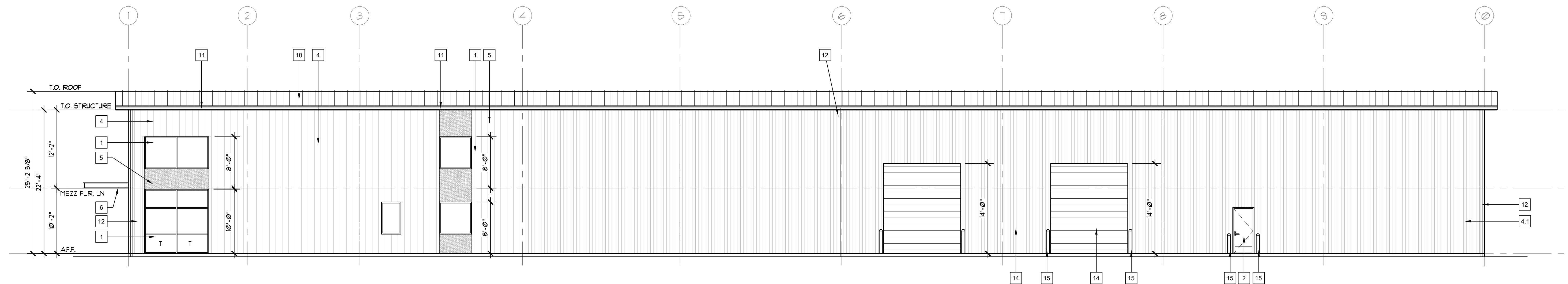
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SITE PLAN REVIEW 04-13-22



**2 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

WAREHOUSE & OFFICE  
1951 SCHURMAN WAY  
WOODLAND, WA 98674

DATE	SCALE
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4221	RG1
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**A2.2**  
BUILDING ELEVATIONS

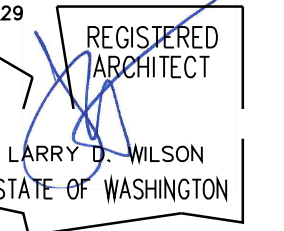


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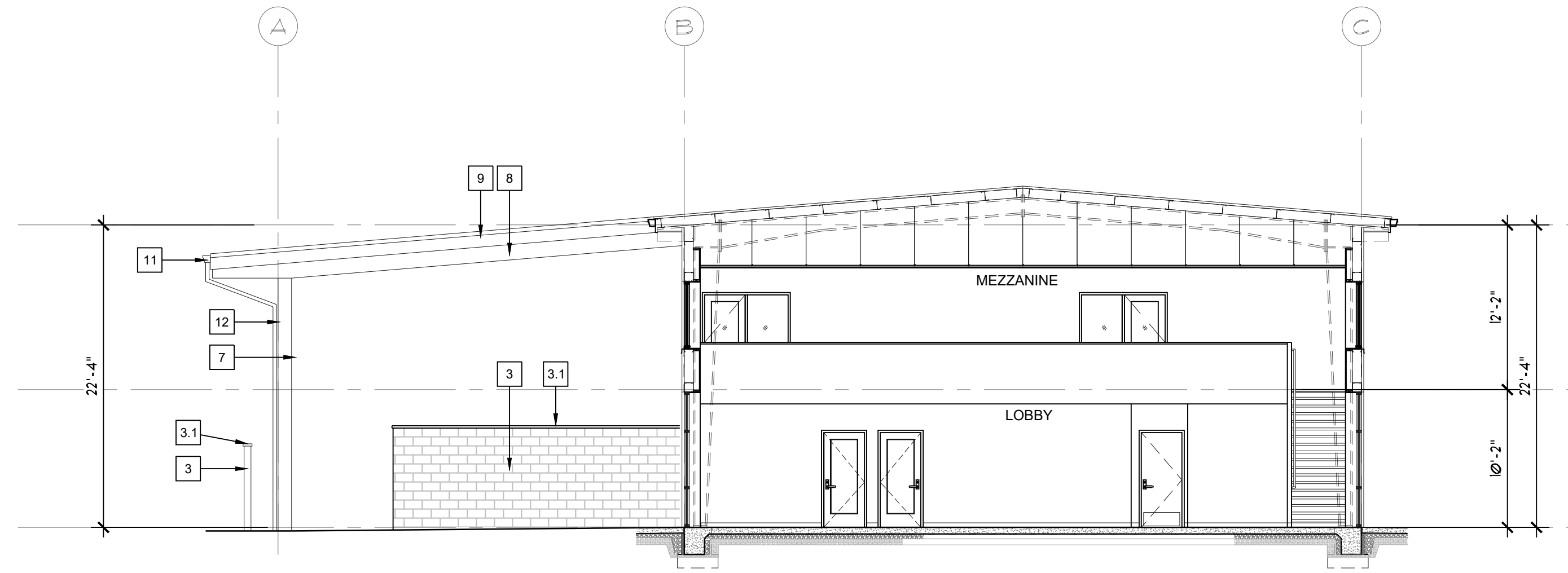
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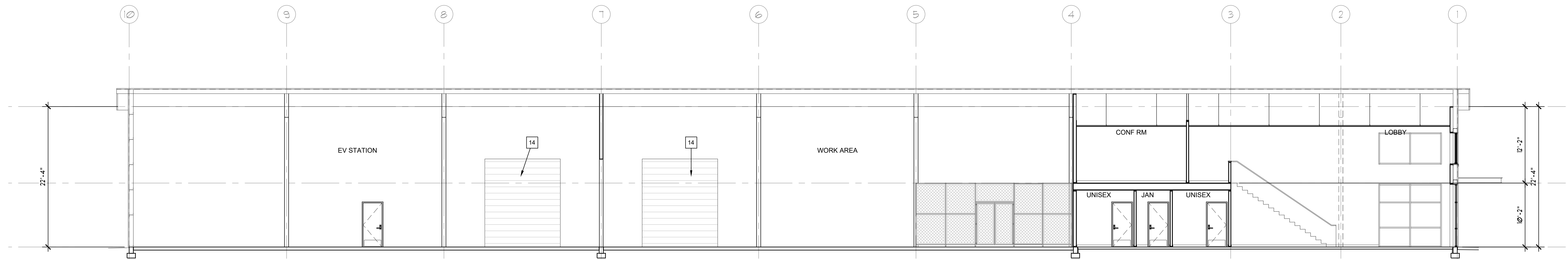
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SITE PLAN REVIEW 04-13-22



**2 BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



**1 BUILDING SECTION**  
SCALE: 1/8" = 1'-0"

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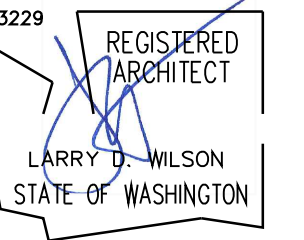
**A2.3**  
BUILDING ELEVATIONS



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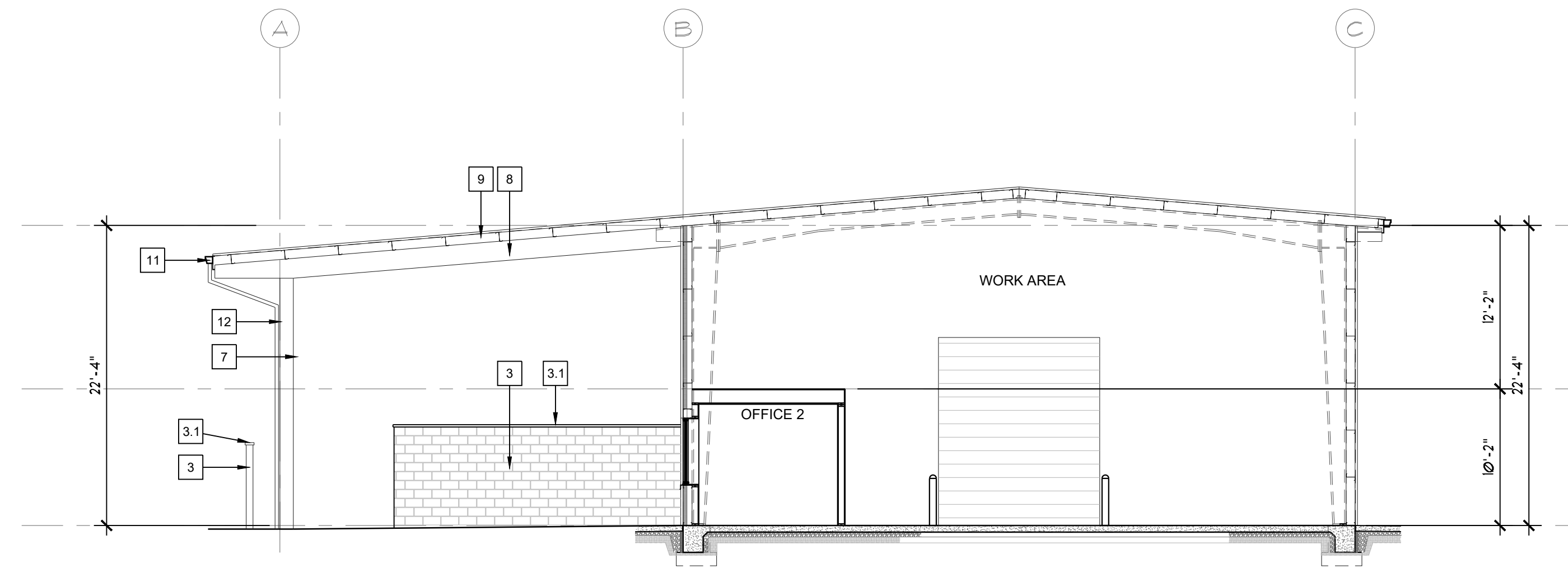
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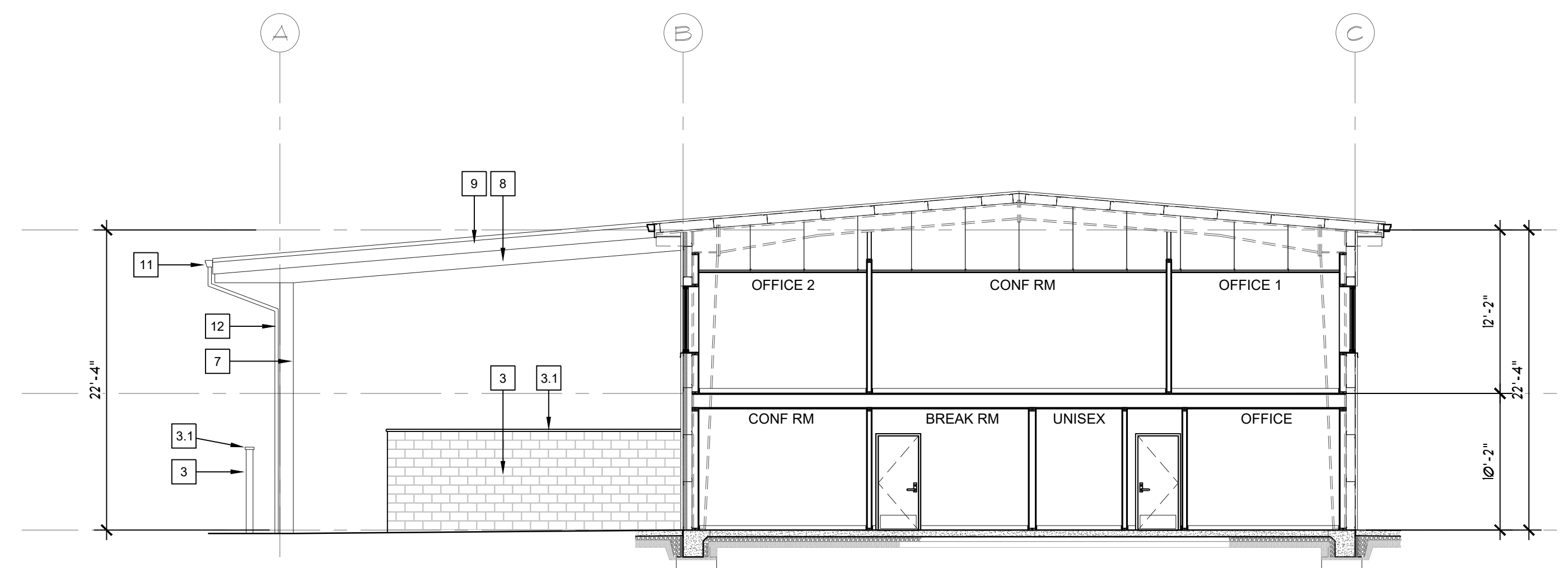
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- 4.1 METAL PANEL TYPE 2
- 5 FIBER CEMENT PANEL
- 6 CANOPY PER METAL BLDG
- 7 STEEL POST PER STRUCT'L
- 8 STEEL STRUCTURE PER STRUCT'L
- 9 PRE-FINISHED METAL FLASHING
- 10 STANDING BEAM METAL ROOFING
- 11 PRE-FINISHED METAL GUTTER
- 12 DOWNSPOUT
- 13 EXTERIOR LIGHTING WALL MOUNTED SEE DETAIL X/ATX
- 14 ROLL-UP DOOR
- 15 BOLLARD
- 16 HOSE BIB
- 17 SUSPENDED ACOUSTIC CEILING
- 18 HARDLID
- 19 WELDED WIRE CAGE W/ 3' HINGED DOOR
- 20 CABLE TRAY

SITE PLAN REVIEW 04-13-22



**2 BUILDING SECTION**  
SCALE: 1/8" = 1'-0"



**1 BUILDING SECTION**  
SCALE: 1/8" = 1'-0"

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1951 SCHURMAN WAY  
WOODLAND, WA 98674

DATE	SCALE
03-24-22	AS NOTED
JOB NO. 4221	DRAWN BY RGM
REVISIONS:	

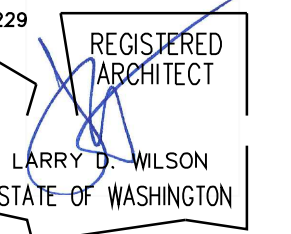
**A2.2**  
BUILDING ELEVATIONS



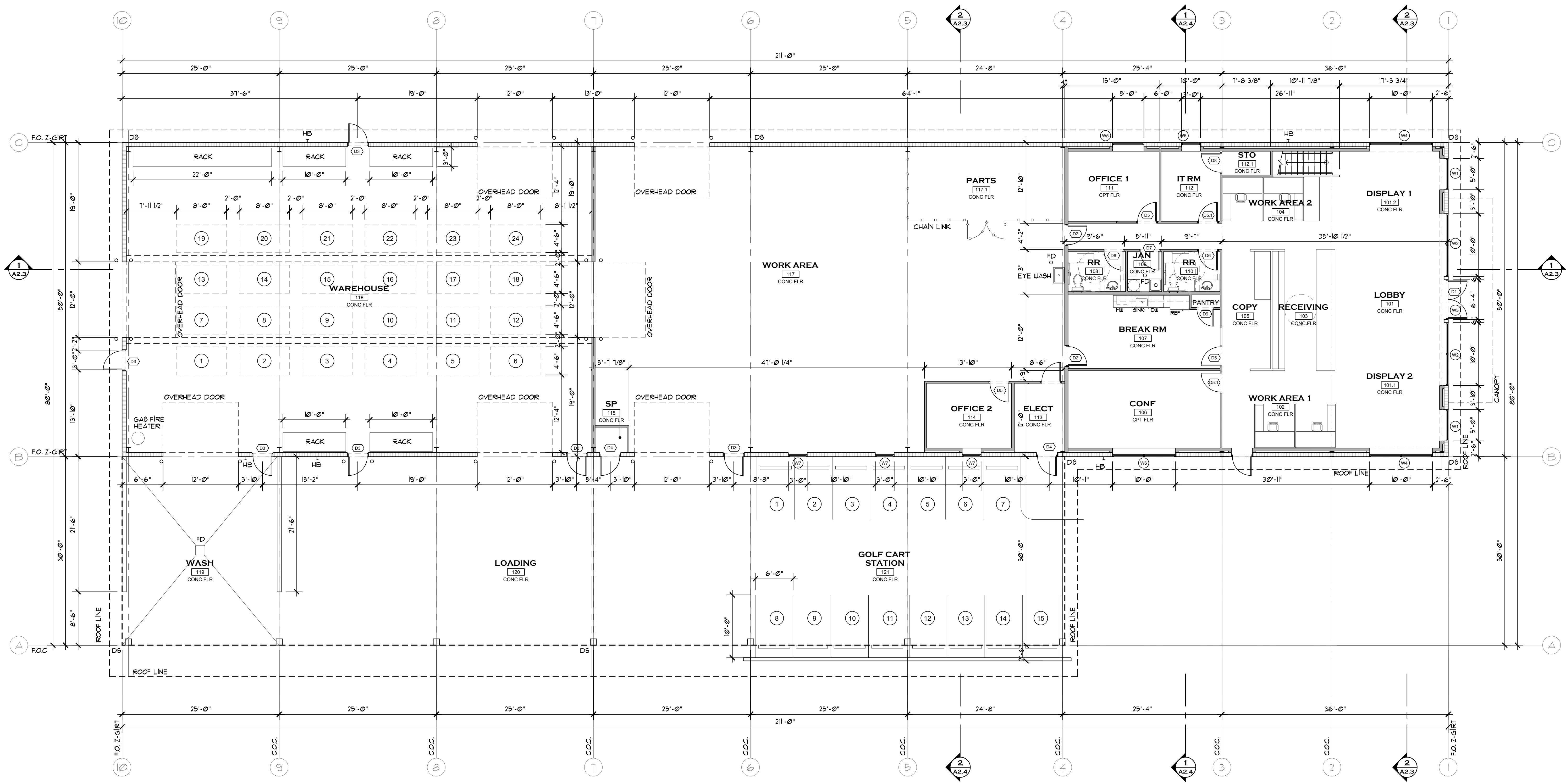
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DATE	SCALE
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**A3.1**  
FIRST FLOOR PLAN

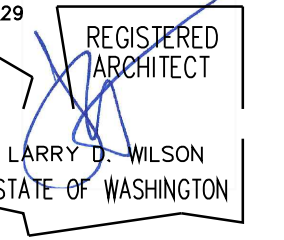
FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



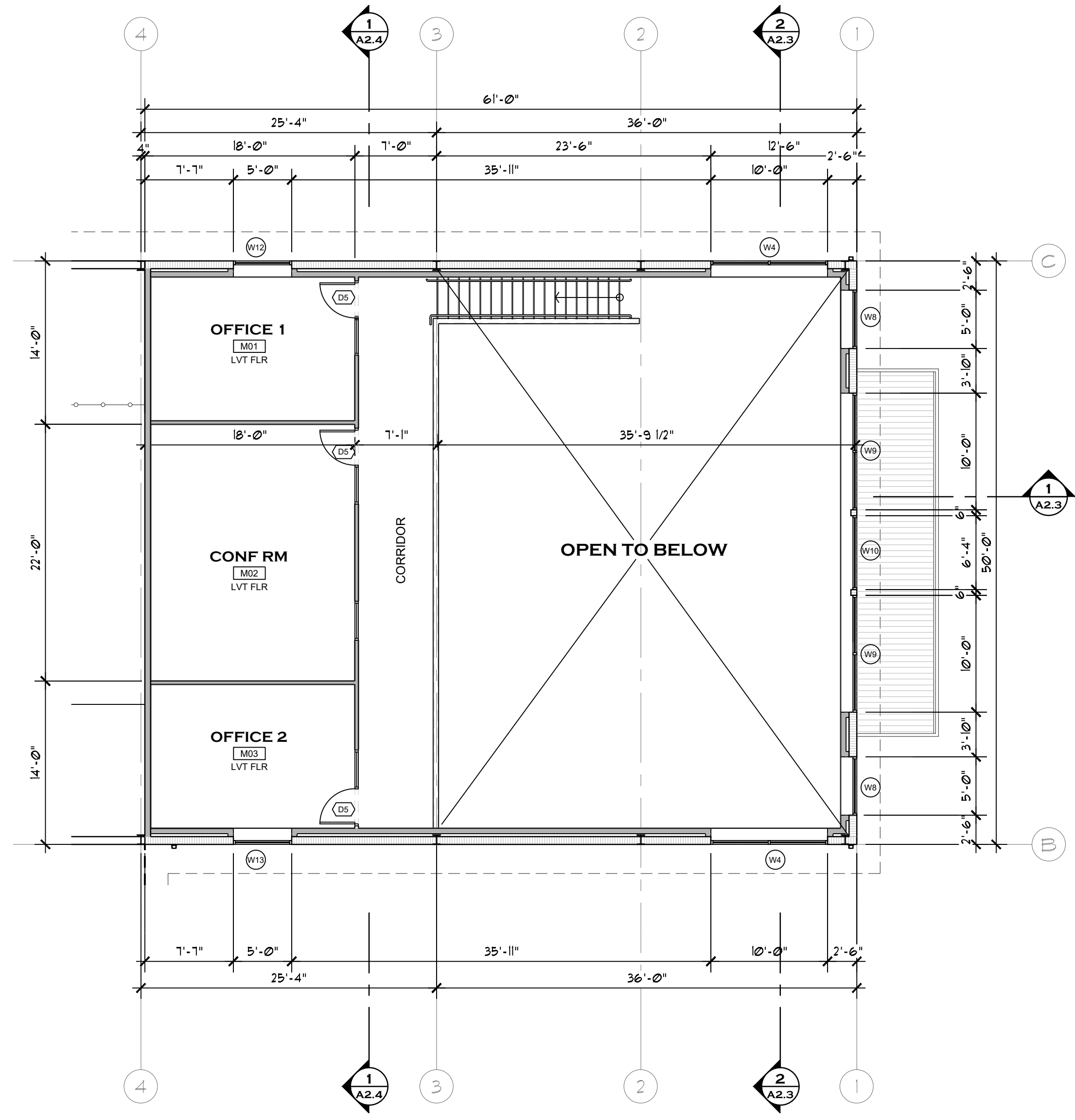




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**MEZZANINE FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



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**A3.2**  
MEZZANINE FLOOR PLAN

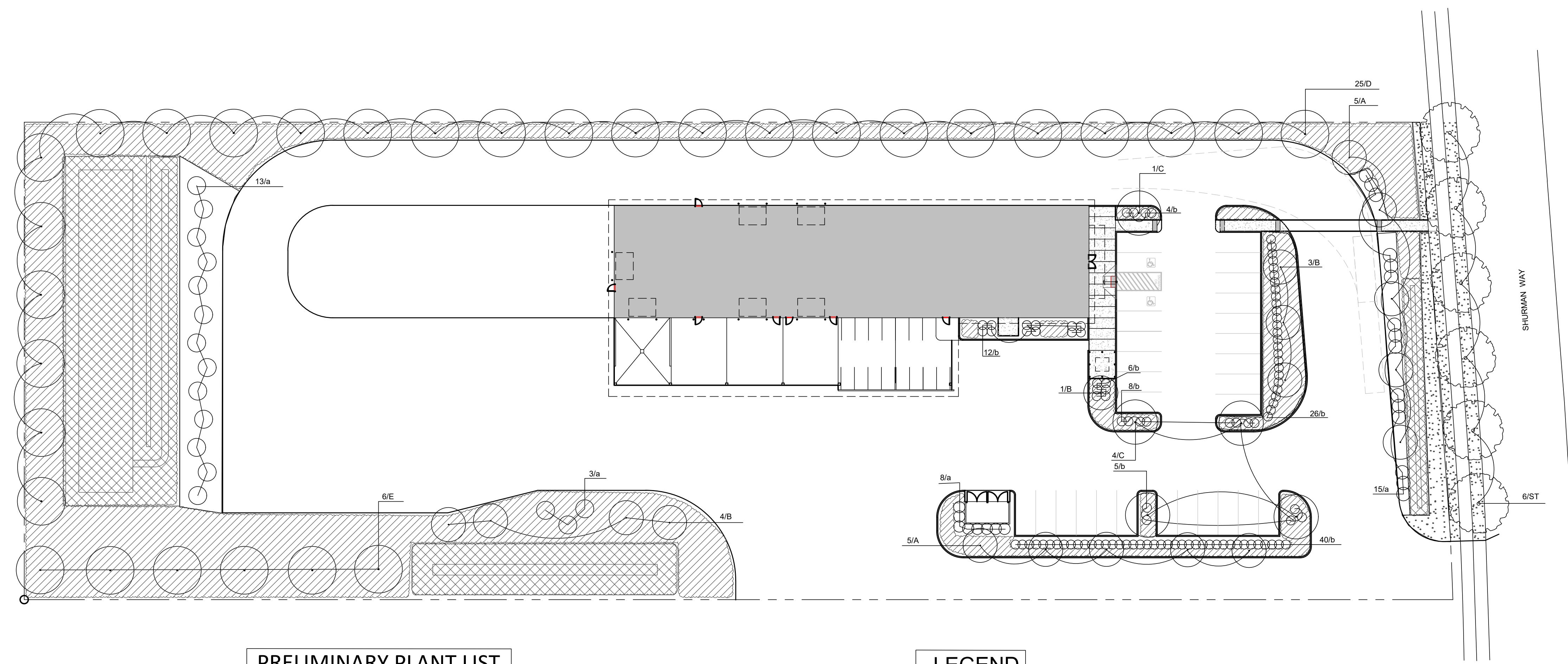


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ANDERSON  
ASSOCIATES  
LANDSCAPE ARCHITECTURE  
P.O. Box 873276  
VANCOUVER, WA 98687  
Ph. 503-245-3168



**PRELIMINARY PLANT LIST**

SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
<b>STREET TREES</b>			
ST	Autumn Applause Ash	Fraxinus americana 'Autumn Applause'	2" cal.
<b>TREES</b>			
A	Fastigiata Beech	Fagus sylvatica 'Fastigiata'	2" cal.
B	Excelsa Cedar	Thuja plicata 'Excelsa'	6-7"
C	Persian Parrotia	Parrotia persica	2" cal.
D	Pyramidal European Hornbeam	Carpinus betulus 'Fastigiata'	2" cal.
E	Shore Pine	Pinus contorta 'Contorta'	6-7"
<b>SHRUBS</b>			
<b>LARGE</b>			
a	Winter Currant	Ribes sanguineum	5 gal
	Spring Bouquet Viburnum	Viburnum tinus 'Spring Bouquet'	5 gal
	Edward Goucher Abelia	Abelia x 'Edward Goucher'	5 gal
<b>MEDIUM</b>			
b	Dark Green Spreader Yew	Taxus densiformis repens 'Dark Green Spreader'	5 gal
	Gulf Stream Nandina	Nandina domestica 'Gulf Stream'	5 gal
	Kaleidoscope Abelia	Abelia x grandiflora 'Kaleidoscope'	5 gal
<b>GROUND COVER</b>			
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE / SPACING
[Hatched Box]	Coral Beauty Cotoneaster	Cotoneaster dammeri 'Coral Beauty'	1 gal 30" o.c.
[Diagonal Lines Box]	Creeping Mahonia	Mahonia repens	4" pot 30" o.c.
[Dotted Box]	Massachusetts Kinnickinnick	Arctostaphylos uva ursi 'Massachusetts'	4" pot 30" o.c.

**LEGEND**

SYMBOL	DESCRIPTION
[Hatched Box]	STORMWATER FACILITIES

**NOTES**

- Proposed landscape to be watered with an automatic, underground irrigation system.
- Healthy growth of the proposed landscaping will occur with the plants specified and the layout will comply with the provisions of City of Woodland code WMC 17.46.133.
- Street trees have been chosen from the City of Woodland Recommended Street Tree List.

**AREA TABULATION**

ENTIRE AREA (3.06 ACRES)	133,294 S.F.
PERIMETER LANDSCAPE AREA	37,284 S.F.
INTERIOR LANDSCAPE AREA	4,923 S.F.
<b>TOTAL LANDSCAPE AREA</b>	<b>42,207 S.F.</b>
AREAS COVERED BY GROUND COVER	23,489 S.F.
AREAS COVERED BY STORMWATER FACILITIES	11,380 S.F.
PARKING AREA LANDSCAPING	3,416 S.F.
AREAS COVERED BY NON-PLANT MATERIAL	3,922 S.F.

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DD PHASE

DATE	SCALE
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**L1**  
PRELIMINARY  
LANDSCAPE  
PLAN

