



PROJECT NOTES

PROJECT INCLUDES A FIVE LOT SUBDIVISION AND INFRASTRUCTURE INCLUDING FRONTAGE IMPROVEMENTS, STORMWATER FACILITIES, AND UTILITIES

PARCEL NO.(S): 50346

SITE ADDRESS: 748 WASHINGTON STREET, WOODLAND, WA

QUARTER SECTION: SECTION 24, T5N, R1W, W.M. COUNTY: COWLITZ

CRITICAL AREAS:

- ON THE SUBJECT PARCEL, THERE ARE NO KNOWN: ON SITE SEPTIC TANKS DRAIN FIELDS, EXISTING / PROPOSED WELLS GAS PIPELINES / EASMENTS. A GEOTECHNICAL REPORT PREPARED BY (STRATA DESIGN, LLC) PROVIDES RECOMMENDATIONS FOR THIS SITE.

CONTACT INFORMATION

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GENERAL ABBREVIATIONS

- (E) EXISTING C CONCRETE CB CATCH BASIN CL CENTERLINE CNS COMPACTED NATIVE SOIL CO CLEAN OUT CR CURB RETURN D DIRT / DRAINAGE DODA DOUBLE CHECK DETECTOR ASSEMBLY FG FINISHED GRADE FH FIRE HYDRANT FL FLOW LINE FM FORCE MAIN G NATURAL GAS (LOW PRESSURE) GB GRADE BREAK HP HIGH POINT LP LINEAR FOOT LF LOW POINT MG NATURAL GAS (MEDIUM PRESSURE) MG MATCH EXISTING GRADE MH MANHOLE NS NATIVE SOIL NTS NOT TO SCALE P PAVEMENT PC POINT OF CURVATURE POC POINT OF CONNECTION POS POINT OF SERVICE PP POWER POLE PT POINT OF TANGENCY R RADIUS ROW RIGHT OF WAY S SLOPE / SANITARY SAN SEWER SEWER SSMH SANITARY MANHOLE STA STATION STM STORM DRAIN STMH STORM MANHOLE TBD TO BE DETERMINED TBL TO BE RELOCATED BY RESPECTIVE UTILITY TBR TO BE REMOVED BY CONTRACTOR TC TOP OF CURB TOE TOE OF BANK TOP TOP OF BANK TP TELEPHONE POLE U UNDERGROUND VIP VERIFY IN FIELD PRIOR TO CONSTRUCTION W WATER MAIN XFMR TRANSFORMER

GENERAL PLAN NOTES (PRIVATE)

- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS AND DEPTHS PRIOR TO CONSTRUCTION. A MINIMUM OF TWO FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CALL 811 (UTILITY NOTIFICATION CENTER) FOR LOCATION MARK-UP OF EXISTING UTILITIES. ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE LATEST STANDARDS AND PRACTICES OF THE COWLITZ COUNTY AND THE LATEST EDITION OF THE "STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION" PREPARED BY WSDOT/APWA. IN CASE OF A CONFLICT BETWEEN THE REGULATORY STANDARDS OR SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT WILL PREVAIL. ANY CHANGES TO THE DESIGN AND/OR CONSTRUCTION SHALL BE APPROVED BY THE OWNER OR ENGINEER. APPROVAL OF THESE PLANS DOES NOT CONSTITUTE AN APPROVAL OF ANY OTHER CONSTRUCTION NOT SPECIFICALLY SHOWN ON THE PLANS. PLANS FOR STRUCTURES SUCH AS BRIDGES, BUILDINGS, TANKS, VAULTS, ROCKERIES, AND RETAINING WALLS MAY REQUIRE A SEPARATE REVIEW AND APPROVAL BY THE BUILDING DEPARTMENT PRIOR TO CONSTRUCTION. A COPY OF THESE APPROVED PLANS SHALL BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL CONSTRUCTION EASEMENTS AND PERMITS NECESSARY TO PERFORM THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION STAKING. PUBLIC AND PRIVATE DRAINAGE WAYS SHALL BE PROTECTED FROM POLLUTION. NO MATERIAL IS TO BE DISCHARGED TO OR DEPOSITED IN STORMWATER SYSTEMS THAT MAY RESULT IN VIOLATION OF STATE OR FEDERAL WATER QUALITY STANDARDS. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL HAVE AN APPROVED PUBLIC RIGHT-OF-WAY WORK PERMIT PRIOR TO ANY CONSTRUCTION ACTIVITY WITHIN THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST ADOPTED EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION. TWO-WAY TRAFFIC MUST BE MAINTAINED AT ALL TIMES ON THE ADJACENT PUBLIC STREETS. ANY PUBLIC OR PRIVATE CURB, GUTTER, SIDEWALK, OR ASPHALT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO CITY/COUNTY STANDARDS AND PRACTICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ADJACENT UTILITIES WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, WATER, SANITARY SEWER, STORMWATER, POWER, TELEPHONE, CABLE TV, GAS, IRRIGATION, AND STREET LIGHTING. THE CONTRACTOR SHALL NOTIFY RESIDENTS AND BUSINESSES 48 HOURS IN ADVANCE OF ANY WORK AFFECTING ACCESS OR SERVICE AND SHALL MINIMIZE INTERRUPTIONS TO DRIVEWAYS FOR RESIDENTS AND BUSINESSES ADJACENT TO THE PROJECT. ALL LAWN AND VEGETATED AREAS DISTURBED WILL BE RESTORED TO ORIGINAL CONDITION. ANY DISTURBANCE OR DAMAGE TO OTHER PROPERTY ON ADJACENT PARCELS OR IN THE PUBLIC RIGHT OF WAY SHALL ALSO BE REPAIRED OR RESTORED TO ORIGINAL CONDITION. ALL MATERIALS AND METHODS OF CONSTRUCTION AND INSTALLATION FOR WATER, SANITARY SEWER, AND STORM FACILITIES SHALL CONFORM TO THE CITY OF WOODLAND DESIGN GUIDELINES. CONSTRUCTION SHALL BE AS PER THE MOST CURRENT STANDARD DETAIL CONTAINED THEREIN. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AND STRUCTURES AS SHOWN ON THE DRAWINGS ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION OF AND PROVIDE PROTECTION FOR ALL UTILITIES AND STRUCTURES. OVERHEAD UTILITIES ARE NOT SHOWN. EXISTING UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR OR BY THE UTILITY. WHERE THE CONTRACTOR MUST RELOCATE WATER AND GAS UTILITIES, SHUTDOWN SHALL ONLY BE ACCOMPLISHED BY THE CITY OR UTILITY PURVEYOR. ALL OPEN TRENCHES THAT IMPACT PUBLIC ACCESS OR OTHER PROJECT WORK ACCESS OUTSIDE OF THIS PROJECTS SITE, MUST BE STEEL PLATED OR BACKFILLED AND PAVED WITH AT LEAST 2" OF COLD MIX TO ADJACENT EXISTING GRADE AT THE END OF EACH WORKDAY. NOTIFY ADJACENT RESIDENCES AT LEAST ONE DAY PRIOR TO COMMENCING WORK ADJACENT TO THEIR RESIDENCES. SAWCUT ALL PAVEMENT JOINT LINES. WHERE THERE IS A PREVIOUS PAVING EDGE OR CRACK WITHIN 5' OF THE SAWCUT EDGE, REMOVE THE PAVEMENT TO THE PREVIOUS PAVING EDGE. THE CONTRACTOR SHALL COMPLY WITH WASHINGTON REQUIREMENTS FOR TRENCH SAFETY. THE CONTRACTOR SHALL REPLACE ALL SURVEY MONUMENTS THAT ARE DESTROYED BY THE CONSTRUCTION. ALL WATER PIPING SHALL BE CONSTRUCTED WITH 3' MINIMUM COVER, 1' VERTICAL SEPARATION BETWEEN UTILITIES, AND A MINIMUM OF 10' HORIZONTAL SEPARATION AND 18" ABOVE SEWER LINES, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL RESTORE PAVEMENT AND LANDSCAPING DISTURBED BY THE CONSTRUCTION TO THE PREVIOUSLY UNDISTURBED CONDITION. CONTRACTOR TO DISPOSE OF TREES, SHRUBS, SOD AND OTHER DEBRIS IN A PROPER MANNER OF THE CONTRACTOR'S CHOOSING.

GENERAL CIVIL NOTES

SURVEY TOPOGRAPHIC SURVEY BY: NORTHERN LAND SURVEYING LLC HORIZONTAL DATUM: LOCAL COORDINATE SYSTEM ELEVATION DATUM: NAVD 88

STORM DRAINAGE: ON-SITE STORM SEWER IMPROVEMENTS SHALL CONFORM TO THE LATEST VERSION OF THE UPC, AND CONFORM TO WSDOT SPECIFICATIONS WHERE NOTED.

THE CONTRACTOR SHALL MAINTAIN 6" MINIMUM VERTICAL AND 3' MINIMUM HORIZONTAL CLEARANCE (OUTSIDE SURFACES) BETWEEN STORM DRAIN PIPES AND OTHER UTILITY PIPES AND CONDUITS. FOR CROSSINGS OF SANITARY SEWER LINES, THE WASHINGTON DEPARTMENT OF ECOLOGY CRITERIA APPLY.

ALL CATCH BASINS SHALL BE LABELED WITH "NO DUMPING" PROTECT WATER "ONLY RAIN IN DRAIN" MEDALLIONS. MEDALLIONS SHALL BE AFFIXED TO DRY SURFACE WITH HIGH QUALITY POLYURETHANE SEALANT AND RIVETS.

STORM DRAIN PIPE, BENDS, AND FITTINGS SHALL BE PVC, ASTM D 3034, SDR 35, OR SMOOTH INTERIOR, HIGH DENSITY POLYETHYLENE CORRUGATED PIPE AASHTO M252 OR M294, TYPE S AS PRODUCED AND SPECIFIED BY ADS, PRODUCT NAME N12, OR APPROVED EQUAL. ALL STORM SEWER FITTINGS AND PIPE JOINTS SHALL BE GASKETED.

2' SUMP INCLUDED ON ALL CATCH BASIN MANHOLES. 1.5' MIN SUMP INCLUDED ON CATCH BASINS.

PERFORATED PIPE SHALL BE ADS SINGLE WALL PERFORATED PIPE WITH SOCK OR APPROVED EQUAL.

ALL STORM SEWER PIPE SHALL HAVE A MINIMUM 12" DIAMETER WITHIN ROADWAY

ALL ON-SITE STORMWATER FACILITIES SHALL BE PRIVATELY MAINTAINED BY THE CURRENT OR FUTURE PROPERTY OWNER(S).

ALL VAULT, UTILITY BOX, INLET, MANHOLE AND CLEANOUT RIMS SHALL BE ADJUSTED TO FINISH GRADE UNLESS OTHERWISE NOTED.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROTECT AND MAINTAIN ANY STORM SYSTEM PIPING TO EXISTING DRAINAGE APPURTENANCES TO REMAIN.

SANITARY SEWER: ON-SITE (PRIVATE) SANITARY SEWER IMPROVEMENTS SHALL CONFORM TO THE LATEST VERSION OF THE IBC, THE UPC, AND WSDOT SPECIFICATIONS WHERE NOTED AND THE CITY OF WOODLAND GENERAL REQUIREMENTS.

SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) AND CONFORM TO ASTM D3034, SDR35.

CONTRACTOR SHALL COORDINATE ALL BUILDING SANITARY CONNECTIONS WITH PLUMBING PLAN PRIOR TO CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS.

WATER: ALL WATERMAIN INSTALLATION, DISINFECTION AND TESTING SHALL COMPLY WITH WSDOT STANDARD SPECIFICATIONS, UNIFORM PLUMBING CODE, AND CITY OF WOODLAND WATER DESIGN AND CONSTRUCTION STANDARDS.

FIRE SPRINKLER: UNDERGROUND FIRE SPRINKLER SUPPLY MAINS SHALL BE INSTALLED ONLY BY CONTRACTORS IN COMPLIANCE WITH WAC 212-80

ARCHAEOLOGY IF ANY CULTURAL RESOURCES AND/OR HUMAN REMAINS ARE DISCOVERED IN THE COURSE OF UNDERTAKING THE DEVELOPMENT ACTIVITY, THE DEPARTMENT OF ARCHAEOLOGY AND HISTORIC PRESERVATION IN OLYMPIA AND COWLITZ COUNTY SHALL BE NOTIFIED. FAILURE TO COMPLY WITH THESE STATE REQUIREMENTS MAY CONSTITUTE A CLASS C FELONY, SUBJECT TO IMPRISONMENT AND/OR FINES.

STANDARD DETAIL STATEMENT ALL MATERIALS AND METHODS OF CONSTRUCTION AND INSTALLATION FOR WATER, SEWER, STORM WATER FACILITIES, AND EROSION CONTROL MEASURES, SHALL CONFORM TO CITY OF WOODLAND ENGINEERING SERVICES "WOODLAND DEVELOPMENT GUIDELINES." CONSTRUCTION SHALL BE AS PER THE MOST CURRENT STANDARD DETAIL CONTAINED THEREIN.

GRADING & EROSION CONTROL NOTES

NO GRADING WITHIN 2' OF ADJACENT PARCELS PER IBC.

STRIP ORGANICS PER GEOTECH REPORT. RE-DEPOSIT ABOVE COMPACTED FILL TO A MAX DEPTH OF 6" (12" IN LANDSCAPE AREAS).

FINISH GRADE CONTOURS ARE TO TOP OF FINISHED SURFACE IN IMPERVIOUS AREAS AND TOP OF REPLACED STRIPPINGS IN PERVIOUS AREAS.

STRIPPINGS TO REMAIN ON SITE AND BE RE-DISTRIBUTED OVER LANDSCAPE AREAS AFTER ALL GRADING ACTIVITIES ARE COMPLETED. CONTRACTOR SHALL BE RESPONSIBLE FOR HAUL-OFF OF EXCESS MATERIAL.

CUT AND FILL QUANTITIES ARE BASED ON GENERAL SITE GRADING ESTABLISHED FROM THE STRIPPED GRADE TO THE FINISHED PROPOSED SUBGRADE AND TRENCH SPOILS. THESE VOLUMES DO NOT TAKE INTO ACCOUNT ANY UNKNOWN SOIL DEPOSITS OR OVER-EXCAVATION OF NON-ORGANIC MATERIALS THAT ARE DISCOVERED ON SITE, NOR WET WEATHER CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE TO PRODUCE INDEPENDENT GRADING VOLUMES AS WELL AS ACCOUNT FOR OBSERVATION OF MEASURES DIRECTED WITHIN THE GEOTECHNICAL REPORT OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER DURING THE COURSE OF CONSTRUCTION.

PRIOR TO ACCEPTANCE OF THE COMPACTED SUB-GRADE, THE CONTRACTOR SHALL PROVIDE A TEST ROLL IN THE PRESENCE OF OWNER / CITY REPRESENTATIVE UNLESS OTHERWISE APPROVED BY THE GEOTECHNICAL ENGINEER.

DOE STANDARD NOTES FOR EROSION CONTROL PLAN

1. APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTIONS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)

2. THE IMPLEMENTATIONS OF THESE ESC PLANS AND THE CONSTRUCTIONS, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR, UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.

3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.

4. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEMS, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.

5. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS, DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.

6. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.

7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT.

8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATIONS SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.

9. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

10. THE PROPOSED STORMWATER FACILITY MUST REMAIN OFFLINE UNTIL THE PROJECT IS COMPLETE AND VEGETATION THROUGHOUT THE SITE HAS BEEN ESTABLISHED. IF AT ANY TIME THE FACILITY BECOMES INUNDATED WITH SEDIMENT FILLED RUNOFF, THE TOP 2" OF MATERIAL MUST BE REMOVED AND REPLACED PRIOR TO PROJECT COMPLETION.

RECOMMENDED CONSTRUCTION SEQUENCE FOR EROSION CONTROL

- PRE-CONSTRUCTION MEETING. FLAG OR FENCE CLEARING LIMITS. POST NOTICE OF CONSTRUCTION ACTIVITY SIGN WITH THE NAME AND PHONE NUMBER OF EROSION SEDIMENT CONTROL SUPERVISOR. INSTALL CATCH BASIN PROTECTION, IF REQUIRED. INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.). INSTALL TREE PROTECTION FENCING. GRADE AND INSTALL CONSTRUCTION ENTRANCE(S). CONSTRUCT SEDIMENT POND(S) AND TRAP(S). GRADE AND STABILIZE CONSTRUCTION ROADS. CONSTRUCT SURFACE WATER CONTROLS (INTERCEPT DIKES, PIPE SLOPE DRAINS, ETC) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT. MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON AND MANUFACTURER'S RECOMMENDATIONS. RELOCATE SURFACE WATER CONTROLS AND EROSION CONTROL MEASURE OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE COWLITZ COUNTY EROSION AND SEDIMENT CONTROL STANDARDS. COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT. STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS. SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS. ALL DISTURBED PERVIOUS AREAS MUST MEET BMP T5.13 IN THE 2019 MANUAL. EXISTING TOPSOIL MAY NEED TO BE AMENDED TO REACH APPROVED RATES, OR IMPORT TOPSOIL WITH SUFFICIENT ORGANIC CONTENT AND WIDTH. UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BEST MANAGEMENT PRACTICES REMOVED IF APPROPRIATE.

AMERICANS WITH DISABILITIES ACT (ADA) NOTES

- CONTRACTORS SHALL EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA ACCESSIBLE COMPONENTS ON THE PROJECT, THE ADA COMPONENTS MUST COMPLY WITH ALL LOCAL, STATE, AND FEDERAL ACCESSIBILITY RULES, CODES, AND REGULATIONS. FINISHED SURFACES ALONG THE ACCESSIBLE PATH OF TRAVEL FROM PARKING STALLS, PUBLIC TRANSPORTATION, AND PEDESTRIAN ACCESS WAYS TO THE POINT(S) OF ACCESSIBLE BUILDING INGRESS AND EGRESS SHALL COMPLY WITH ADA CODE REQUIREMENTS. PARKING SPACE AND AISLE SLOPE SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION. CURB RAMP SLOPE SHALL NOT EXCEED 1:12 (8.3%) AND RAMP LENGTH IS LIMITED TO 15 FEET. LANDINGS SHALL BE PROVIDED AT EACH END OF RAMPS, SHALL HAVE POSITIVE DRAINAGE, AND SHALL NOT EXCEED 1:48 (1/4"PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE SHALL PROVIDE A MINIMUM OF 36 INCH UNOBSTRUCTED WIDTH OF TRAVEL. SLOPE SHALL BE NO GREATER THAN 1:20 (5.0% OR 5/8" PER FOOT) IN THE DIRECTION OF TRAVEL, AND SHALL NOT EXCEED 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL BE GREATER THAN 1:20 (5.0%), AN ACCESSIBLE RAMP WITH A MAXIMUM SLOPE OF 1:12 (8.3%) FOR A MAXIMUM DISTANCE OF 30 FEET SHALL BE PROVIDED INCLUDING HANDRAILS. THE RAMP SHALL HAVE ACCESSIBLE HAND RAILS AND LANDINGS ON EACH END WITH A SLOPE IN ANY DIRECTION NOT EXCEEDING 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%). DOORWAYS SHALL HAVE A LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED NO MORE THAN 1:48 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA SHALL BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT HERE OTHERWISE PERMITTED BY ACCESSIBILITY STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS AND APPROVED BY THE OWNER'S REPRESENTATIVE. WHERE PEDESTRIAN ACCESS ROUTES ARE CONTAINED WITHIN A STREET OR HIGHWAY RIGHT-OF-WAY, THE GRADE OF THE PEDESTRIAN ACCESS ROUTE IS PERMITTED TO EQUAL THE GENERAL GRADE ESTABLISHED FOR THE ADJACENT STREET OR HIGHWAY, EXCEPT THAT WHERE PEDESTRIAN ACCESS ROUTES ARE CONTAINED WITHIN PEDESTRIAN STREET CROSSINGS A MAXIMUM GRADE OF 5 PERCENT IS REQUIRED. (EXCEPT FROM PROWAG)

GENERAL FIRE NOTES

- GENERAL FIRE SAFETY PRECAUTIONS SHALL BE MAINTAINED, IN ACCORDANCE WITH CHAPTER 33 OF THE INTERNATIONAL FIRE CODE; FIRE SAFETY DURING CONSTRUCTION. ALL WORK SUBJECT TO FIELD INSPECTION AND CORRECTION(S) AS IDENTIFIED AT THE TIME OF THE ON-SITE INSPECTION; ALL WORK SHALL BE COMPLIANT WITH THE APPLICABLE STANDARDS AND CODES; TO INCLUDE THE ADOPTED EDITION OF THE INTERNATIONAL FIRE CODE AND THE CITY'S MUNICIPAL CODE. ALL FIRE ALARM AND FIRE SPRINKLERS SHALL BE SUBMITTED SEPARATELY AND DIRECTLY TO THE FIRE MARSHAL. MODIFICATIONS FOR FUTURE TENANT IMPROVEMENT(S) MAY REQUIRE AN ALTERNATE PLANS RE-SUBMITTAL. APPENDIX D FOR FIRE APPARATUS ACCESS ROADSSALL ON-SITE PRIVATE UNDERGROUND FIRE SUPPRESSION WATER SUPPLY SHALL BE SUBMITTED TO THE FIRE MARSHAL (THIS INCLUDES PRIVATE HYDRANTS, UNDERGROUND FOR FDC'S AND FIRE SPRINKLER UNDERGROUND CONNECTIONS). IFC APPENDIX D FIRE APPARATUS ACCESS ROADS. WHERE HYDRANTS ARE ON A FIRE APPARATUS ACCESS ROAD, THE MINIMUM WITH OF THE ROAD SHALL BE 26 FEET FOR A DISTANCE OF 20 FEET; 10 FEET IN EITHER DIRECTION. IFC 503.3 MARKING WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS NO PARKING FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY. IFC D103.6 FIRE APPARATUS ACCESS PARKING RESTRICTIONS--SIGNS: REQUIRED ROADWAYS MUST HAVE SIGNAGE FOR PARKING RESTRICTIONS AS FOLLOWS. SIGNS FOR NO-PARKING- FIRE LANE SHALL COMPLY WITH A MINIMUM DIMENSION OF 12 INCHES WIDE BY 18 INCHES HIGH AND HAVE RED LETTERS ON A WHITE REFLECTIVE BACKGROUND. SIGN'S SHALL BE PROVIDED ON BOTH SIDES OF ALL STREETS THAT ARE LESS THAN 26 IN WIDTH IN ACCORDANCE WITH LOCAL STANDARDS FOR ACCESS AND FUTURE ENFORCEMENT. SIGNS FOR NO-PARKING MUST BE PROVIDED ON ONE SIDE OF ALL STREETS THAT ARE BETWEEN 26 AND 32 IN WIDTH ACCORDANCE WITH LOCAL STANDARDS FOR ACCESS AND FUTURE ENFORCEMENT. IFC 506 WHERE REQUIRED ACCESS IS RESTRICTED WITH A GATE, AN APPROVED PADLOCK OR KEY SWITCH (FOR ELECTRONIC/AUTOMATED GATES) SHALL BE PROVIDED TO ALLOW FIRE DEPARTMENT ACCESS. IFC 503.1.1 / D102 / D103 ROADWAYS TO ACCESS STRUCTURES: THE PERIMETER OF ALL STRUCTURES MUST BE WITHIN 150 FEET OF AN APPROVED ACCESS ROAD WITH A MINIMUM CLEAR WIDTH OF 20 FEET (26 FEET WHERE A HYDRANT IS LOCATED). BUILDING SHALL BE INSTALLED WITH AUTOMATIC FIRE SPRINKLERS AS AN ALTERNATIVE TO DISTANCE FROM A FIRE ACCESS ROAD. IFC 507.5.4 FIRE PROTECTION WATER SUPPLY: UNOBSTRUCTED ACCESS TO FIRE HYDRANTS SHALL BE MAINTAINED AT ALL TIMES. THE FIRE DEPARTMENT SHALL NOT BE DETERRED OR HINDERED FROM GAINING IMMEDIATE ACCESS TO FIRE PROTECTION EQUIPMENT OR FIRE HYDRANTS REQUIRED ACCESS ROADWAYS AND HYDRANTS SHALL BE SERVICEABLE AND UNOBSTRUCTED PRIOR TO COMBUSTIBLE CONSTRUCTION.

GENERAL UTILITY SHEET NOTES:

- MARK CURB AND GUTTER WITH A "W" OR "S" TO SHOW LOCATION OF UTILITY SERVICE LINE CROSSINGS. SEE DETAIL SHEETS FOR CONSTRUCTION DETAILS SANITARY SEWER DETAILS - SHEET C604. WATER DETAILS - SHEET C604.

748 HOMESTEAD 748 WASHINGTON STREET, WOODLAND, WA 98674

SITE PLAN REVIEW

Project No: 21035.1

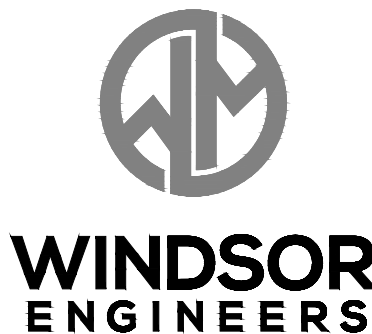
Issue Date: 6/28/2023

CIVIL NOTES AND ABBREVIATIONS

G002

Project Manager: DCK Drawn by: CKJ/LJK Checked by: TWT

811 Know what's below. Call before you dig. CALL 2 BUSINESS DAYS BEFORE YOU DIG. CAUTION UTILITY INFORMATION IS APPROXIMATE. VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. Revisions: [Table] LINE IS 1" ON FULL SCALE DRAWING

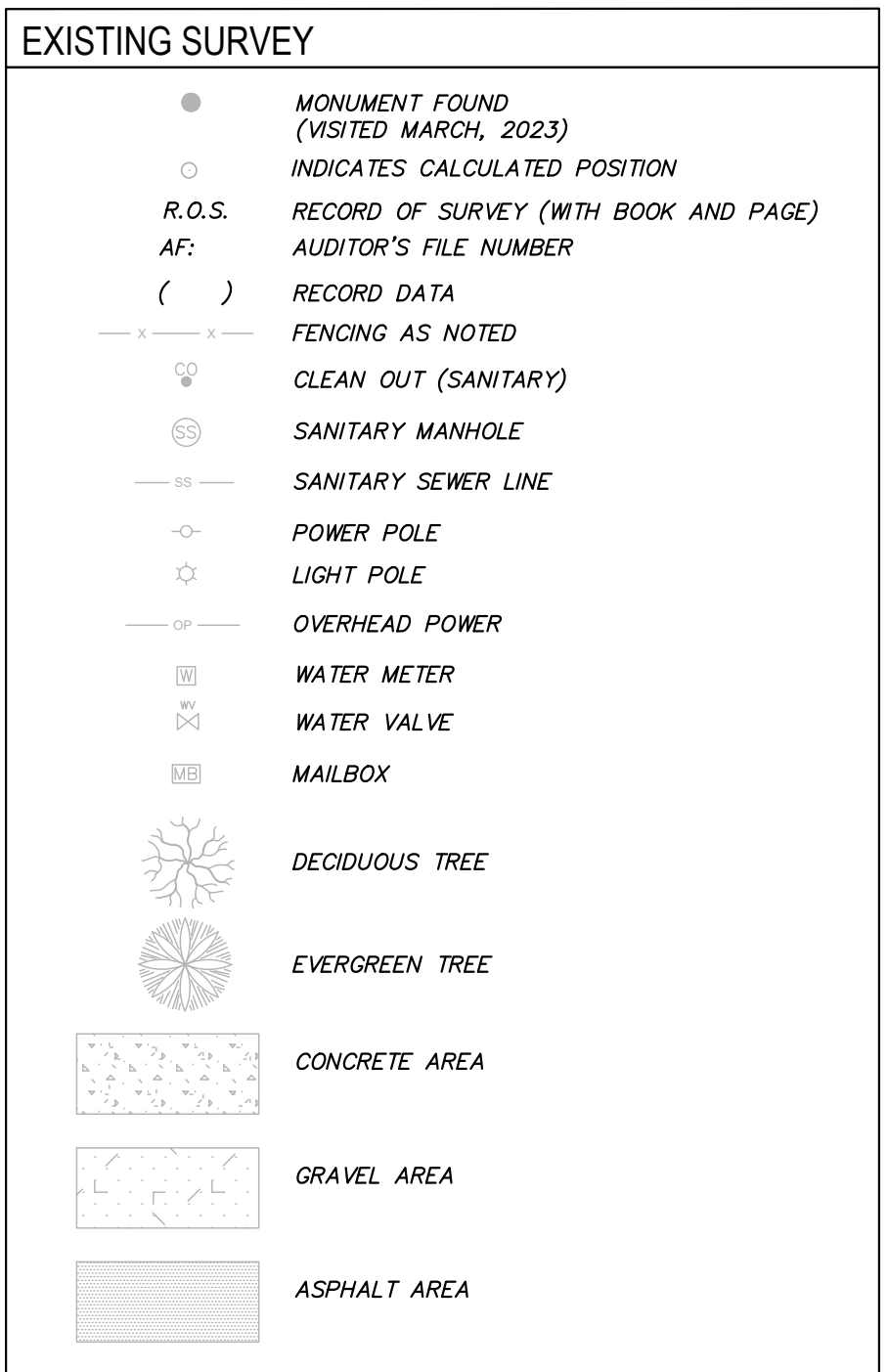
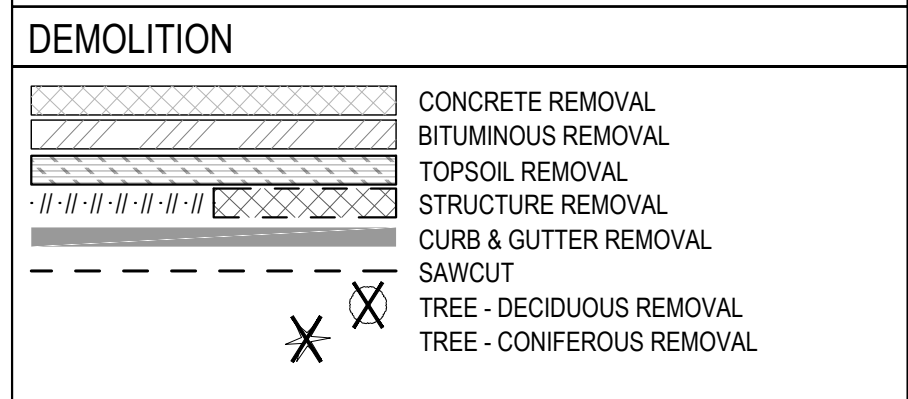
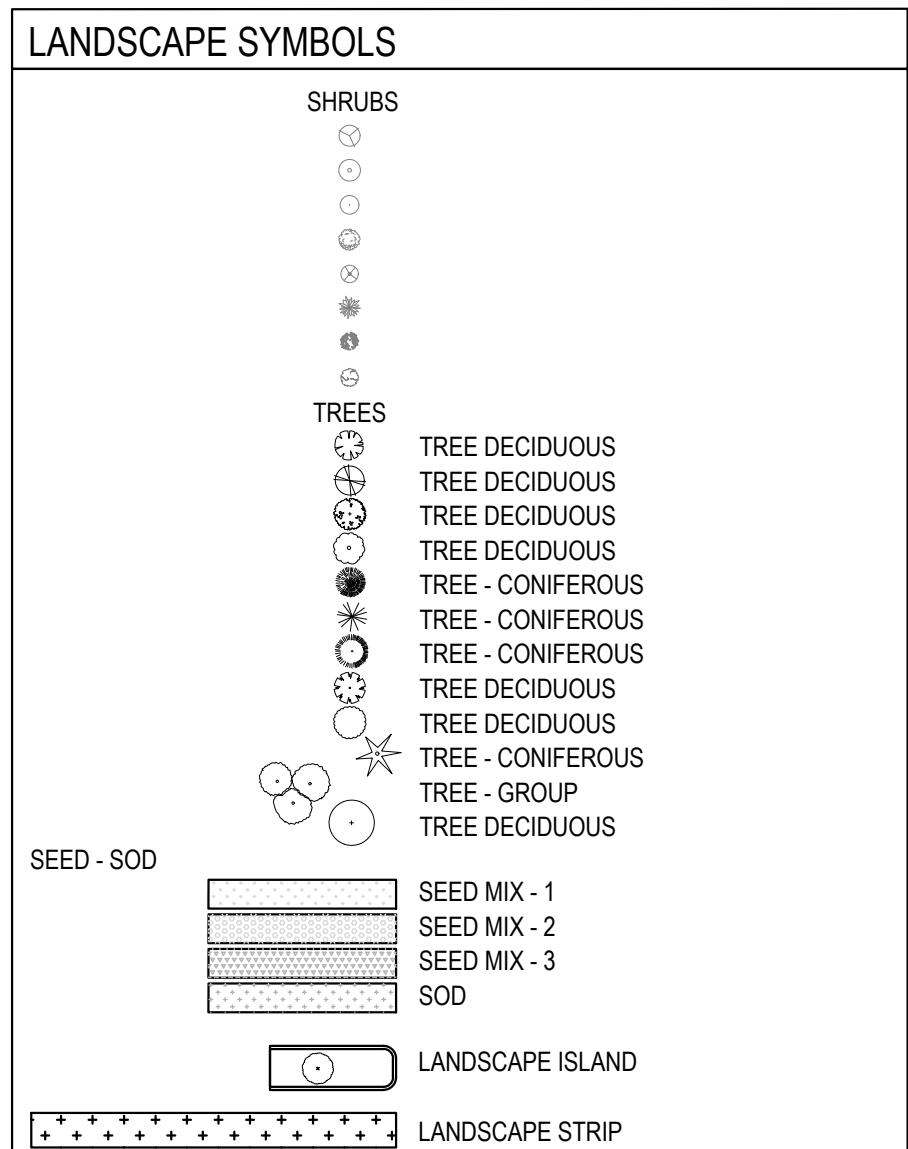
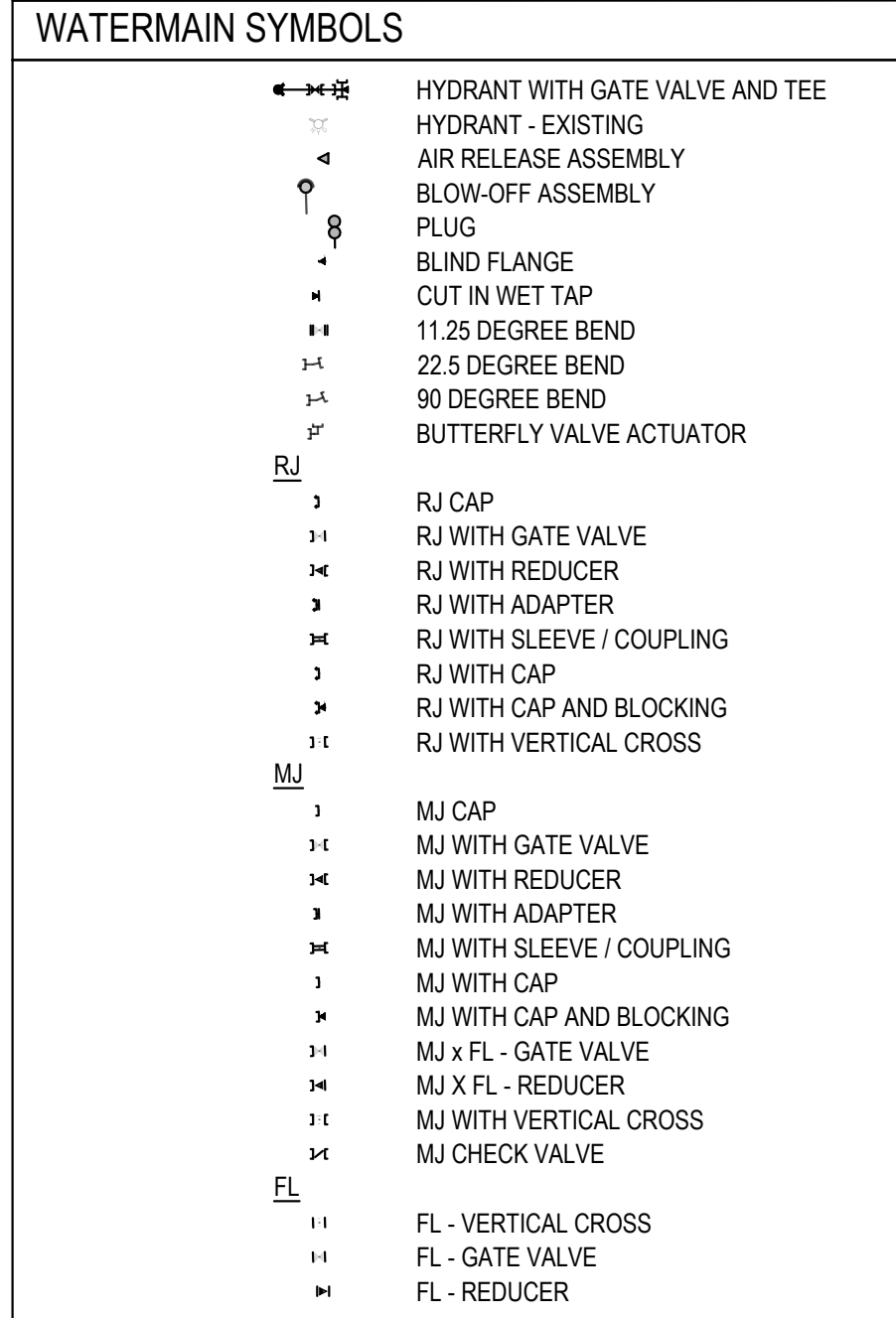
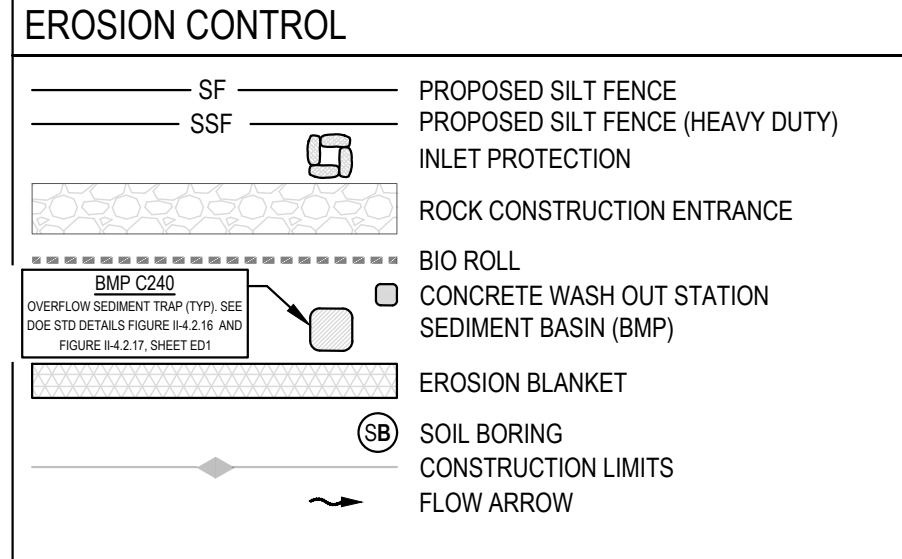
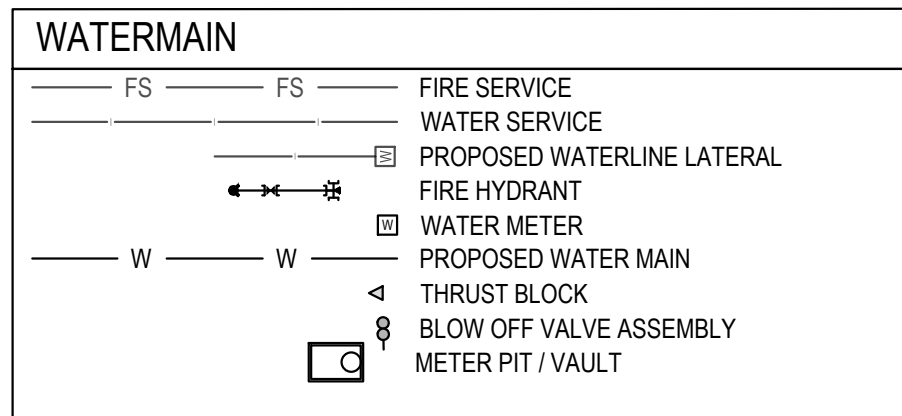
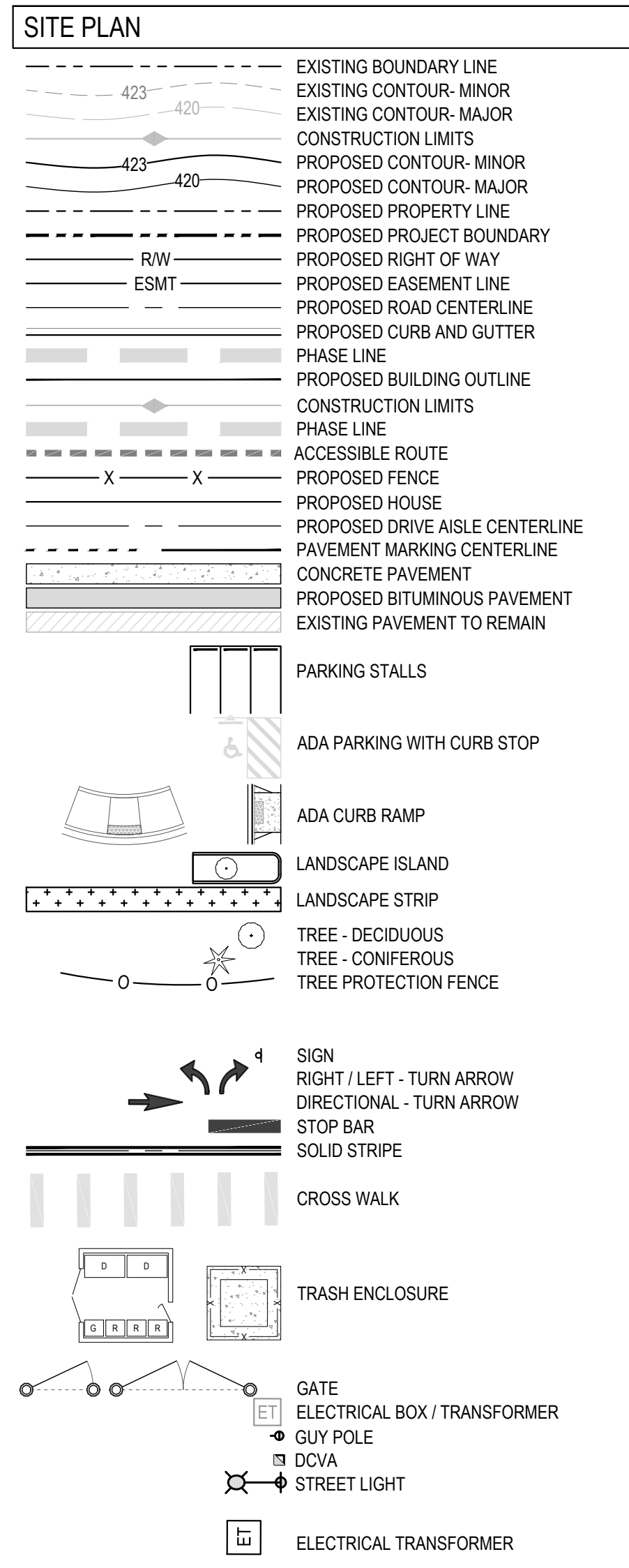


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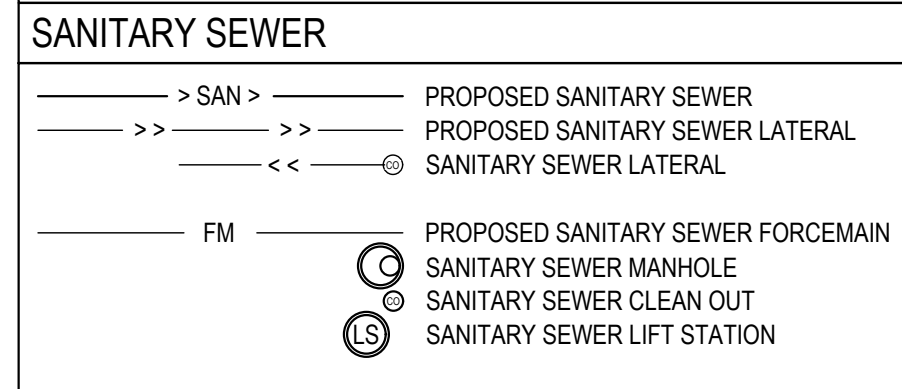
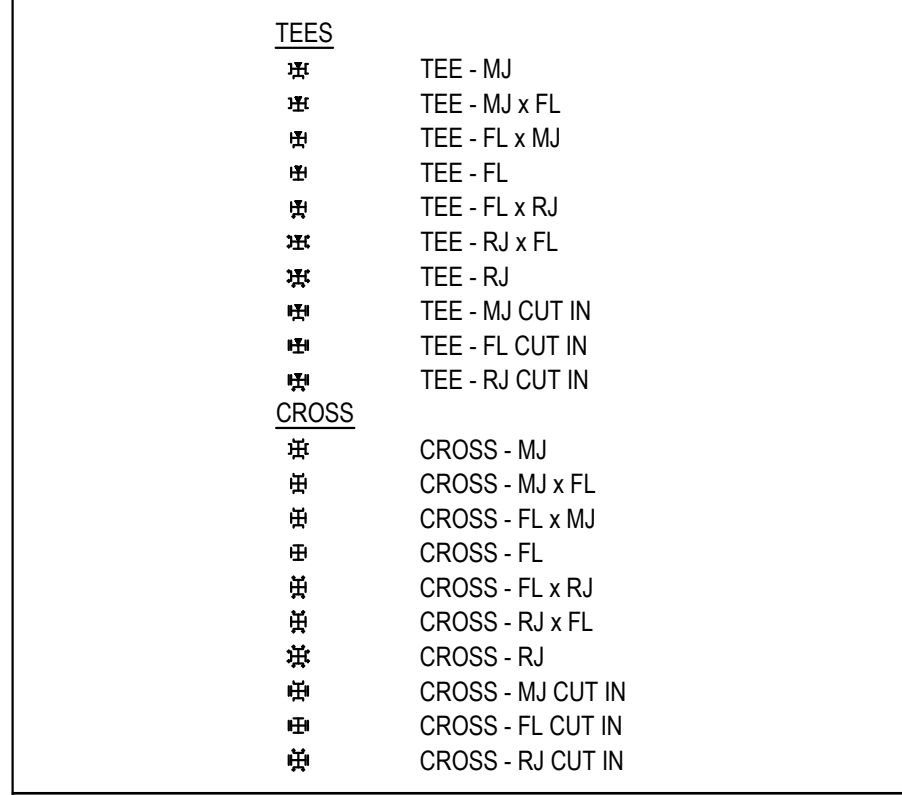
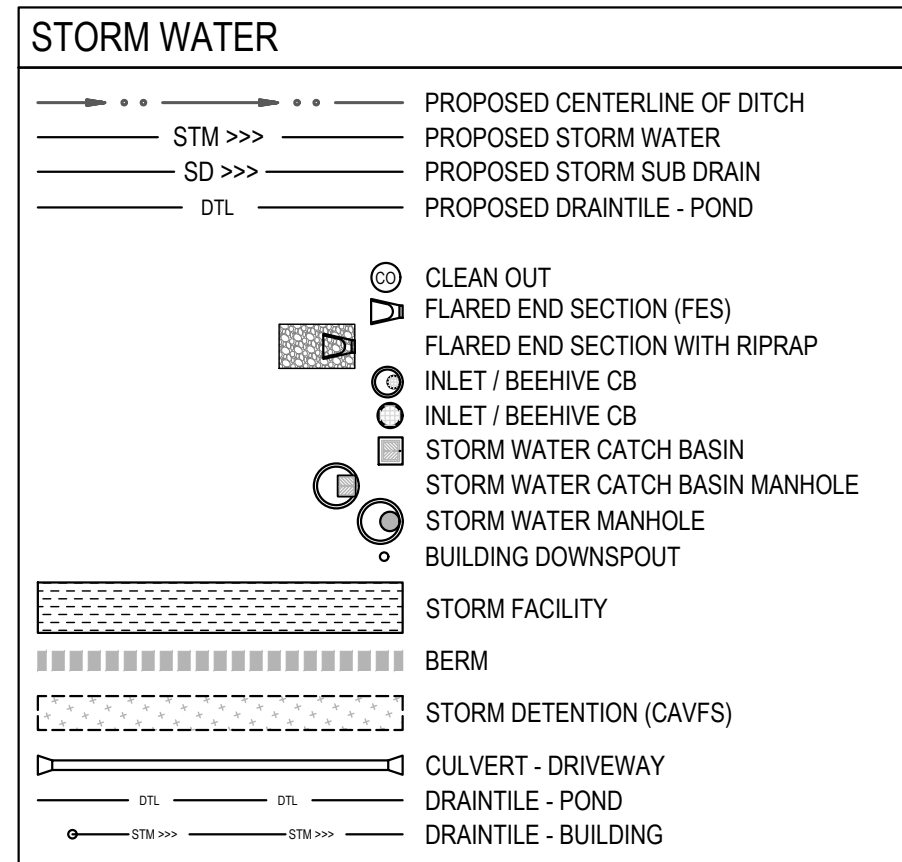


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### GENERAL ABBREVIATIONS

(E)	EXISTING
C	CONCRETE
CB	CATCH BASIN
CL	CENTERLINE
CNS	COMPACTED NATIVE SOIL
CO	CLEAN OUT
CR	CURB RETURN
D	DIRT / DRAINAGE
FG	FINISHED GRADE
FH	FIRE HYDRANT
FL	FLOW LINE
FM	FORCE MAIN
G	NATURAL GAS (LOW PRESSURE)
GB	GRADE BREAK
HP	HIGH POINT
LF	LINEAR FOOT
LP	LOW POINT
MG	NATURAL GAS (MEDIUM PRESSURE)
MG	MATCH EXISTING GRADE
MH	MANHOLE
NS	NATIVE SOIL
NTS	NOT TO SCALE
P	PAVEMENT
PC	POINT OF CURVATURE
POC	POINT OF CONNECTION
POS	POINT OF SERVICE
PP	POWER POLE
PT	POINT OF TANGENCY
R	RADIUS
ROW	RIGHT OF WAY
S	SLOPE / SANITARY
SAN	SEWER SEWER
SSMH	SANITARY MANHOLE
STA	STATION
STM	STORM DRAIN
STMH	STORM MANHOLE
TBD	TO BE DETERMINED
TBL	TO BE RELOCATED BY RESPECTIVE UTILITY
TBR	TO BE REMOVED BY CONTRACTOR
TC	TOP OF CURB
TOE	TOE OF BANK
TOP	TOP OF BANK
TP	TELEPHONE POLE
U	UNDERGROUND
VIP	VERIFY IN FIELD PRIOR TO CONSTRUCTION
W	WATER MAIN

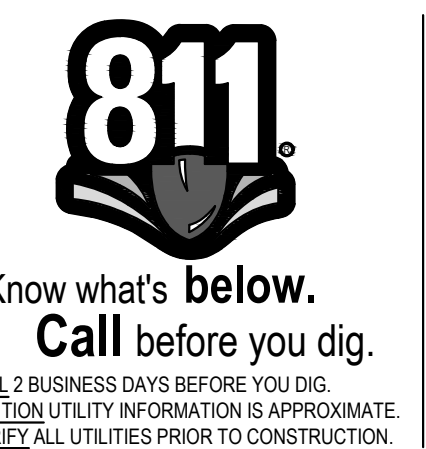
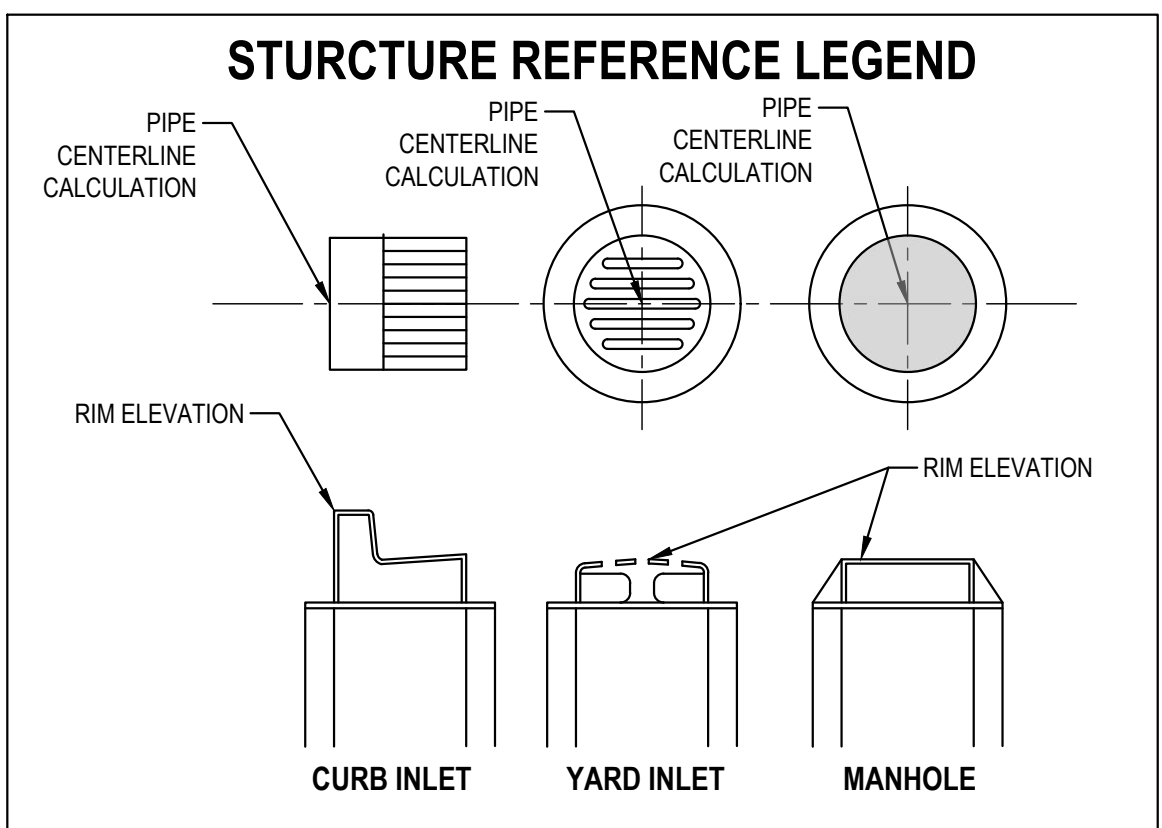


### SITE - ABBREVIATIONS

FFE	FIRST FLOOR FINISH ELEVATION
LLE	LOWER LEVEL FINISH ELEVATION
WO	WALKOUT
LO	LOOKOUT

### GRADING LEGEND / ABBREVIATIONS

TC: 391.49
FL: 390.99
TW: 391.49
BW: 380.99
GB: GRADE BREAK
LP: LOW POINT
HP: HIGH POINT
FC: FLUSH CURB
MG: MATCH GRADE
FL: FLOWLINE
SW: SIDEWALK
TC: TOP OF CURB
FG: FINISH GRADE (DEFAULT - IF NOT LABELED)



### Revisions:


LINE IS 1" ON FULL SCALE DRAWING

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**748 HOMESTEAD**  
748 WASHINGTON STREET, WOODLAND, WA 98674

**SITE PLAN REVIEW**  
Project No: 21035.1  
Issue Date: 6/28/2023

**LEGENDS**

**G003**

Project Manager: DCK  
Drawn by: CKJ/OK  
Checked by: TWT

ISSUED FOR SITE PLAN REVIEW

**SURVEY REFERENCES**

BOOK 3, PAGE 159 (MRS. IDA E. PARENTS ACRE TRACTS)  
 BOOK 11, PAGE 28 (PLAT OF BRIERWOOD ADDITION NO. 1)  
 BOOK 2, PAGE 153 (1978 SURVEY BY OLSON)  
 BOOK 3, PAGE 65 (1978 SURVEY BY HAGEDORN)  
 BOOK 5, PAGE 231 (1986 SHORT PLAT BY GERMINSON)  
 BOOK 12, PAGE 52 (1993 SURVEY BY SPURLOCK)  
 BOOK 12, PAGE 55 (1999 SHORT PLAT BY SWART)  
 BOOK 14, PAGE 13 (2005 SHORT PLAT BY MURSELL)  
 BOOK 14, PAGE 112 (2006 SHORT PLAT BY BLUHM)  
 BOOK 18, PAGE 58 (2021 SHORT PLAT BY MARTILLA)

**DEED REFERENCES**

AF: 3725899 (BRUNSON TO BRUNSON & HOMESTEAD DEVELOPMENT, LLC)

**GENERAL NOTES**

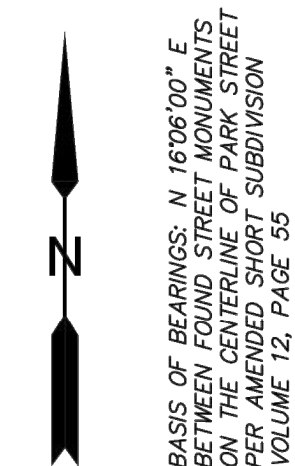
- 1). DATE OF SURVEY: MARCH 11-17, 2023
- 2). CONTOUR INTERVAL SHOWN IS 1.0'
- 3). BOUNDARY INFORMATION FROM MRS. IDA E. PARENTS ACRE TRACTS AND SHORT SUBDIVISION VOL. 2, PAGE 153.
- 4). SOME OR ALL OF THE UNDERGROUND UTILITIES SHOWN HEREON WERE LOCATED FROM FIELD TIES TO SURFACE UTILITIES. NORTHERN LAND SURVEYING LLC MAKES NO WARRANTIES TO ANY UNDERGROUND UTILITIES WHETHER SHOWN HEREON OR NOT.
- 5). HORIZONTAL DATUM: DRAWING COORDINATES ARE ON A LOCAL COORDINATE SYSTEM. BASIS OF BEARINGS IS BASED ON FOUND STREET MONUMENTS ON THE CENTERLINE OF PARK STREET PER AMENDED SHORT SUBDIVISION BOOK 12, PAGE 55.
- 6). VERTICAL DATUM: NAVD 88, PER WSDOT BENCHMARK NO. 4081. FOUND STAINLESS STEEL ROD IN LANDSCAPE ON THE SOUTH SIDE OF THE SOUTH ENTRANCE TO RODEWAY INN. PUBLISHED ELEVATION= 30.066 FEET.

**SURVEY REPORT**

748 WASHINGTON STREET, WOODLAND, WA IS A PORTION OF THE 'MRS. IDA E. PARENTS ACRE TRACTS' LOCATED IN THE TOWN OF WOODLAND AND WAS APPROVED AND DEDICATED IN 1916. THERE ARE MULTIPLE RETRACEMENT SURVEYS AND SHORT SUBDIVISIONS WITHIN THE PLAT OF 'MRS. IDA E. PARENTS ACRE TRACTS' COVERING THE PERIOD FROM 1974 THROUGH 2021, AND IT WAS FOUND THAT THERE ARE VARIOUS ISSUES RANGING FROM LACK OF ORIGINAL MONUMENTS, ERRORS IN ORIGINAL PLAT DISTANCES AND DIFFERING RETRACEMENT SURVEY METHODS. IT WAS NOTED THAT THERE WAS A 10-FOOT ERROR IN THE NORTH LINE OF LOT 11 OF WHICH MAY HAVE CONTRIBUTED TO ERRORS IN SUBSEQUENT BOUNDARY DETERMINATIONS AND ALSO THE RECORDS SHOW THAT AT ONE POINT THERE WERE TWO CENTERLINE MONUMENTS LOCATED NEAR THE WEST END OF WASHINGTON STREET BEING ABOUT 6.0 FEET APART (SHORT PLAT VOL. 17, PG. 54). SOME SURVEYS USED RECORD PLAT DISTANCES AND OTHERS USED PROPORTIONED METHODS. I HELD STREET MONUMENTS AND RECORD DISTANCES FOR THE CENTERLINE OF WASHINGTON STREET PER THE 1978 GIBBS & OLSON SHORT SUBDIVISION (VOL. 2, PG. 153). FOR THE SIDE LOT LINE CALCULATIONS, I USED RECORD PLAT DISTANCES AND HOLDING THE FOUND CURB SCREW AT THE NORTHWEST CORNER OF LOT 17 PER THE 1978 HAGEDORN SURVEY (VOL. 3, PG. 65). IN THE VICINITY OF 748 WASHINGTON STREET THERE WERE QUITE A FEW FENCE LINES/ USE LINES THAT MATCHED THIS RETRACEMENT METHOD, HOWEVER TO THE WEST IT APPEARS THAT THERE IS ROUGHLY A 6 FOOT DISCREPANCY. ALSO, THE FENCES ARE SKEWED QUITE A BIT FROM RECORD PLAT ANGLES. THE NORTH LINE OF THE PLAT WAS CALCULATED PER (VOL. 2, PG. 153) AND THE FOUND IRON PIPES ARE VERY CLOSE TO THIS CALCULATED LINE. DUE TO THE VARIOUS DISCREPANCIES AND LONGSTANDING OCCUPATION LINES, I AM RECOMMENDING THAT AGREEMENTS WOULD BE MADE AND RECORDED TO HOLD A LINE THAT CLOSELY MATCHES THE EXISTING FENCE LINES.

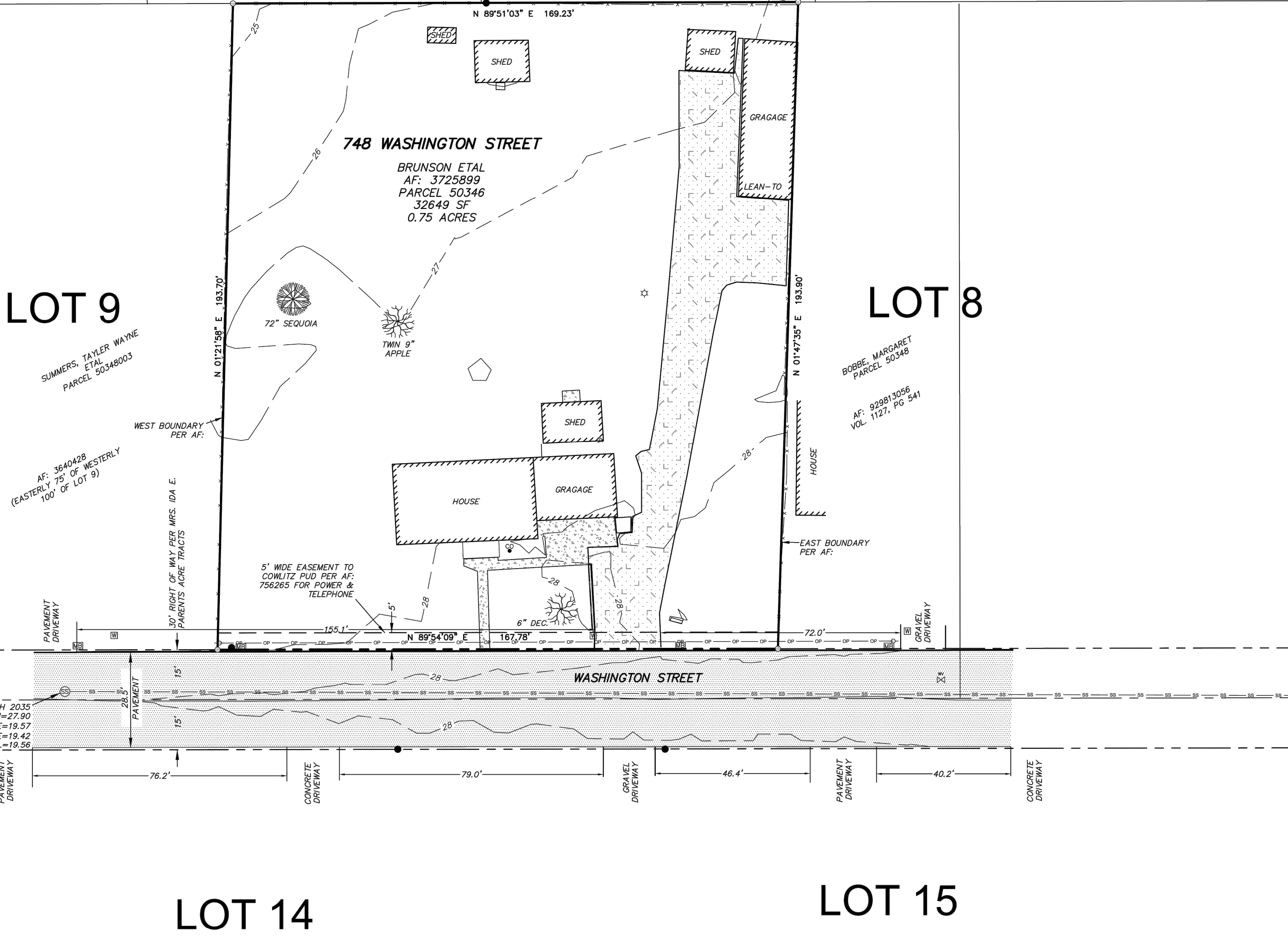
**EXISTING CONDITIONS SURVEY for ELWOOD HOLDINGS, LLC**

A PORTION OF LOTS 8 & 9 OF MRS. IDA E. PARENT'S ACRE TRACTS IN THE TOWN OF WOODLAND, WASHINGTON IN A PORTION OF THE S&M BOZARTH D.L.C. IN SECTION 24, T5N, R1W, W.M. COWLITZ COUNTY, WA



**LEGEND**

- MONUMENT FOUND (VISITED MARCH, 2023)
- INDICATES CALCULATED POSITION
- R.O.S. RECORD OF SURVEY (WITH BOOK AND PAGE)
- AF: AUDITOR'S FILE NUMBER
- ( ) RECORD DATA
- x-x- FENCING AS NOTED
- ☼ CLEAN OUT (SANITARY)
- ⊗ SANITARY MANHOLE
- SS— SANITARY SEWER LINE
- OP— OVERHEAD POWER
- ◇— POWER POLE
- ☆ LIGHT POLE
- WATER METER
- ⊗ WATER VALVE
- ⊠ MAILBOX
- 🌳 DECIDUOUS TREE
- 🌲 EVERGREEN TREE
- ▨ CONCRETE AREA
- ▩ GRAVEL AREA
- ▧ ASPHALT AREA



SSMH 2035  
 RIM=27.90  
 8"(W)E=19.57  
 8"(E)E=19.42  
 FL=19.56

**LOT 14**

**LOT 15**

**NARRATIVE / PROCEDURE**

THE PURPOSE OF THIS SURVEY WAS TO PROVIDE AN EXISTING CONDITIONS/ TOPOGRAPHIC SURVEY FOR ELWOOD HOLDINGS, LLC. FIELD SURVEYS CONSISTED OF A COMBINATION OF GPS OBSERVATIONS AND RANDOM TRAVERSE METHODS ALONG WITH RADIAL TIES; USING A 5-SECOND TRIMBLE S6 "TOTAL STATION" INSTRUMENT AND ELECTRONIC DATA COLLECTOR. RADIAL TIES WERE MADE TO EXISTING PROPERTY CORNER MONUMENTS AS SHOWN.



07/28/2023

**C000**

EXISTING CONDITIONS

<b>NORTHERN</b> LAND SURVEYING LLC P.O. Box 2017 Battle Ground, WA 98604 360.553.5992	EXISTING CONDITIONS SURVEY for ELWOOD HOLDINGS, LLC		
	Drawn By: DWJ Checked By: EJM	Date: 07/28/2023 Scale: 1"=20'	Job No. 2591 Sheet: 1 OF 1

ISSUED FOR SITE PLAN REVIEW





**GENERAL UTILITY SHEET NOTES:**

1. MARK CURB AND GUTTER WITH A "W" OR "S" TO SHOW LOCATION OF UTILITY SERVICE LINE CROSSINGS.
2. SEE DETAIL SHEETS FOR CONSTRUCTION DETAILS
3. STORMWATER DETAILS - SHEET ####  
SANITARY SEWER DETAILS - SHEET ####  
WATER DETAILS - SHEET ####
4. SEE SHEET #### AND ####, CIVIL NOTES, LEGENDS AND ABBREVIATIONS.
5. MAINTAIN 18" MIN. VERTICAL SEPARATION AND 10' MIN. HORIZONTAL SEPARATION BETWEEN WATER UTILITY AND SANITARY SEWER (TYP.)
6. SERVICE LATERAL CONSTRUCTION: SERVICE LATERAL CONNECTIONS AND PIPING WITHIN PUBLIC SANITARY SEWER EASEMENTS SHALL BE CONSTRUCTED TO PUBLIC STANDARDS. CONSTRUCTION SERVICES INSPECTIONS REQUIRED.
7. CONTRACTOR TO VERIFY LOCATIONS OF EXISTING UTILITIES USING POT HOLING OR OTHER EQUIVALENT METHODS.
8. ALL SEWER LATERALS ARE PRIVATE BETWEEN THE PROPERTY LINE AND BUILDING

**KEYNOTES:**

**STORM 300**

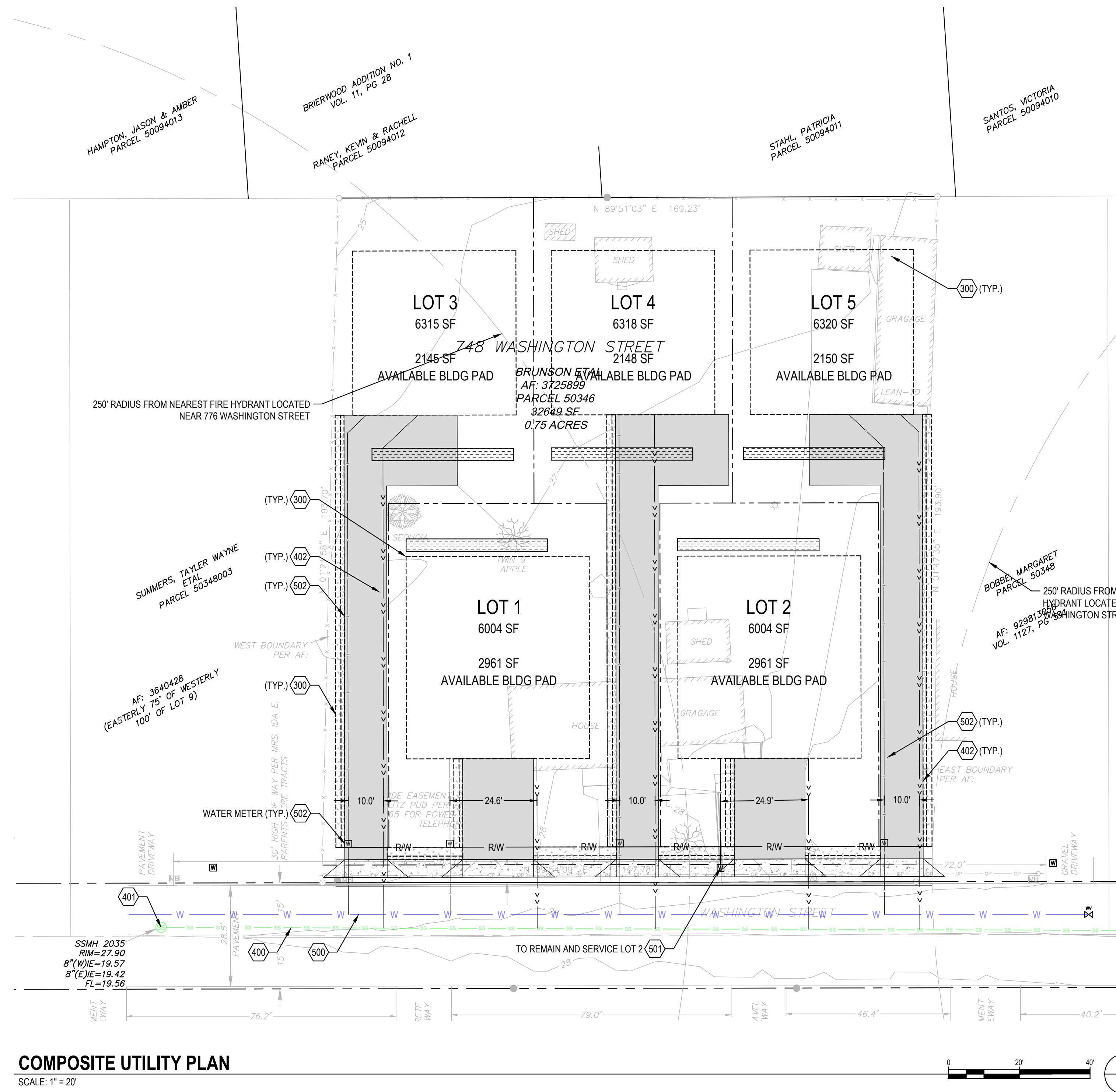
300 STORM WATER FACILITY - SEE SHEET C390

**SANITARY 400**

400 SANITARY SEWER PIPE (EXISTING MAIN LINE) - 8"  
401 SANITARY SEWER MANHOLE (EXISTING MH)  
402 SANITARY SEWER SERVICE (PROPOSED) - 4"

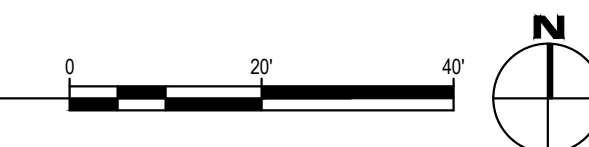
**WATER 500**

500 WATERMAIN PIPE (EXISTING MAIN LINE - EXACT LOCATION UNKNOWN) - 6"  
501 WATER METER (EXISTING)  
502 WATER SERVICE (PROPOSED) - 1" WITH 3' MINIMUM DEPTH.



**COMPOSITE UTILITY PLAN**

SCALE: 1" = 20'



Know what's below.  
Call before you dig.  
CALL 2 BUSINESS DAYS BEFORE YOU DIG.  
CAUTION: UTILITY INFORMATION IS APPROXIMATE.  
VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

Revisions:

No.	Description	Date

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**748 HOMESTEAD**

748 WASHINGTON STREET, WOODLAND, WA 98674

**SITE PLAN REVIEW**

Project No: 21035.1

Issue Date: 6/28/2023

**COMPOSITE UTILITY PLAN**

Project Manager: DCK  
Drawn by: CKJ/LJK  
Checked by: JTW

**C106**

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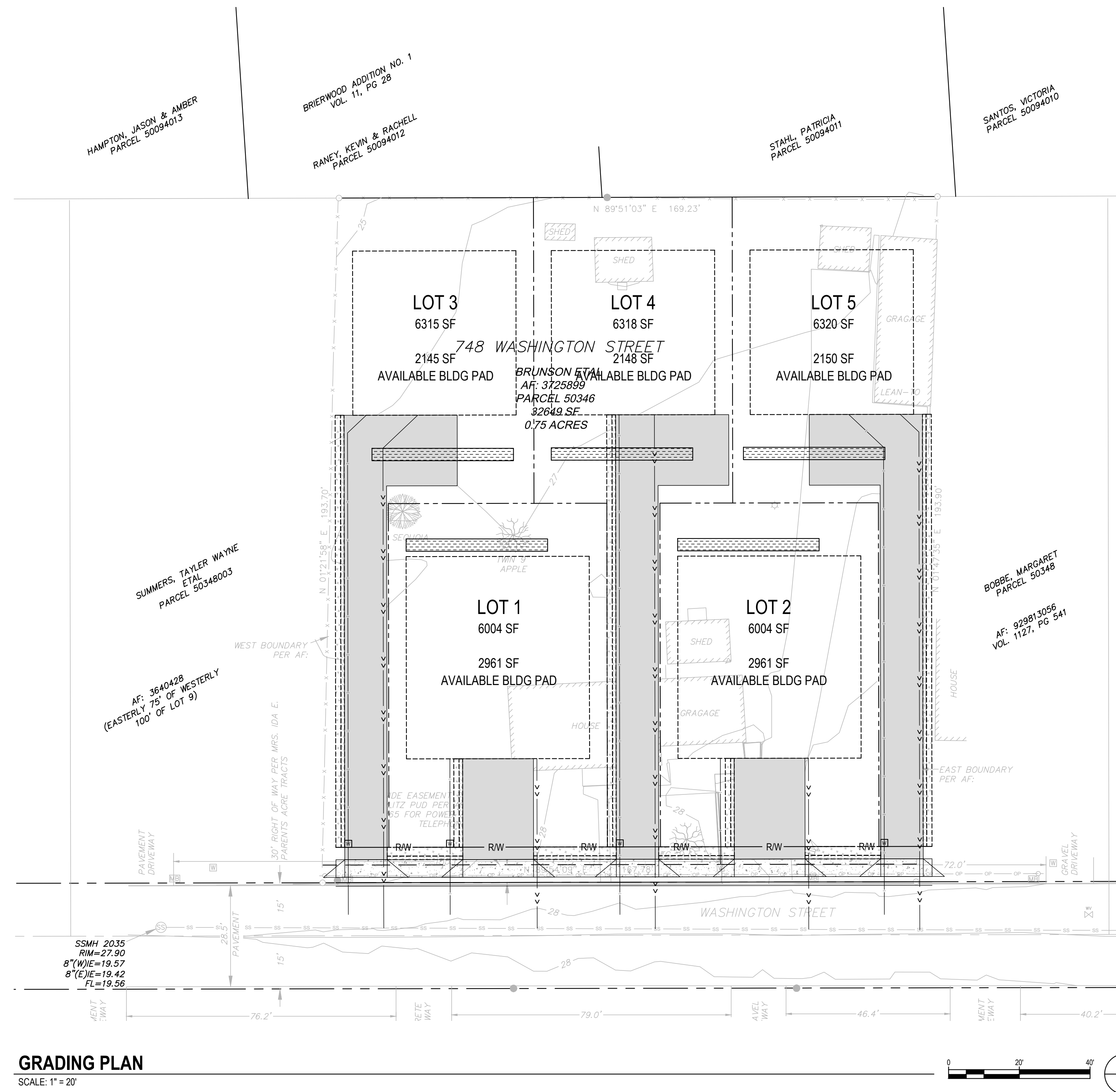


**GENERAL SHEET NOTES:**

- A. CITY OF WOODLAND CODE - WMC
- B. "WASHINGTON STATE DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON" LATEST EDITION. AVAILABLE ON THE WASHINGTON DOE WEBSITE.
- C. ALL SOILS SHALL BE AMENDED TO MEET THE STANDARD SET BY BMP T5.13 POST CONSTRUCTION SOIL QUALITY AND DEPTH
- D. SHOULD ANY ITEM OF ARCHAEOLOGICAL INTEREST (VMC 20.710.090) BE FOUND DURING DEVELOPMENT, YOU ARE REQUIRED TO STOP WORK AND NOTIFY THE PLANNING CASE MANAGER IN DEVELOPMENT REVIEW SERVICES AT (360) 487-7800, AND THE WASHINGTON STATE OFFICE OF ARCHAEOLOGY AND HISTORIC PRESERVATION AT (360) 753-4011 IMMEDIATELY. FAILURE TO DO SO COULD RESULT IN A FELONY CONVICTION.
- E. ANY PUBLIC, OR PRIVATE, CURB, GUTTER, SIDEWALK, OR ASPHALT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO CITY OF WOODLAND STANDARDS.
- F. IF ANY FILL IS PROPOSED WITHIN CURRENT, OR FUTURE, RIGHT-OF-WAY THE CONTRACTOR SHALL PLACE SUCH FILL IN ACCORDANCE WITH WMC.
- G. THE PROPOSED STORMWATER FACILITY MUST REMAIN OFFLINE UNTIL THE PROJECT IS COMPLETE AND VEGETATION THROUGHOUT THE SITE HAS BEEN ESTABLISHED. IF AT ANY TIME THE FACILITY BECOMES INUNDATED WITH SEDIMENT FILLED RUNOFF, THE TOP 2" OF MATERIAL MUST BE REMOVED AND REPLACED PRIOR TO PROJECT COMPLETION.
- H. LOTS TO BE GRADED AT TIME OF HOME CONSTRUCTION AND BE SUBJECT TO INDIVIDUAL PERMITTING.

**GRADING NOTES**

- 1. NO GRADING WITHIN 2' OF ADJACENT PARCELS PER IBC.
- 2. STRIP ORGANICS PER GEOTECH REPORT.
- 3. STRIPPINGS TO REMAIN ON SITE AND BE REDISTRIBUTED OVER LANDSCAPE AREAS AFTER ALL GRADING ACTIVITIES ARE COMPLETED. CONTRACTOR SHALL BE RESPONSIBLE FOR HAUL-OFF EXCESS MATERIAL.
- 4. CUT AND FILL QUANTITIES ARE BASED ON GENERAL SITE GRADING ESTABLISHED FROM THE STRIPPED GRADE TO THE FINISHED PROPOSED SUBGRADE AND TRENCH SPOILS. THESE VOLUMES DO NOT TAKE INTO ACCOUNT ANY UNKNOWN SOIL DEPOSITS OR OVER-EXCAVATION OF NON-ORGANIC MATERIALS THAT ARE DISCOVERED ON SITE, NOR WET WEATHER CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE TO PRODUCE INDEPENDENT GRADING VOLUMES AS WELL AS ACCOUNT FOR OBSERVATION OF MEASURES DIRECTED WITHIN THE GEOTECHNICAL REPORT OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER DURING THE COURSE OF CONSTRUCTION.
- 5. SITE SLOPES ARE 2% OR LESS
- 6. IMPORTED FILL AND COMPACTION PER GEOTECH REPORT
- 7. EXCAVATION NEAR FOUNDATION - EXCAVATION NEAR FOUNDATIONS. EXCAVATION FOR ANY PURPOSE SHALL NOT REDUCE LATERAL SUPPORT FROM ANY FOUNDATION OR ADJACENT FOUNDATION WITHOUT FIRST UNDERPINNING OR PROTECTING THE FOUNDATION AGAINST DETRIMENTAL LATERAL OR VERTICAL MOVEMENT, OR BOTH.
- 8. SITE GRADING - THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5-PERCENT SLOPE) FOR A MINIMUM OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10 FEET OF HORIZONTAL DISTANCE, A 5-PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. SWALES USED FOR THIS PURPOSE SHALL BE SLOPED A MINIMUM OF 2 PERCENT WHERE LOCATED WITHIN 10 FEET OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING.
- 9. EXCEPTION: WHERE CLIMATIC OR SOILS CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN ONE VERTICAL IN 48 UNITS HORIZONTAL (2-PERCENT SLOPE).
- 10. THE PROCEDURE USED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ADDITIONAL SETTLEMENT OF THE BACKFILL



**GRADING PLAN**  
SCALE: 1" = 20'

PLOT DATE: 7/28/2023 2:25 PM - FILE: C:\Users\Christine Jones\OneDrive - Windsor Engineers\05 - Projects\2021\21035.1 748 Homestead\02\_Drawings\01\_Working\04\_Final\Sheets\21035.1\_P12\_C130.dwg



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CAUTION: UTILITY INFORMATION IS APPROXIMATE.  
VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

Revisions:

No.	Description	Date

LINE IS 1" ON FULL SCALE DRAWING



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**748 HOMESTEAD**

748 WASHINGTON STREET, WOODLAND, WA 98674

**SITE PLAN REVIEW**

Project No: 21035.1

Issue Date: 6/28/2023

**GRADING PLAN**

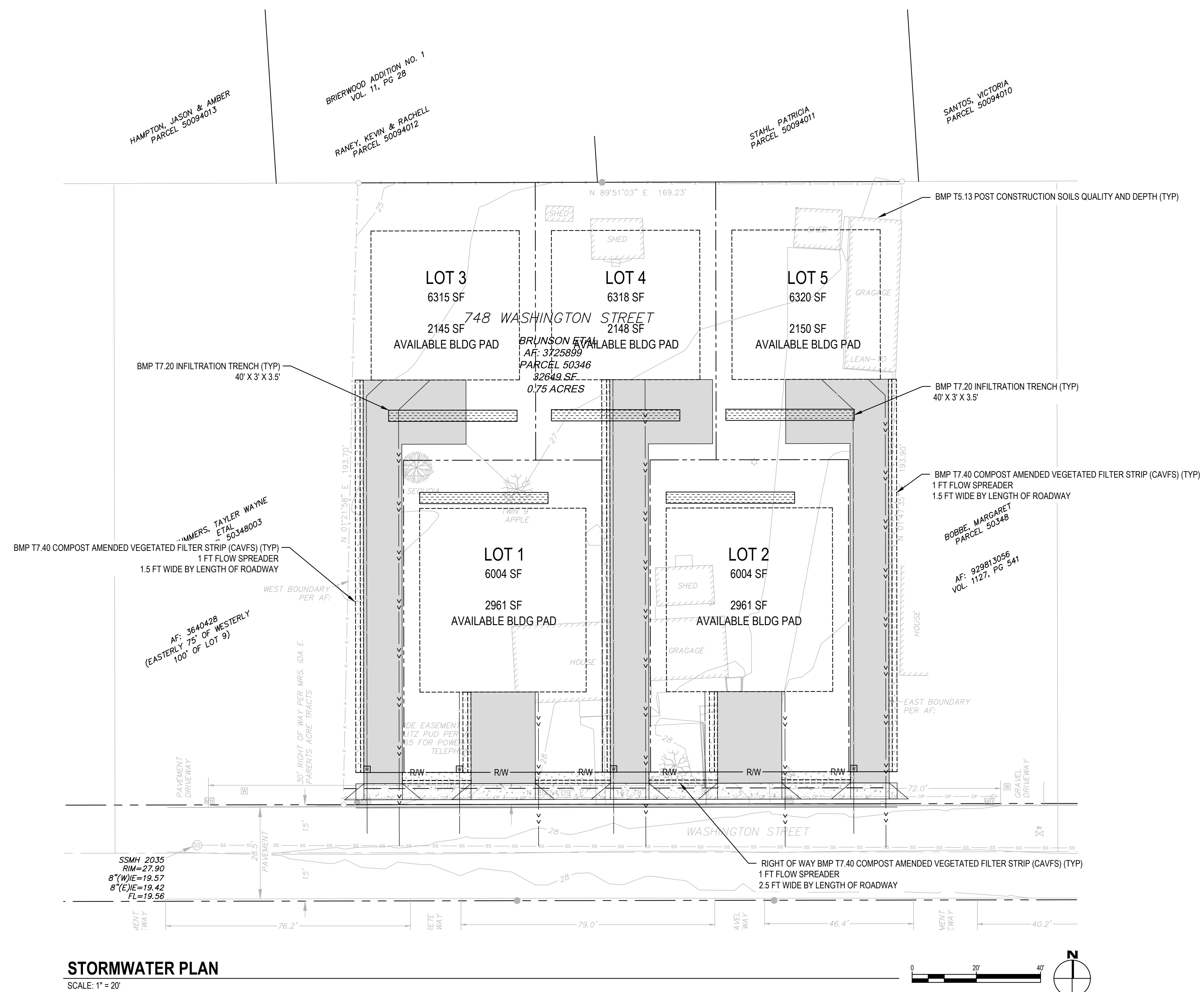
Project Manager: DCK  
Drawn by: CKJ/OK  
Checked by: TWT

**C130**

ISSUED FOR SITE PLAN REVIEW

**STORMWATER KEYNOTES:**

- A. STORMWATER FACILITIES THAT ARE PRIVATELY OWNED SHALL BE MAINTAINED BY THE LANDOWNER
- B. ALL INFILTRATION SHALL BE AT LEAST 10 FEET FROM ANY STRUCTURE, PROPERTY LINE, OR SENSITIVE AREA (EXCEPT SLOPES OVER 40%)



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**748 HOMESTEAD**  
748 WASHINGTON STREET, WOODLAND, WA 98674

**SITE PLAN REVIEW**

Project No: 21035.1  
Issue Date: 6/28/2023

Project Manager: DCK  
Drawn by: CKJ/LJK  
Checked by: TWT

**STORMWATER PLAN**

**C390**

ISSUED FOR SITE PLAN REVIEW

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**GENERAL EROSION PREVENTION & SEDIMENT CONTROL NOTES**

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE AND IN WORKING CONDITION PRIOR TO ANY LAND DISTURBING ACTIVITY CAUSED BY CLEARING OR GRADING. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE APPROVED BY THE CITY EROSION CONTROL SPECIALIST PRIOR TO THE COMMENCEMENT OF WORK. THE CONTRACTOR SHALL CALL FOR AN ON-SITE INSPECTION WHEN EROSION AND SEDIMENT CONTROL MEASURES ARE IN PLACE AND PRIOR TO COMMENCEMENT OF WORK.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHALL BE SITED, DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS IN THE CITY OF WOODLAND GENERAL REGULATIONS AND THE WASHINGTON STATE DEPARTMENT OF ECOLOGY EROSION CONTROL MANUAL FOR WESTERN WASHINGTON, UNDER THE CITY OF WOODLAND GENERAL REGULATIONS SHALL TAKE PRECEDENCE.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EROSION PREVENTION AND SEDIMENT CONTROL MEASURES DURING AND AFTER INSTALLATION OF ALL UTILITY WORK ASSOCIATED WITH UTILITY TRENCHES.
- PRIOR TO ANY SITE EXCAVATION, ALL STORM DRAINAGE DUCTS SHALL BE PROTECTED DOWN SLOPE FROM ANY DISTURBED OR CONSTRUCTION AREAS PER THE STANDARD PRACTICES TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAINAGE SYSTEM PRIOR TO PERMANENT INSTALLATION OF THE DISTURBED AREAS. CLEAN THE FILTER FABRIC AS NECESSARY TO MAINTAIN DRAINAGE. REMOVE FILTER AND CLEAN CATCH BASINS FOLLOWING COMPLETION OF SITEWORK.
- THE CONTRACTOR SHALL NOT ALLOW SEDIMENT OR DEBRIS TO ENTER NEW OR EXISTING PIPES, CATCH BASINS OR WETLANDS SYSTEMS.
- NEWLY CONSTRUCTED OR MODIFIED INLETS AND CATCH BASINS ARE TO BE PROTECTED IMMEDIATELY UPON INSTALLATION.
- TEMPORARY SEEDING AND MULCHING OF FULL SLOPES AND DIVERSION DICES SHALL BE COMPLETED WITHIN ONE WEEK AFTER ROAD GRADING.
- ALL EXPOSED AND UNWORKED SOILS SHALL BE STABILIZED BY THE APPROPRIATE BEST MANAGEMENT PRACTICES (BMP). DURING THE PERIOD FROM OCTOBER 1 TO APRIL 30 NO SOIL SHALL BE EXPOSED FOR MORE THAN TWO (2) DAYS; FROM MAY 1 TO SEPTEMBER 30 NO SOIL SHALL BE EXPOSED FOR MORE THAN SEVEN (7) DAYS.
- MATERIAL STOCKPILES ARE TO BE PROTECTED BY THE FOLLOWING MEANS:  
TEMPORARY: COVER PILES WITH TARP OR PLASTIC SHEETING SECURED WITH CONCRETE BLOCKS, LIMBER OR TIRES.  
PERMANENT: COVER PILES WITH TARP OR PLASTIC, OR PAVED, PAVED AREAS AROUND PILES ARE TO BE SURROUNDED WITH EROSION CONTROL. FILTER FABRIC FENCES UNTIL SOIL SURFACE IS STABILIZED WITH VEGETATION.
- THE CONTRACTOR SHALL MAINTAIN ON SITE A WRITTEN ONLY LOG OF EROSION CONTROL, BMP MAINTENANCE.
- IF THE CITY INSPECTOR OR ENGINEER(S) HAS EVIDENCE OF POOR CONSTRUCTION PRACTICES OR IMPROPER EROSION PREVENTION BMPs, CITATIONS AND/OR A STOP WORK ORDER SHALL BE ISSUED UNTIL PROPER MEASURES HAVE BEEN TAKEN AND APPROVED BY THE CITY OF WOODLAND. IF THE BMP APPLIED TO A SITE ARE INSUFFICIENT TO PREVENT SEDIMENT FROM REACHING WATER BODIES, ADJACENT PROPERTIES, OR PUBLIC HIGHWAY, THEN THE PUBLIC WORKS DIRECTOR SHALL REQUIRE ADDITIONAL BMPs.
- PROTECTION OF ADJACENT PROPERTIES, ROADS AND STREETS**
- PROVIDE A 12-INCH DEEP PAD OF CURBED ROCK FOR A DISTANCE OF 150 FEET INTO THE SITE FOR ALL ACCESS POINTS UTILIZED BY CONSTRUCTION EQUIPMENT AND TRUCKS. WORK ON THE PAD SHALL BE A MINIMUM OF 20 FEET. ALL TRUCKS LEAVING THE SITE SHALL FORCE WASHES ACROSS THE PAD. ACCUMULATED SOIL SHALL BE PERIODICALLY REMOVED, OR ADDITIONAL ROCK SHALL BE PLACED UPON THE PAD SURFACE. ROCK SHALL BE CLEAN 4 INCH TO 8 INCH QUARRY SPALLS. ALL MATERIALS GRAVEL, DEBRIS, MIXED OR TRACKED FROM TRUCKS, TRUCKS, OR ROADWAY OR ROAD STORM DRAINAGE MUST BE REMOVED IMMEDIATELY.
- PREVENT SWEEPING AND SHOVELING IS REQUIRED. WASHING THE PAVEMENT INTO THE STORM SYSTEM IS NOT PERMITTED.
- IF SITES WITH SLOPE THINER THAN 4:1 ARE OF EXPOSED SOIL, THE CONTRACTOR SHALL BE REQUIRED TO USE BEST MANAGEMENT PRACTICES (BMP) TO MAINTAIN THE SLOPE REDUCED TO 2:1. IF CONSTRUCTION OCCURS SIMULTANEOUSLY ON ADJACENT LOTS WITH THE SAME OWNER DURING CONSTRUCTION, ONE LOT ENTRANCE MAY BE USED FOR THE ADJACENT LOTS.
- INSTALL SEDIMENT FENCE IN ACCORDANCE WITH THIS DETAIL SHEET PRIOR TO BUILDING CONSTRUCTION AND/OR EXCAVATION TO PREVENT SILT INTRUSION INTO ADJACENT LOTS. IF CONSTRUCTION OCCURS SIMULTANEOUSLY ON ADJACENT LOTS AND THE LOTS HAVE THE SAME OWNER DURING CONSTRUCTION, ONE LOT ENTRANCE MAY BE USED FOR THE ADJACENT LOTS.
- CONSTRUCTION ROADS AND PARKING AREAS SHALL BE STABILIZED WHEREVER THEY ARE CONSTRUCTED, WHETHER PERMANENT OR TEMPORARY, FOR THE USE OF CONSTRUCTION TRAFFIC.
- MAINTENANCE OF SEDIMENT CONTROL BMPs**
- MAINTAIN AND REMOVE ALL SEDIMENT CONTROLS AS SPECIFIED IN THE STANDARD DETAILS. THE CONTRACTOR SHALL REMOVE ALL ACCUMULATED SEDIMENT FROM THE CATCH BASINS, DITCHES, UTILITY TRENCHES AND STORM PIPES PRIOR TO ACCEPTANCE BY THE CITY.
- SEDIMENT CONTROL BMPs SHALL BE INSPECTED WEEKLY AND AFTER ANY STORM EVENT. THE INSPECTION FREQUENCY FOR STABILIZED, MATRIE SITES SHALL BE ONCE EVERY TWO WEEKS OR MORE FREQUENTLY AS DETERMINED BY THE LOCAL PERMITTING AUTHORITY BASED ON THE LEVEL OF SOIL STABILITY AND POTENTIAL FOR ADVERSE ENVIRONMENTAL IMPACTS.
- ALL TEMPORARY EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER SITE STABILIZATION IS ACHIEVED OR AFTER TEMPORARY BMPs ARE NO LONGER NEEDED. TRAPPED SEDIMENT SHALL BE REMOVED OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM REMOVAL SHALL BE PERMANENTLY STABILIZED.
- DUST CONTROL**
- ON AREAS SUBJECT TO SURFACE AND AIR MOVEMENT OF DUST ONE OR MORE OF THE FOLLOWING PREVENTATIVE MEASURES SHALL BE TAKEN FOR DUST CONTROL:  
A. WASH THE TIRE AND UNDERCHASSIS THROUGH THE USE OF TEMPORARY GROUND COVER AND OTHER TEMPORARY STABILIZATION PRACTICES.  
B. SPRINKLE THE SITE WITH WATER UNTIL THE SURFACE IS WET.  
C. SPRAY EXPOSED SOIL AREAS WITH A DUST INHIBITOR. NOTE: USE OF PETROLEUM PRODUCTS OR POTENTIALLY HAZARDOUS MATERIALS ARE PROHIBITED.
- TEMPORARY SEEDING**
- EXPOSED SURFACES THAT WILL NOT BE BROUGHT TO FINAL GRADE OR GIVEN A PERMANENT COVER TREATMENT WITHIN 30 DAYS OF THE EXPOSURE SHALL HAVE SEED MIX AND MULCH APPLIED TO THE SOIL AND PERIODICLY REAPPLIED TO MAINTAIN SOIL AND PREVENT EROSION. SEED AREAS SHALL BE CHECKED REGULARLY TO DETERMINE AS SOON AS SUCH AREAS ARE ESTABLISHED. AREAS THAT FAIL TO ESTABLISH VEGETATION COVER AS NECESSARY TO PREVENT EROSION WILL BE RESEED AS SOON AS SUCH AREAS ARE ESTABLISHED.
- APPLY AN APPROVED TEMPORARY SEEDING MIXTURE TO THE PREPARED SEED BED AT A RATE OF 150 LB/ACRE. NOTE: "HYDROSEEDING" APPLICATIONS WITH APPROVED SEED-MULCH-FERTILIZER MIXTURES MAY ALSO BE USED.

**EROSION PREVENTION AND SEDIMENT CONTROL**

APPROVED	REVISIONS	DATE	DRAWN	DESIGNED	E-03
PUBLIC WORKS DIRECTOR	DATE				

**STABILIZED CONSTRUCTION ENTRANCE**

EXISTING ROAD  
R - 25' MIN  
INSTALL DRIVEWAY CULVERT IF THERE IS A ROADSIDE DITCH PRESENT  
4" - 8" QUARRY SPALLS  
GEOTEXTILE  
12" MIN THICKNESS  
PROVIDE FULL WIDTH OF INGRESS/EGRESS AREA

IT IS RECOMMENDED THAT THE ENTRANCE BE CROWNED SO THAT RUNOFF DRAINS OFF THE PAD

NOTES:

- IF THE ENTRANCE SITS ON A SLOPE, PLACE A FILTER FABRIC FENCE DOWN GRADIENT.
- TOP DRESS THE PAD WITH CLEAN 3" MINUS ROCK WHEN THE CONSTRUCTION ENTRANCE BECOMES CLOGGED WITH SEDIMENTS.
- ANY SEDIMENT CARRIED FROM THE SITE ONTO THE STREET SHALL BE CLEANED UP IMMEDIATELY.
- IF EQUIPMENT TRAVELS EXTENSIVELY ON UNSTABILIZED ROADS ON THE SITE, A TIRE AND VEHICLE UNDERCHASSIS WASH NEAR THE ENTRANCE WILL BE NEEDED. PERSON WASHING ON CRUSHED ROCK, WASH WATER WILL REQUIRE TREATMENT IN A SEDIMENT POND OR TRAP.

**MAINTENANCE STANDARDS:**

- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT POND.
- IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGNS OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCURS, REPLACE THE FENCE OR REMOVE THE TRAPPED SEDIMENT.
- SEDIMENT DEPOSITS SHALL EITHER BE REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-THIRD THE HEIGHT OF THE SILT FENCE, OR A SECOND SILT FENCE SHALL BE INSTALLED.
- IF THE FILTER FABRIC (GEOTEXTILE) HAS DETEIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED.

**EROSION PREVENTION AND SEDIMENT CONTROL**

APPROVED	REVISIONS	DATE	DRAWN	DESIGNED	E-05
PUBLIC WORKS DIRECTOR	DATE				

**SILT FENCE**

JOINTS IN FILTER FABRIC SHALL BE SPICED AT POSTS. USE STAPLES, WIRE RINGS SHOWN IN POCKETS, OR EQUIVALENT TO ATTACH FABRIC TO POSTS.  
2" x 2" BY 14 GAUGE WIRE OR EQUIVALENT, IF STANDARD STRENGTH FABRIC IS USED  
FILTER FABRIC  
BURY FILTER FABRIC 6"  
BACKFILL TRENCH WITH NATIVE SOIL OR 3/4" - 1.5" WASHED GRAVEL  
2" MIN 3" MAX  
4" x 4" MIN TRENCH  
2" x 2" WOOD POSTS, STEEL FENCE POSTS, REBAR, OR EQUIVALENT  
6" MAX  
8" MIN 12" MAX  
FRONT VIEW  
SIDE VIEW

NOTES:

- IF THE ENTRANCE SITS ON A SLOPE, PLACE A FILTER FABRIC FENCE DOWN GRADIENT.
- TOP DRESS THE PAD WITH CLEAN 3" MINUS ROCK WHEN THE CONSTRUCTION ENTRANCE BECOMES CLOGGED WITH SEDIMENTS.
- ANY SEDIMENT CARRIED FROM THE SITE ONTO THE STREET SHALL BE CLEANED UP IMMEDIATELY.
- IF EQUIPMENT TRAVELS EXTENSIVELY ON UNSTABILIZED ROADS ON THE SITE, A TIRE AND VEHICLE UNDERCHASSIS WASH NEAR THE ENTRANCE WILL BE NEEDED. PERSON WASHING ON CRUSHED ROCK, WASH WATER WILL REQUIRE TREATMENT IN A SEDIMENT POND OR TRAP.

**MAINTENANCE STANDARDS:**

- SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT POND.
- IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGNS OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCURS, REPLACE THE FENCE OR REMOVE THE TRAPPED SEDIMENT.
- SEDIMENT DEPOSITS SHALL EITHER BE REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-THIRD THE HEIGHT OF THE SILT FENCE, OR A SECOND SILT FENCE SHALL BE INSTALLED.
- IF THE FILTER FABRIC (GEOTEXTILE) HAS DETEIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED.

**EROSION PREVENTION AND SEDIMENT CONTROL**

APPROVED	REVISIONS	DATE	DRAWN	DESIGNED	E-20
PUBLIC WORKS DIRECTOR	DATE				

**WHEEL WASH**

2" SCHEDULE 40  
1-1/2" SCHEDULE 40 FOR SPRAYERS  
2% SLOPE  
5:1 SLOPE  
1:1 SLOPE  
5:1 SLOPE  
2% SLOPE  
WASH WHEEL PLAN  
ELEVATION VIEW  
SECTION A-A

NOTES:

- ASPHALT CONSTRUCTION ENTRANCE 6" ASPHALT TREATED BASE (ATB).
- 3" TRASH PUMP WITH FLOATS ON THE SUCTION HOSE.
- MIDPOINT SPRAY NOZZLES, IF NEEDED.
- 6" SEWER PIPE WITH BUTTERFLY VALVES, BOTTOM ONE IS A DRAIN. LOCATE TOP PIPE'S INVERT 1' ABOVE BOTTOM OF WHEEL WASH.
- 8' X 8' SUMP WITH 5' OF CATCH, BUILD SO CAN BE CLEANED WITH TRACKHOE.
- 6" ASPHALT CURB ON THE LOW ROAD SIDE TO DIRECT WATER BACK TO POND.
- 6" SLEEVE UNDER ROAD.
- BALL VALVES.
- 15' ATB APRON TO PROTECT GROUND FROM SPLASHING WATER.

**EROSION PREVENTION AND SEDIMENT CONTROL**

APPROVED	REVISIONS	DATE	DRAWN	DESIGNED	E-06
PUBLIC WORKS DIRECTOR	DATE				

**INLET PROTECTION (1 OF 2)**

6"O-FILTER BAGS OR STRAW WATTLES MAY BE USED SHORT TERM WITH UTILITY WORK AND WITH PHASING OF DEVELOPMENT  
CATCH BASIN  
AREA DRAIN  
FLOW  
6" BAG OVERLAP  
DITCH INLET  
DITCH BOTTOM  
PLAN VIEW  
CROSS SECTION  
ISOMETRIC VIEW

NOTES:

- ADDITIONAL MEASURES MUST BE CONSIDERED DEPENDING ON SOIL TYPE.
- 6"O-FILTER BAGS SHOULD BE STAKED WHERE APPLICABLE USING (2) 1" x 2" WOODEN STAKES OR APPROVED EQUAL PER BAG.
- STRAW WATTLES MUST BE STABILIZED BY ATTACHING WIRE CLIPS TO THE CATCH BASIN PER MANUFACTURER SPECIFICATIONS.
- INLET PROTECTION MUST BE REGULARLY INSPECTED BY THE EROSION CONTROL INDIVIDUAL TO INSURE PROPER PLACEMENT/FUNCTION AND MAINTENANCE.

**EROSION PREVENTION AND SEDIMENT CONTROL**

APPROVED	REVISIONS	DATE	DRAWN	DESIGNED	E-16
PUBLIC WORKS DIRECTOR	DATE				

**INLET PROTECTION (2 OF 2)**

BACK OF CURB  
CURB INLET  
36" WIDE FILTER MAT  
PLAN VIEW  
FILTER FABRIC  
CURB INLET

NOTES:

- USE FILTER MAT SEDIMENT BARRIER WHEN CURB INLET IS LOCATED IN GENTLY SLOPING STREET, WITH MINIMAL NEED, WHERE WATER CAN FILTER AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
- BARRIER SHALL ALLOW FOR OVERFLOW FROM SEVERE STORM EVENT.
- INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

**EROSION PREVENTION AND SEDIMENT CONTROL**

APPROVED	REVISIONS	DATE	DRAWN	DESIGNED	E-17
PUBLIC WORKS DIRECTOR	DATE				

**Concrete Washout Sign Detail (or equivalent)**

Straw bale  
Staples (2 per bale)  
Wood or metal stakes (2 per bale)  
10 mil plastic lining  
Binding wire  
Plywood  
1200 mm x 610 mm painted white  
Wood post (89 mm x 89 mm x 2.4 m)  
Lag screws (12.5 mm)  
CONCRETE WASHOUT  
Black letters 150 mm height  
915 mm  
915 mm  
Stake (typ)  
3m Minimum  
Varies  
B  
B  
Straw bale (typ.)  
10 mil plastic lining

**Staple Detail**

50 mm  
200 mm  
3.05 mm dia. steel wire

Notes:

- Actual layout determined in the field.
- The concrete washout sign shall be installed within 10 m of the temporary concrete washout facility.

**Type "Above Grade" with Straw Bales**

NOT TO SCALE

**Figure II-4.1.7b**  
**Concrete Washout Area**  
Revised June 2015

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State of Washington

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**748 HOMESTEAD**  
748 WASHINGTON STREET, WOODLAND, WA 98674

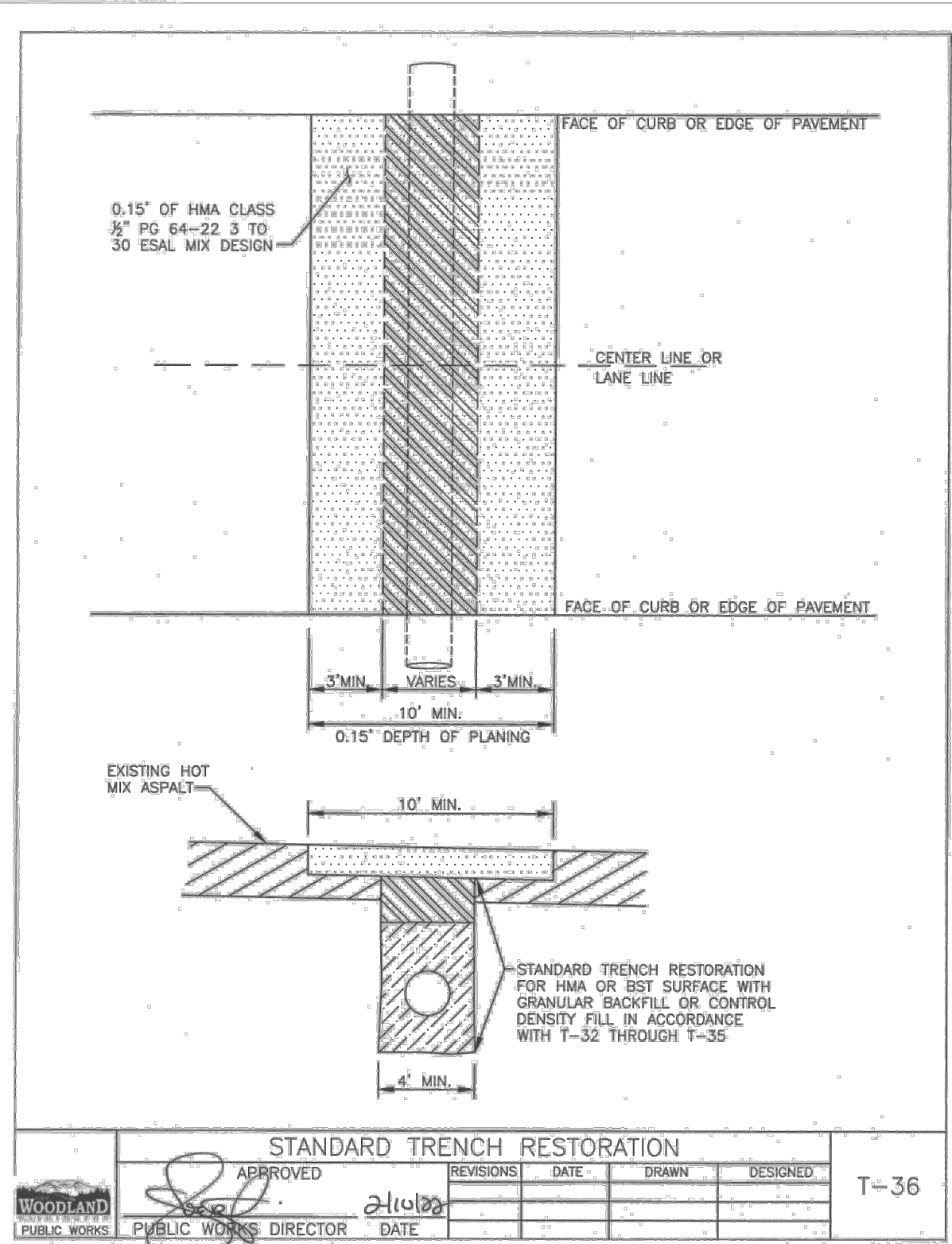
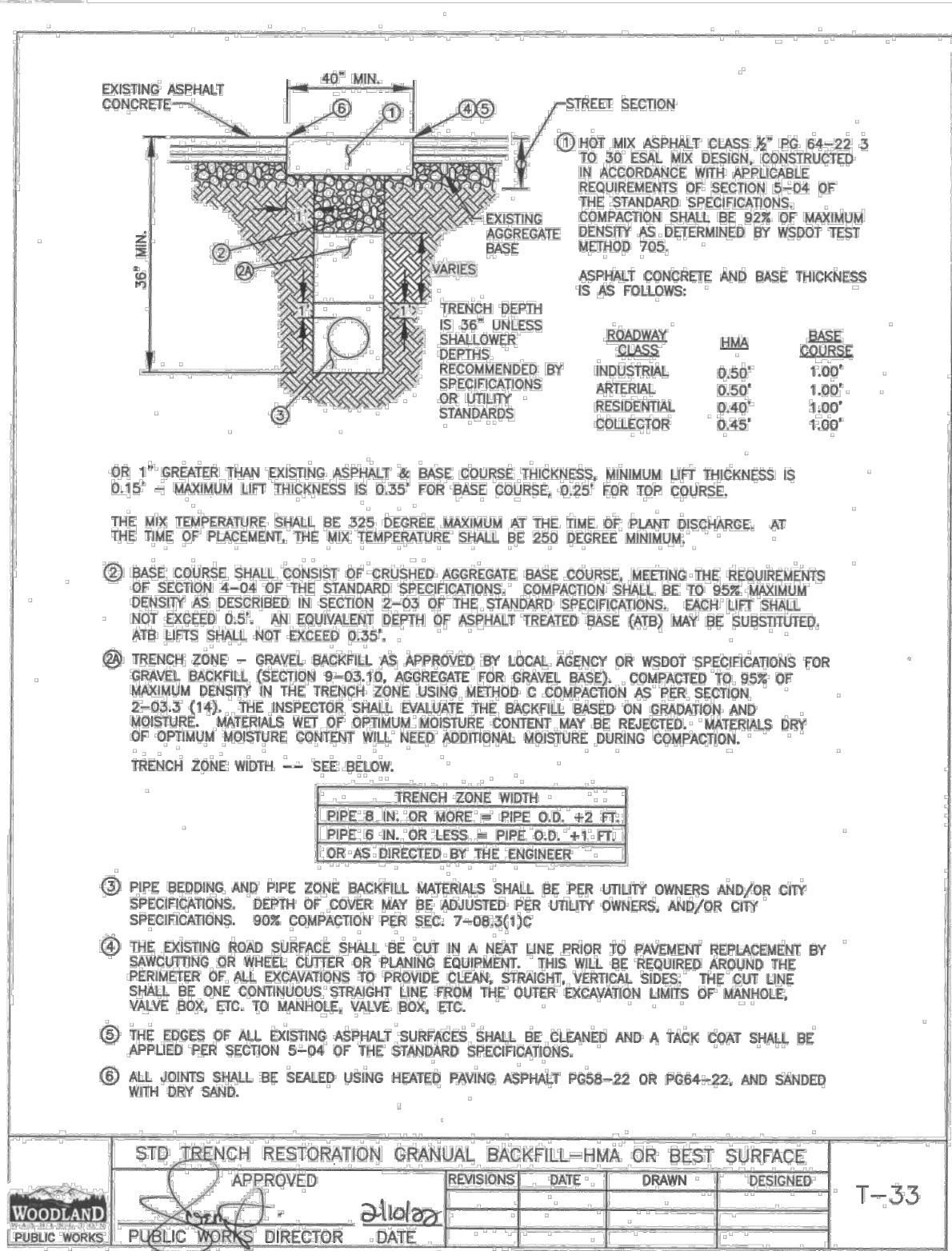
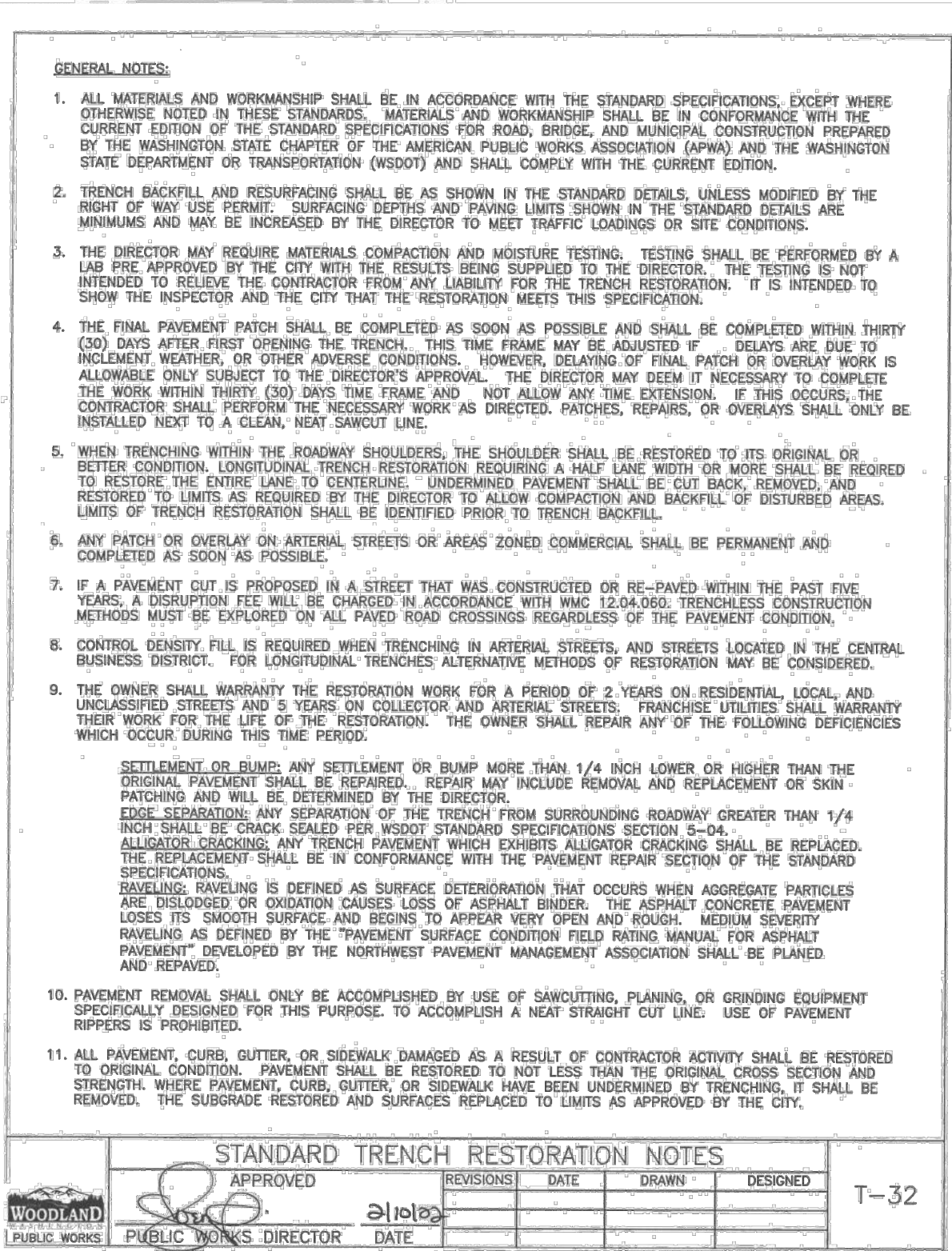
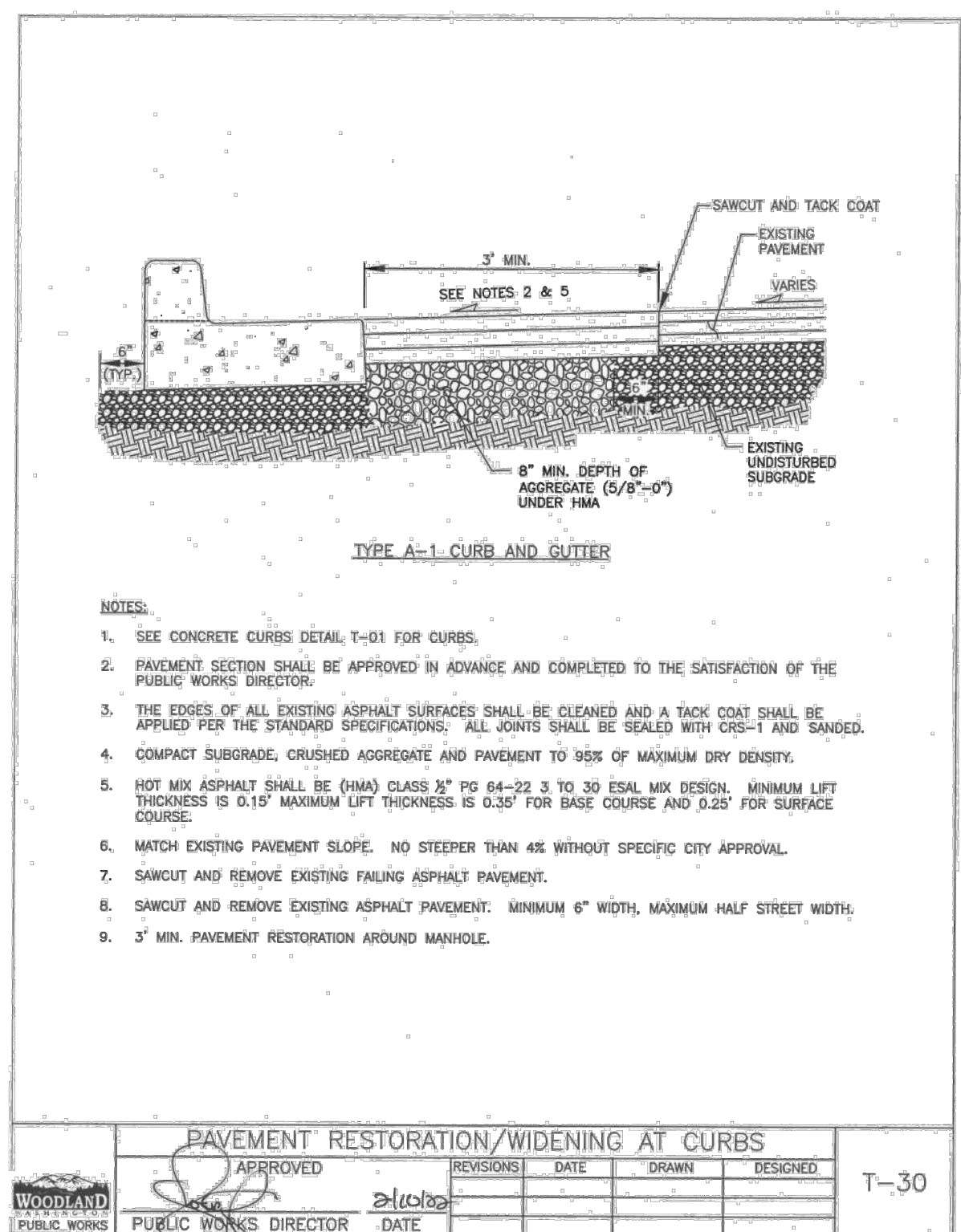
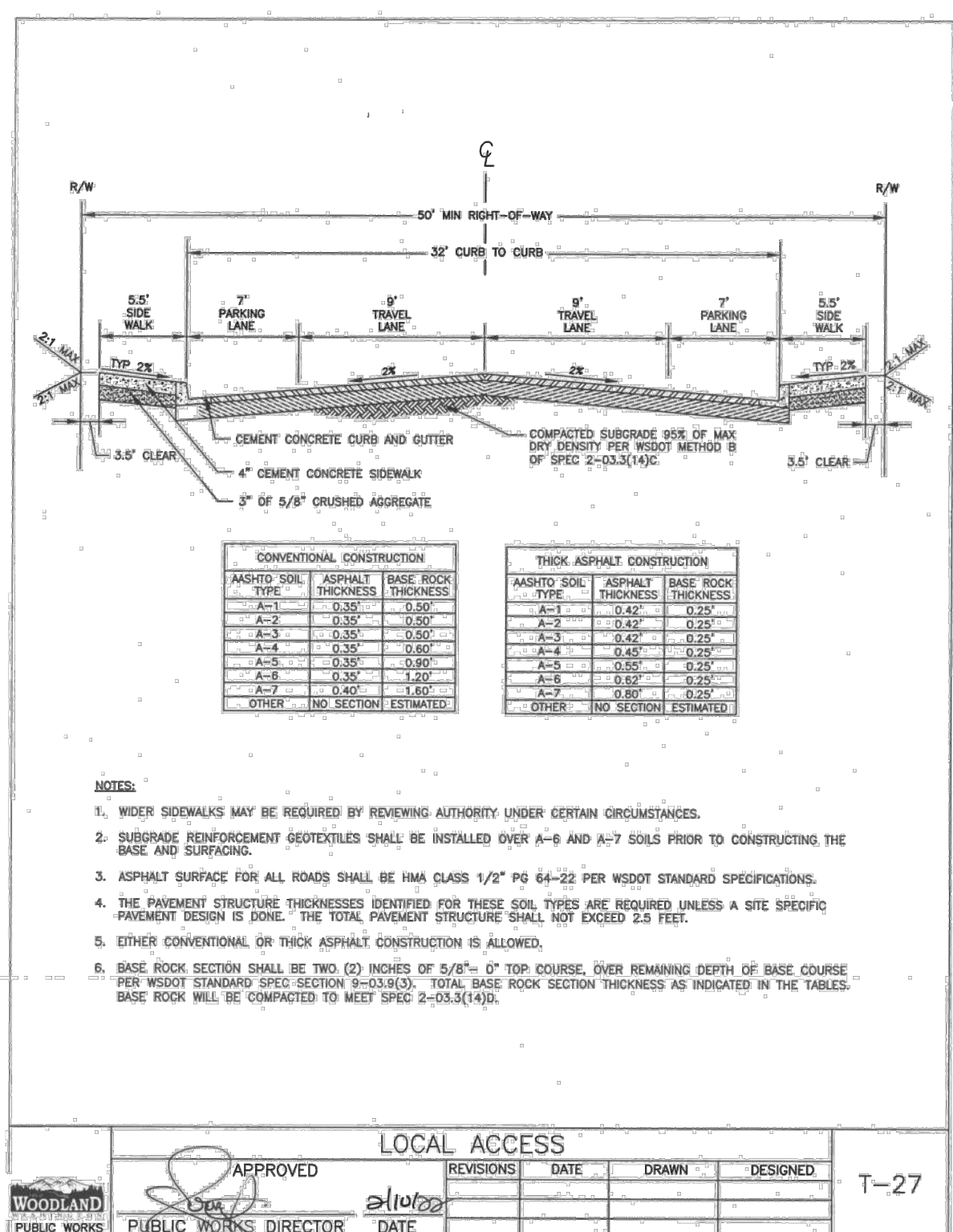
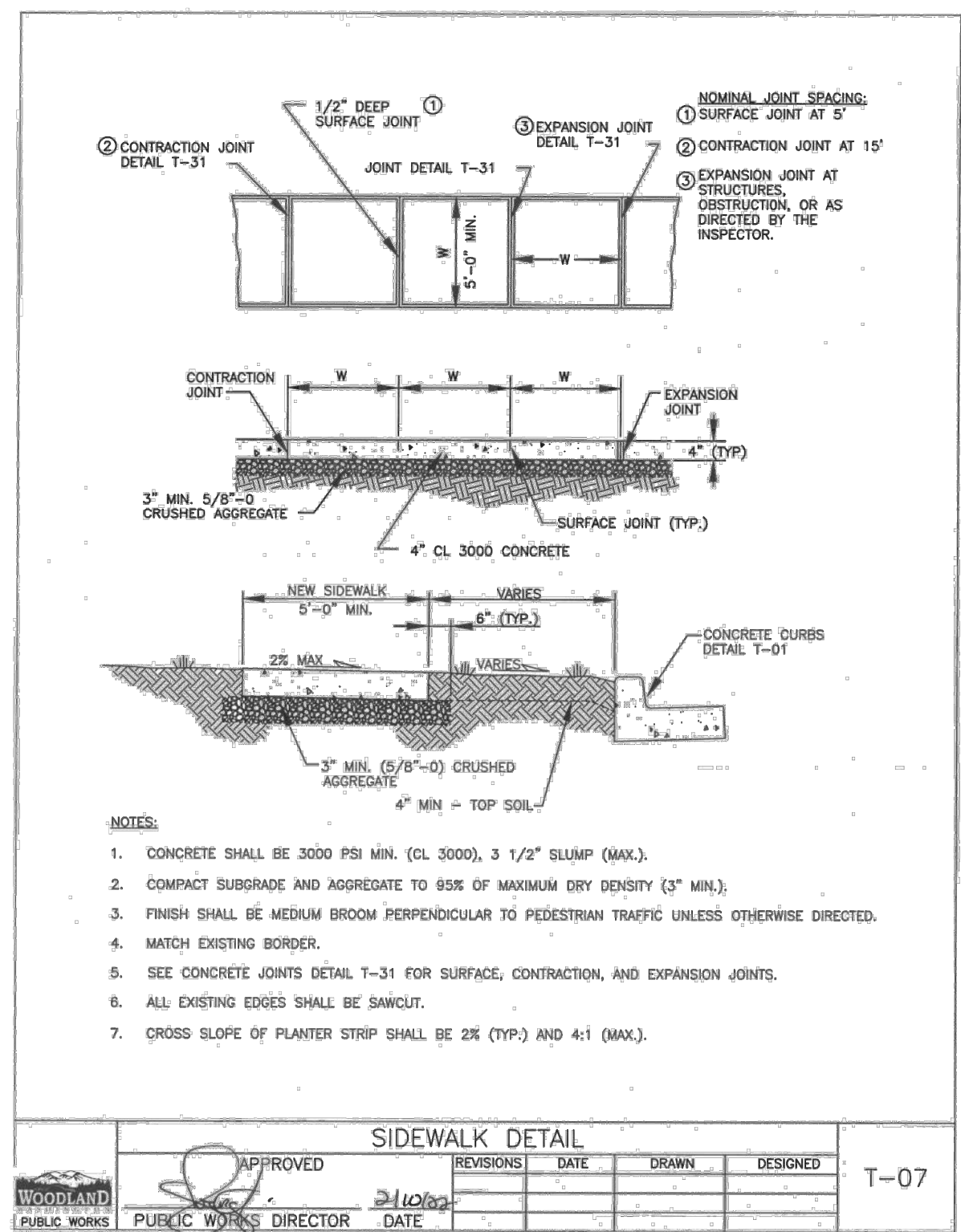
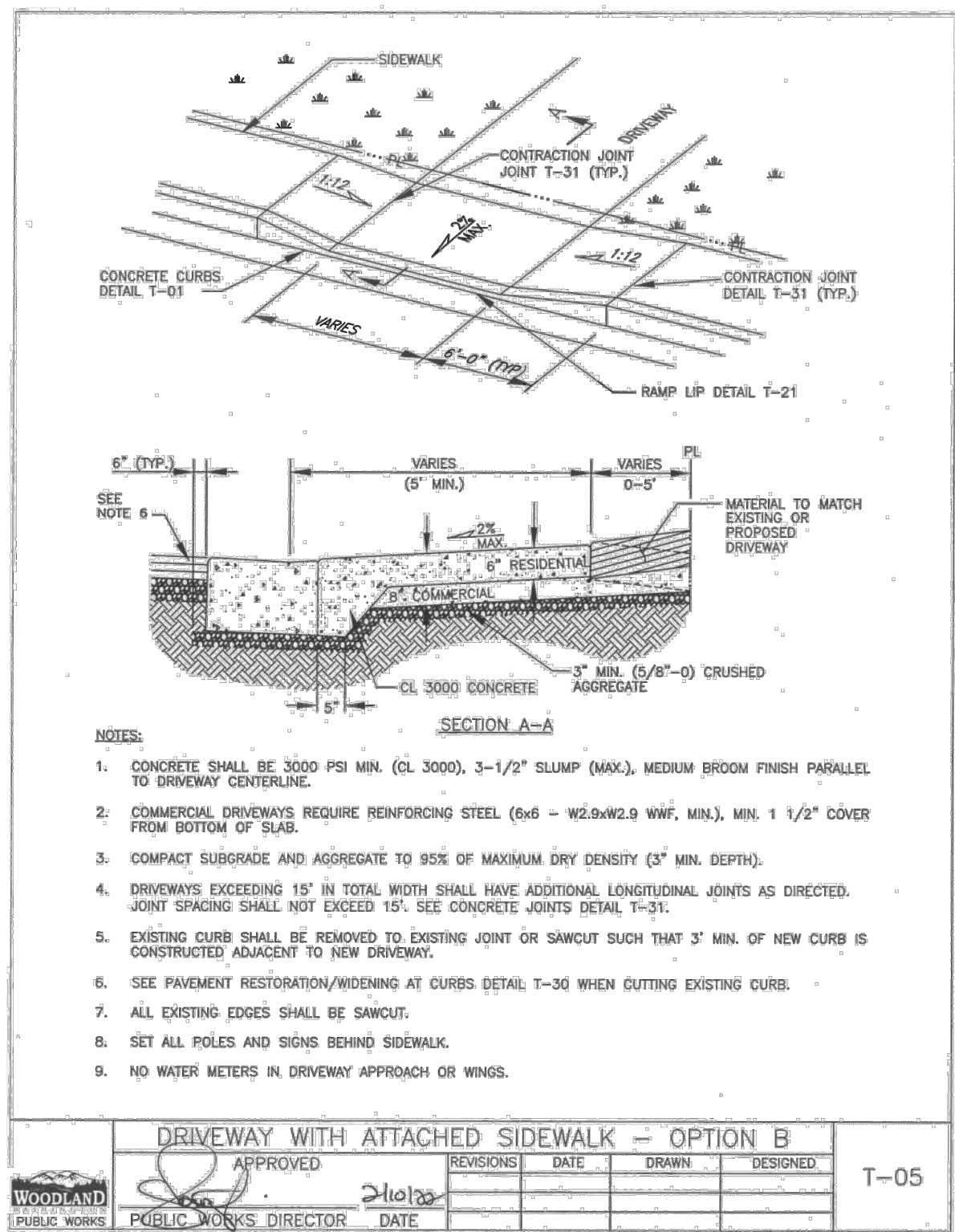
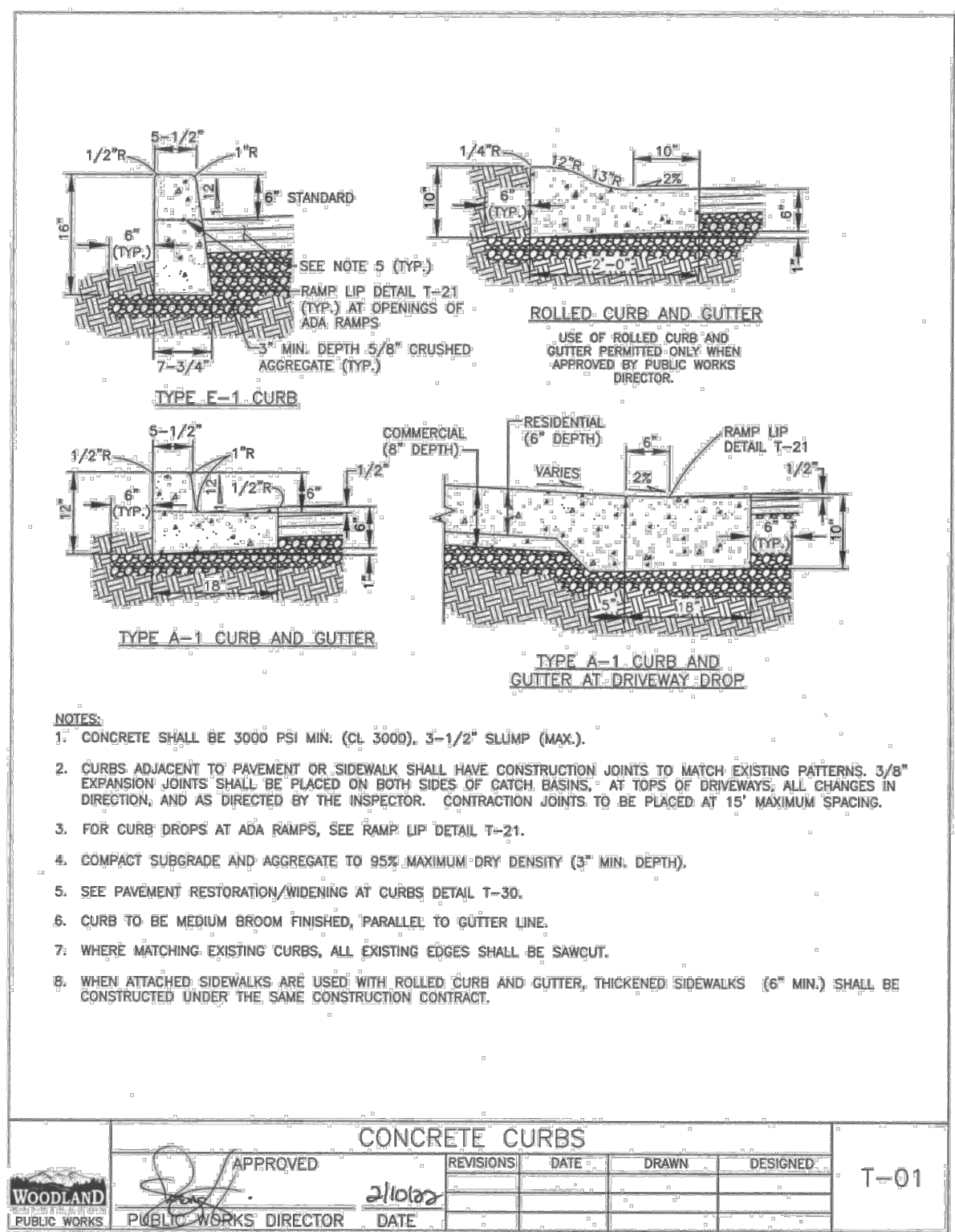
**SITE PLAN REVIEW**  
Project No: 21035.1  
Issue Date: 6/28/2023

**EROSION CONTROL DETAILS**

Project Manager   DCK    
Drawn by   CKJ/JOK    
Checked by   TWT  

**C601**

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STATE OF WA  
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**748 HOMESTEAD**  
748 WASHINGTON STREET, WOODLAND, WA 98674

**SITE PLAN REVIEW**

Project No: 21035.1  
Issue Date: 6/28/2023

**SITE DETAILS**


Project Manager: DKC  
Drawn by: CKJ/LJK  
Checked by: TWT

**C602**

ISSUED FOR SITE PLAN REVIEW


GENERAL NOTES FOR  
STORM SEWERS

1. ALL MATERIALS AND INSTALLATION OF STORM SEWERS AND DRAINAGE SYSTEMS SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS IN THE CITY OF WOODLAND'S LATEST VERSION OF STANDARD DETAILS, THE PUBLIC WORKS ENGINEERING STANDARDS, AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION, WHERE THE CITY OF WOODLAND REQUIREMENTS SHALL TAKE PRECEDENCE. WHEREVER THE STANDARD SPECIFICATIONS REFER TO THE OWNER AS EITHER THE "STATE" OR "SECRETARY" OR WHEN REFERENCE IS MADE TO THE DEPARTMENT OF TRANSPORTATION IT SHALL BE UNDERSTOOD THAT THE STANDARD SPECIFICATIONS SHOULD READ THE "CITY".
2. ALL STORM SEWER AND DRAINAGE SYSTEM CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF WOODLAND'S PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS OFFICE (360) 225-7999 AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION. THE CITY MAY REQUIRE THAT A PRECONSTRUCTION CONFERENCE BE HELD.
3. THE CONTRACTOR IS REQUIRED TO NOTIFY ALL UTILITIES 48 HOURS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR MAY CONTACT THE UTILITY NOTIFICATION CENTER BY DIALING 811 IN LIEU OF CONTACTING INDIVIDUAL UTILITIES.
4. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO PROCURE AND COMPLY WITH THE PROVISIONS OF ALL APPLICABLE PERMITS, EASEMENTS, LICENSES AND CERTIFICATES IN CONJUNCTION WITH THE CONSTRUCTION OF STORM SEWERS AND DRAINAGE SYSTEMS. COMPLIANCE SHALL BE AT ALL LEVELS: FEDERAL, STATE, AND CITY, RELATING TO THE PERFORMANCE OF THIS WORK. THE CONTRACTOR SHALL OBTAIN A STREET CUT PERMIT FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
5. THE CONTRACTOR SHALL OBTAIN AND SUBMIT AN APPROVED TRAFFIC CONTROL PLAN PRIOR TO BEGINNING CONSTRUCTION. THE PLAN SHALL BE APPROVED BY THE PUBLIC WORKS DIRECTOR.
6. ALL EROSION CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND EROSION CONTROL DETAILS, PRIOR TO START OF ANY CONSTRUCTION OR LAND DISTURBING ACTIVITY.
7. THE DEVELOPER OR CONTRACTOR SHALL OBTAIN ALL OFFSITE CONSTRUCTION EASEMENTS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THAT ALL OFFSITE UTILITIES EASEMENTS HAVE BEEN OBTAINED BY THE OWNER PRIOR TO THE COMMENCEMENT OF ANY OFFSITE CONSTRUCTION.
8. THE CONTRACTOR IS TO VERIFY AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. ITEMS TO VERIFY INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
  - INVERT AND TOP ELEVATIONS OF EXISTING STORM SEWERS
  - CENTERLINE AND TOP OF CURB ELEVATIONS
9. WATER QUALITY DEVICES WILL BE INSTALLED AND FUNCTIONING PRIOR TO COMMENCING WITH INSTALLATION OF PAVEMENT FOR ALL AREAS DRAINING INTO THE WATER QUALITY SYSTEM. VEGETATION IN BIO-FILTRATION SWALE AND POND SYSTEMS SHALL BE ESTABLISHED AND MECHANICAL DEVICES AND FILTER MEDIA SHALL BE INSTALLED. SWALES AND FILTER STRIPS WILL BE SEEDED WITH AN APPROVED SEED MIX. PER THE WESTERN WASHINGTON MANUAL, TURF IS ALLOWED FOR VEGETATED FILTERS PROVIDED THE TURF AREA IS OVERSEEDDED WITH THE EQUIVALENT GRASS SEED MIX.
10. ALL CATCH BASINS SHALL BE STENCILED: "PROTECT STREAMS" OR "PROTECT GROUNDWATER."
11. ROOF DOWNSPOUT RUNOFF MUST BE RETAINED ON EACH SPECIFIC SITE. DOWNSPOUTS SHALL NOT DRAIN TO THE STREET OR ANY ADJACENT PROPERTIES UNLESS SPECIFIC APPROVAL HAS BEEN SHOWN ON APPROVED CIVIL ENGINEERING PLANS.
12. THE CONTRACTOR WILL PROVIDE A TELEVISION REPORT, TAPE, AND TABULAR AS-BUILT OF ALL PUBLIC STORM MAINS AND LATERALS PRIOR TO PAVING. THIS INFORMATION WILL BE SUBMITTED TO THE CITY INSPECTOR FOR REVIEW. APPROVAL AND ACCEPTANCE OF THE TV INSPECTION WILL BE BASED UPON MANUFACTURING AND INSTALLATION DEFECTS, AS WELL AS DEBRIS IN THE LINES. FINAL ACCEPTANCE AND CONSTRUCTION OF STORM SEWERS ARE SUBJECT TO INSPECTION AND TESTING IN ACCORDANCE WITH SECTIONS 1-05.11, 1-05.12, AND 7-04.3 OF THE STANDARD SPECIFICATIONS.

GENERAL NOTES FOR STORM SEWERS				D-01
APPROVED	REVISIONS	DATE	DESIGNED	
		3-11-20		
PUBLIC WORKS DIRECTOR		DATE		



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Revisions: 

NO.	DESCRIPTION	DATE

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**748 HOMESTEAD**  
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**SITE PLAN REVIEW**  
Project No: 21035.1  
Issue Date: 6/28/2023

Project Manager    DCK  
Drawn by    CKJ/LJK  
Checked by    JTW

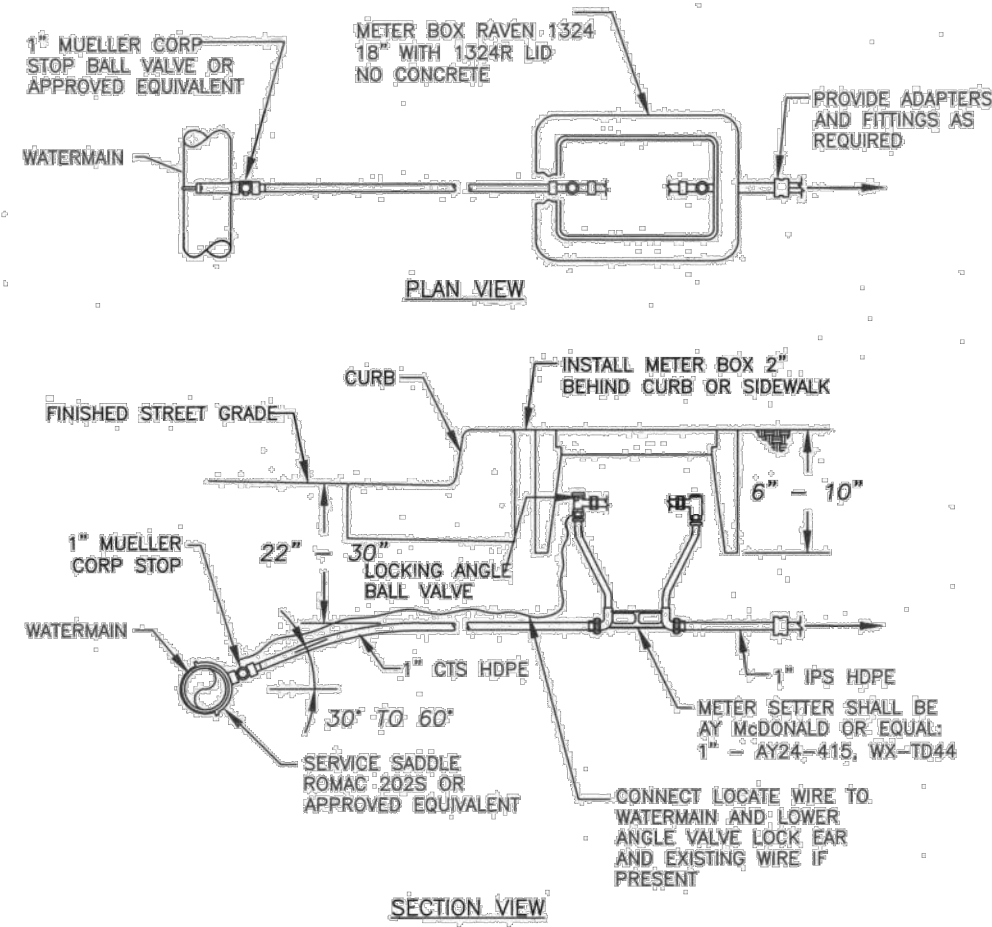
**STORMWATER DETAILS**  
  
**C603**

ISSUED FOR SITE PLAN REVIEW

PLOT DATE: 7/28/2023 2:26 PM - FILE: C:\Users\Christine Jones\OneDrive - Windsor Engineers\05\_Projects\2021\21035.1\748\_Homestead\02\_Drawings\01\_Working\04\_Final\Steel\21035.1\_PWP\_DTL1.dwg

**GENERAL NOTES FOR WATER MAIN INSTALLATION**

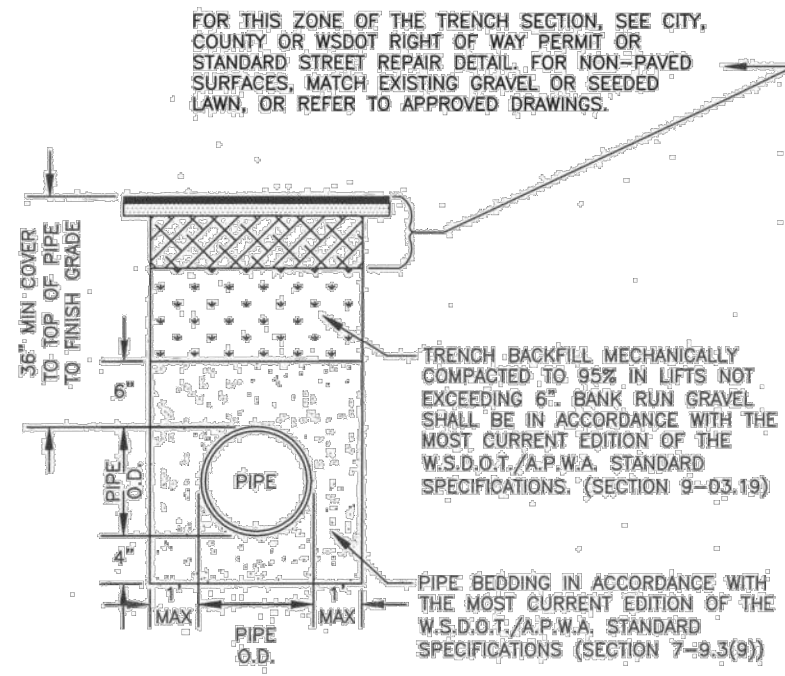
- ALL WORKMANSHIP AND MATERIAL SHALL BE IN ACCORDANCE WITH THE WSDOT/APWA STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION HEREIN IDENTIFIED AS THE "STANDARD SPECIFICATIONS" AND AWWA SPECIFICATIONS, EXCEPT AS MODIFIED BELOW OR BY CITY OF WOODLAND STANDARD DETAILS.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH CITY OF WOODLAND AT LEAST 48-HOURS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE CONSTRUCTION SCHEDULES AND TRAFFIC CONTROL PLANS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS. PROPOSED EQUIVALENTS MUST BE SUBMITTED TO THE CITY OF WOODLAND FOR APPROVAL.
- THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS DEPARTMENT AT (360) 225-7999, 48-HOURS PRIOR TO LIVE TAPS OR OTHER CONNECTIONS TO EXISTING WATERMANS. WHERE CONNECTIONS REQUIRE SHUT-DOWN OF SERVICE, CONNECTION POINTS WILL BE EXPOSED FOR "FIELD VERIFICATION" BY CONTRACTOR AND CONNECTION DETAILS SHALL BE VERIFIED 48 HOURS PRIOR TO DISTRIBUTING SHUT-DOWN NOTICES.
- CALL UNDERGROUND LOCATE AT 811 A MINIMUM OF 48-HOURS PRIOR TO ANY EXCAVATIONS.
- UNLESS OTHERWISE ESTABLISHED IN WRITING BY THE CITY, ALL WATER MAINS SHALL BE STAKED FOR GRADES AND ALIGNMENT BY AN ENGINEERING OR SURVEYING FIRM CAPABLE OF PERFORMING SUCH WORK.
- EXISTING VALVES AND ANY VALVES INSTALLED DIRECTLY TO AND CONNECTED TO A PORTION OF ACTIVE WATER SYSTEM ARE TO BE OPERATED BY CITY OF WOODLAND REPRESENTATIVES ONLY.
- WATER MAINS SHALL BE PVC IN ACCORDANCE WITH AWWA C900, MINIMUM DR18 OR DUCTILE IRON PRESSURE CLASS 52 OR AS NOTED ON DRAWING. ALL MATERIAL IN SUBSTANTIAL CONTACT WITH DRINKING WATER MUST CONFORM TO AWWA/NSF STANDARD 61 AND BE LEAD FREE.
- ALL LINES SHALL BE CHLORINATED AND TESTED IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS PRIOR TO USE.
- HARD COPY AND ELECTRONIC "AS-BUILT" DRAWINGS SHALL BE SUBMITTED TO CITY OF WOODLAND UPON COMPLETION OF THE WORK.
- ALL WATERMANS, FIRE HYDRANTS, BLOW OFF ASSEMBLIES, VACUUM BREAKERS, AND WATER SERVICES MUST HAVE LOCATE WIRE INSTALLED.
- ALL MECHANICAL JOINT FITTINGS SHALL BE RESTRAINED USING MJ FOLLOWER GLANDS, METALUG, OR EQUAL.



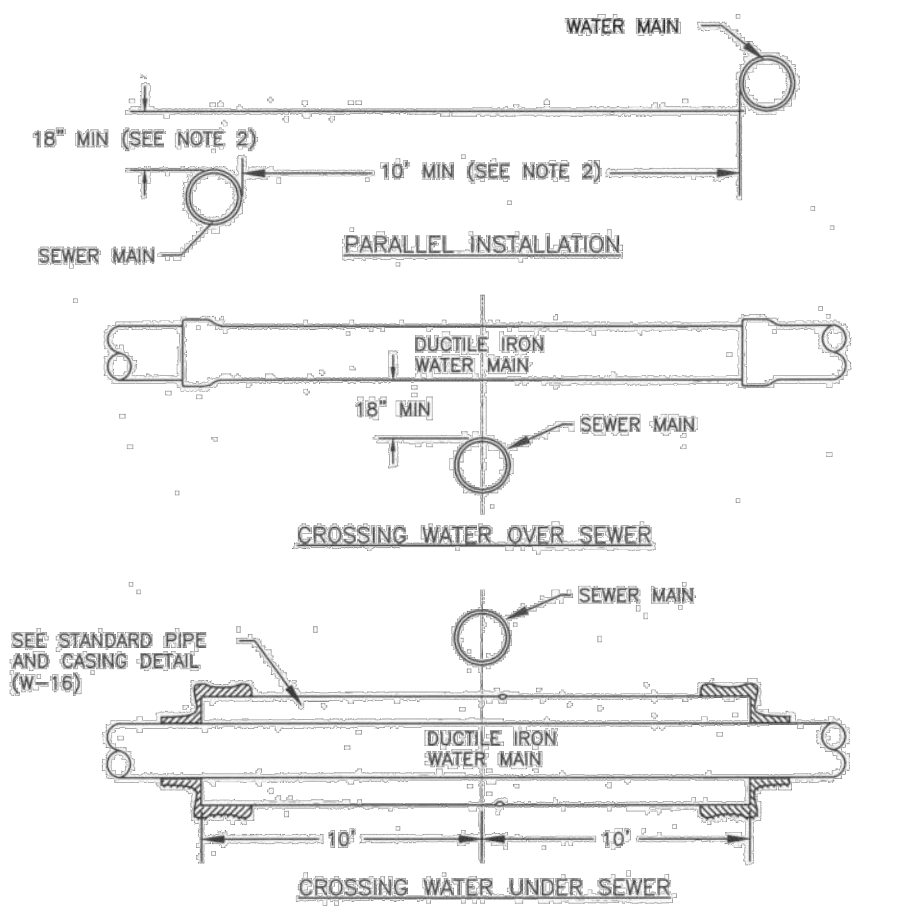
- NOTES:
- SERVICE LINES ON NEW WATERMANS SHALL BE PRESSURE TESTED UP TO THE LOCKING ANGLE BALL VALVE AS PART OF THE WATERMAIN TESTING.
  - METER BOXES SHALL HAVE A 4" WOOD STAKE WITH BLUE PAINT BEHIND THE BOX.
  - ALL DOMESTIC AND IRRIGATION METERS SHALL BE SUPPLIED, OWNED, AND INSTALLED BY THE CITY OF WOODLAND.



- NOTES:
- ALL NON-SINGLE FAMILY DOMESTIC SERVICES SHALL BE TAPPED SEPARATELY FROM ANY FIRE PROTECTION AND FIRE HYDRANT LEAD PIPING.
  - ALL IRRIGATION METERS SHALL BE PER APPROVED PLAN.
  - IRRIGATION METERS SHALL BE PLACED IN A STANDARD METER BOX WITH READER LID ACCORDING TO METER SIZE (SEE DETAIL W-02 & W-03).
  - EXCEPTIONS TO THESE REQUIREMENTS MAY BE SUBMITTED IN WRITING FOR REVIEW AND APPROVAL.
  - IRRIGATION METERS WILL BE READ DURING REGULAR BILLING CYCLES.



- NOTE:
- CLEAN NATIVE MATERIAL MAY BE USED AS PIPE BEDDING AND TRENCH BACKFILL AS APPROVED BY CITY OF WOODLAND PUBLIC WORKS.



- NOTES:
- EXCEPTIONS SHALL BE APPROVED BY THE CITY OF WOODLAND IN WRITING.
  - WHERE MINIMUM CLEARANCES CANNOT BE MET, THE SEWER MAIN SHALL BE PLACED IN SEPARATE TRENCHES AND CONSTRUCTED OF MATERIALS EQUIVALENT TO THE CITY OF WOODLAND WATER MAIN STANDARDS, INCLUDING PRESSURE TESTING, ADEQUATE RESTRAINT SHALL BE PROVIDED TO ALLOW TESTING TO OCCUR.
  - ALL SEWER CROSSINGS OVER OR UNDER WATER MAINS SHALL MAXIMIZE THE JOINT SEPARATION BY USING THE LONGEST STANDARD LENGTH PIPE AVAILABLE FROM THE MANUFACTURER FOR BOTH THE WATER AND SEWER MAINS. BOTH PIPES SHALL BE CENTERED AT THE POINT OF CROSSING.
  - ALL SEWER CROSSING OVER WATER MAINS SHALL BE CONSTRUCTED OF MATERIALS EQUIVALENT TO THE CITY OF WOODLAND WATER MAIN STANDARDS, INCLUDING PRESSURE TESTING.

APPROVED	REVISIONS	DATE	DRAWN	DESIGNED
<i>[Signature]</i>	1-15-22			

W-01

APPROVED	REVISIONS	DATE	DRAWN	DESIGNED
<i>[Signature]</i>	1/21/22			

W-02

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<i>[Signature]</i>	1/21/22			

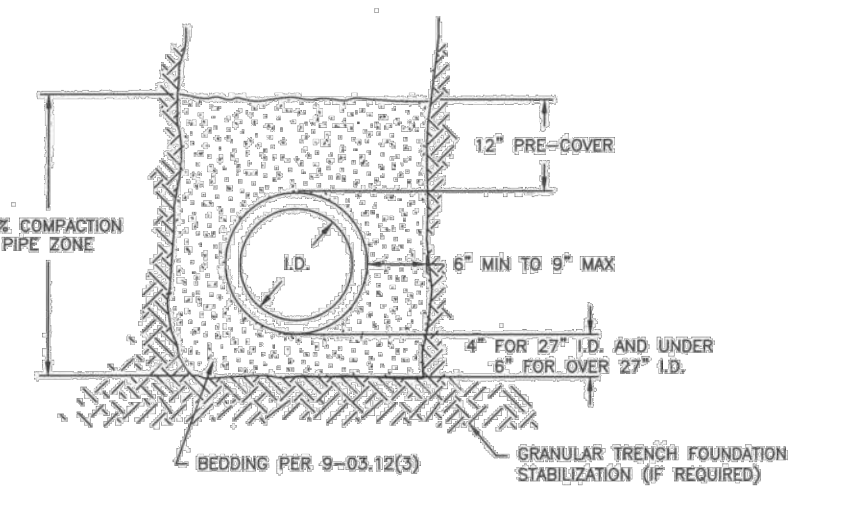
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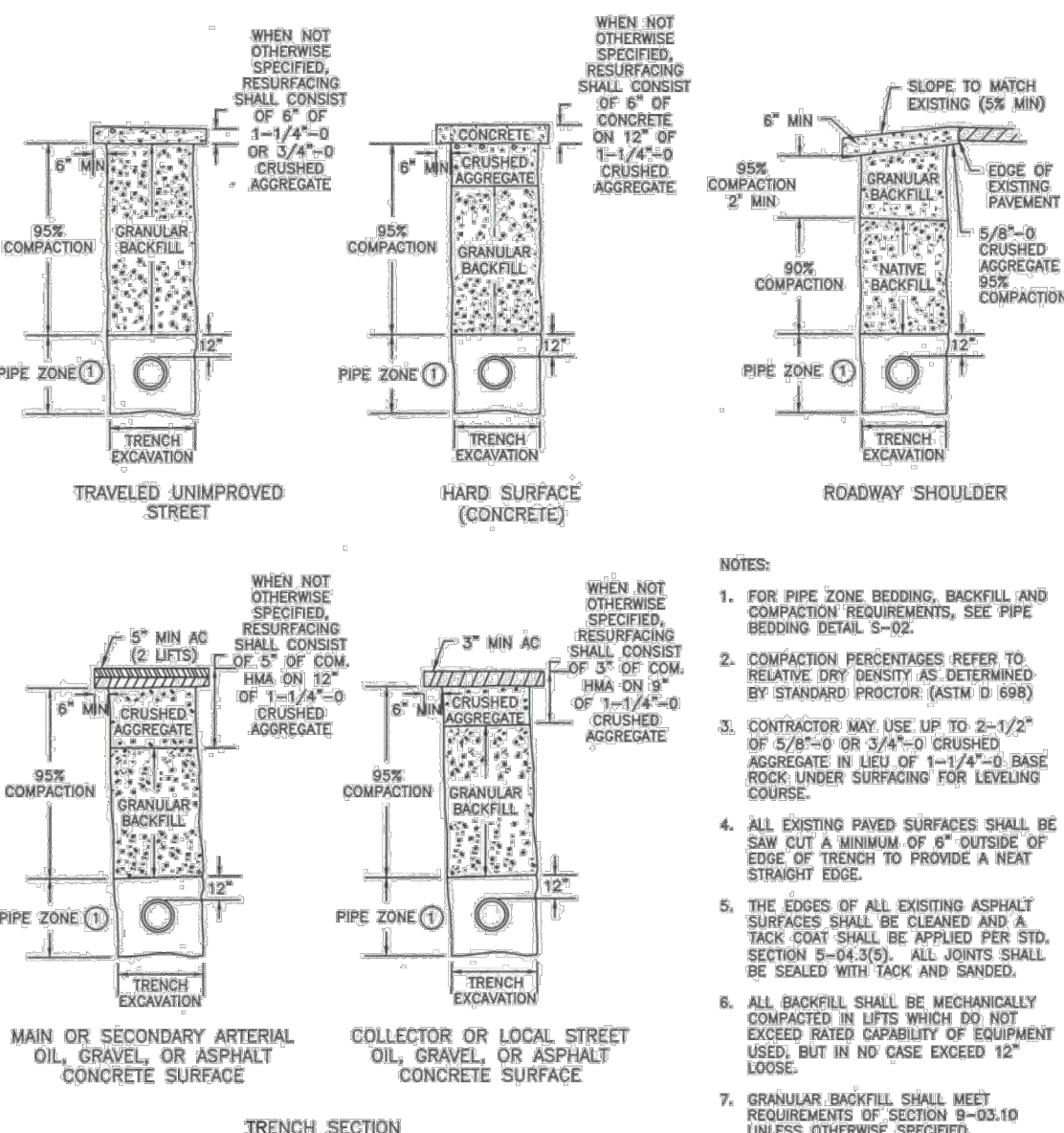
W-20

**GENERAL NOTES FOR SANITARY SEWER**

- ALL MATERIALS AND INSTALLATION OF SANITARY SEWERS SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, HERINAFTER REFERRED TO AS THE "STANDARD SPECIFICATIONS", PREPARED BY THE WASHINGTON STATE CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION, EXCEPT AS NOTED HEREIN OR ON THE STANDARD PLANS. WHEREVER THE STANDARD SPECIFICATIONS REFER TO THE OWNER AS EITHER THE "STATE" OR "SECRETARY" OR WHEN REFERENCE IS MADE TO THE DEPARTMENT OF TRANSPORTATION IT SHALL BE UNDERSTOOD THAT THE STANDARD SPECIFICATIONS SHOULD READ "THE CITY".
- ALL SANITARY SEWER CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF WOODLAND PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL NOTIFY THE CITY AT (360) 225-7999 AT LEAST 48-HOURS PRIOR TO THE START OF CONSTRUCTION. A PRE-CONSTRUCTION CONFERENCE MAY BE REQUIRED.
- THE CONTRACTOR IS REQUIRED TO NOTIFY ALL UTILITIES 48 HOURS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR MUST CONTACT THE UNDERGROUND UTILITY NOTIFICATION CENTER "CALL BEFORE YOU DIG" AT (800) 424-5555 OR "811".
- FINAL ACCEPTANCE OF SANITARY SEWERS ARE SUBJECT TO SECTIONS 1-05.11, 1-05.12, 7-17.3(2), 7-17.3(2)(f), 7-17.3(2)(g) AND 7-17.3(2)(h) OF THE STANDARD SPECIFICATIONS. TELEVISION INSPECTION SHALL INCLUDE VIDEO OF ALL MANHOLES IN ADDITION TO THE PIPE. THE CONTRACTOR SHALL WARRANTY ALL WORK DONE UNDER CITY CONTRACT FOR A PERIOD OF TWO (2) YEARS PER OF THE CITY OF WOODLAND GENERAL PROVISIONS FOR MUNICIPAL CONSTRUCTION.
- LOCAL VARIATIONS IN SLOPE (i.e. "BELLS") MUST BE NO MORE THAN 1/2" MAXIMUM. VARIATIONS IN EXCESS OF THESE TOLERANCES MUST BE REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE CITY.
- ALL PIPE AND FITTINGS SHALL CONFORM TO THE FOLLOWING:
- FORWING CHLORIDE (PVC) SEWER PIPE 12" DIAMETER OR LESS SHALL CONFORM TO ASTM D3034, SDR 35. IT SHALL HAVE A MINIMUM PIPE STIFFNESS OF 46 PSL. PVC PIPE 18" DIAMETER SHALL CONFORM TO ASTM F 678. ALL PVC PIPE SHALL HAVE AN INTEGRAL BELL CASKETS JOINT WITH ELASTOMER GASKET AND SHALL BE FURNISHED IN 12'-1/2' FOOT LENGTHS.
  - DUCTILE IRON (DI) PIPE SHALL CONFORM TO ANSI A21.51 OR AWWA C151, WITH PUSH-ON JOINTS, CLASS 52, UNLESS OTHERWISE NOTED.
- INSTALLATION OF PIPE AND MANHOLES SHALL CONFORM TO THE FOLLOWING:
- PIPE SHALL BE INSTALLED IN CONFORMANCE WITH PIPE DETAIL S-02 AND TRENCHING DETAIL S-03.
  - MANHOLES SHALL CONFORM WITH STANDARD DETAILS S-07 THROUGH S-14.
- MANHOLES, CLEANOUTS, SERVICE LATERAL CONNECTIONS, TRENCH EXCAVATION, PIPE BEDDING AND STREET RESTORATION, AND APPURTENANCES SHALL CONFORM TO THE CITY OF WOODLAND STANDARD PLANS. THE WSDOT STANDARD DETAILS CONTAINED AND THE STANDARD PLANS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF ALL PERMITS ISSUED OR EASEMENTS GRANTED TO THE CITY IN CONJUNCTION WITH THE CONSTRUCTION OF SANITARY SEWERS. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL SUBMIT AN APPROVED TRAFFIC CONTROL PLAN. APPROVAL SHALL BE OBTAINED PRIOR TO BEGINNING CONSTRUCTION.
- NATIVE MATERIAL MAY BE USED, OUTSIDE OF THE ROAD PRISM FOR DUCTILE IRON IN LIEU OF IMPORTED MATERIAL FOR BEDDING SPECIFIED, PROVIDED THAT THE NATIVE MATERIAL CONFORMS TO SECTION 9-03.19 OF THE STANDARD SPECIFICATIONS, AND AS APPROVED BY THE CITY OF WOODLAND. THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE NATIVE MATERIAL TO THE CITY OF WOODLAND AT LEAST 72-HOURS PRIOR TO USE. THE CITY MAY APPROVE, REJECT, OR REQUIRE LABORATORY TESTING OF THE MATERIAL.

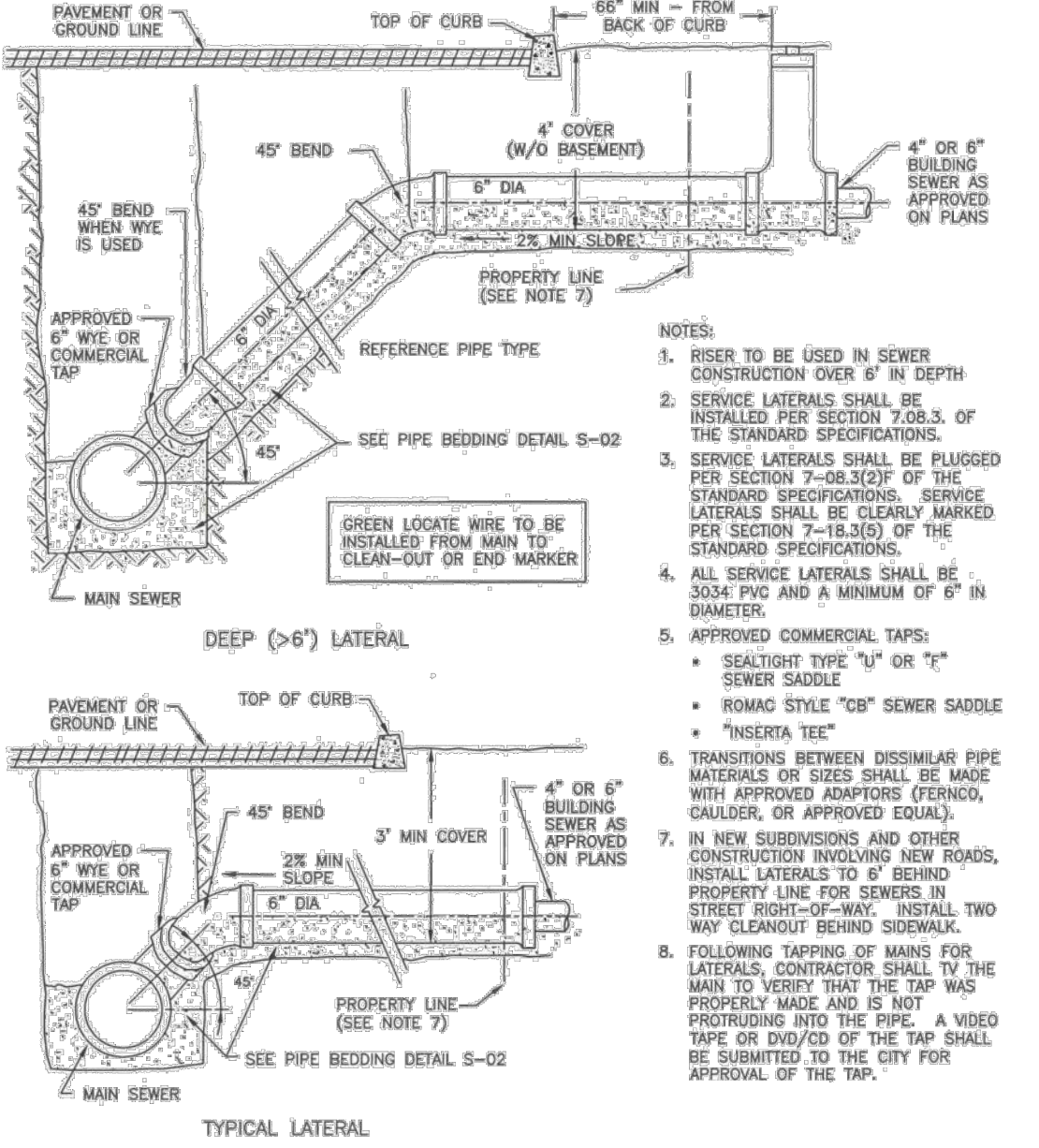


- NOTES:
- WHERE DIRECTED BY THE ENGINEER GRANULAR TRENCH FOUNDATION STABILIZATION SHALL BE PLACED PRIOR TO PLACEMENT OF THE BEDDING. SIZE AND DEPTH ARE DEPENDENT ON SOIL CONDITIONS.
  - BEDDING AND BACKFILL MATERIALS IN THE PIPE ZONE SHALL BE COMPACTED AS SPECIFIED PRIOR TO BACKFILLING THE REMAINDER OF THE TRENCH.
  - FOR ROCK AND OTHER INCOMPRESSIBLE MATERIALS, THE TRENCH SHALL BE OVER-EXCAVATED A MINIMUM OF 6" AND FILLED WITH GRANULAR MATERIALS AS DIRECTED BY THE ENGINEER.
  - BACKFILL AND COMPACTION ABOVE THE PIPE ZONE SHALL BE AS SHOWN IN TRENCHING DETAIL S-03.
  - PVC PIPE INSTALLATION SHALL CONFORM TO UNBELLS PLASTIC PIPE ASSOCIATION STANDARD SPEC. UNI-B-5 (LATEST EDITION) EXCEPT AS NOTED.
  - FINAL INSTALLATION TO BE TESTED PER SECTION 7-17.3 OF THE STANDARD SPECIFICATIONS.
  - ALTERNATIVE PRE-COVER MATERIALS ARE ALLOWABLE FROM PIPE CENTERLINE TO ONE FOOT ABOVE THE TOP OF PIPE. ALTERNATIVE PRE-COVER MATERIALS MUST BE PRE-APPROVED BY THE INSPECTOR AND MAY BE SAND, CRUSHER SCREENINGS, GRAVEL, OR OTHER CLEAN GRANULAR MATERIAL CONTAINING NO ROCK LARGER THAN 1-1/4" IN LENGTH.
  - APPROVAL FOR ALTERNATE MATERIALS WILL BE GRANTED UPON CONFIRMATION BY TEST OF ITS COMPLIANCE WITH THESE REQUIREMENTS. SUBMIT 50 LB SAMPLE FOR TESTING TO THE CITY INSPECTOR AND OBTAIN MATERIAL PRIOR TO STARTING PIPE INSTALLATION WORK. THE TEST REQUIRES A MINIMUM OF FIVE BUSINESS DAYS TO COMPLETE.
  - TRENCH WIDTH SHALL NOT EXCEED ONE AND ONE-HALF THE INSIDE DIAMETER OF THE PIPE PLUS 18" AT THE TOP OF THE PIPE ZONE. ANY SUBSIDENCE OF SURROUNDING PAVEMENT DUE TO TRENCHING SHALL BE EXCAVATED BEYOND ORIGINAL PAVEMENT OR TRENCH LIMITS AND REPAIRED TO SATISFACTION OF THE CITY OF WOODLAND.
  - NATIVE MATERIAL MAY BE USED, OUTSIDE OF THE ROAD PRISM FOR DUCTILE IRON IN LIEU OF IMPORTED MATERIAL FOR BEDDING SPECIFIED, PROVIDED THAT THE NATIVE MATERIAL CONFORMS TO SECTION 9-03.19 OF THE STANDARD SPECIFICATIONS, AND AS APPROVED BY THE CITY OF WOODLAND. THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE NATIVE MATERIAL TO THE CITY OF WOODLAND AT LEAST 72-HOURS PRIOR TO USE. THE CITY MAY APPROVE, REJECT, OR REQUIRE LABORATORY TESTING OF THE MATERIAL.



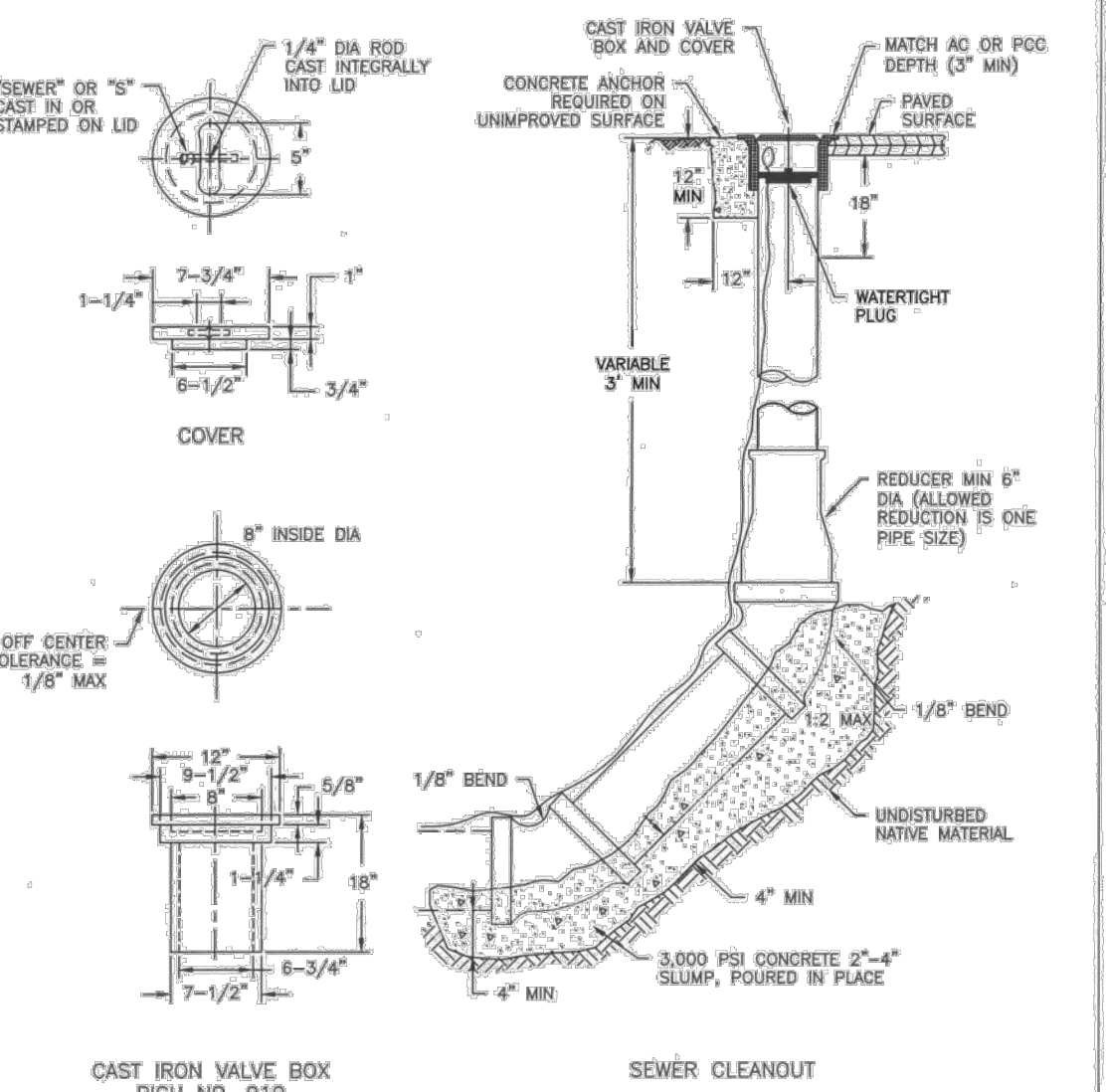
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S-03



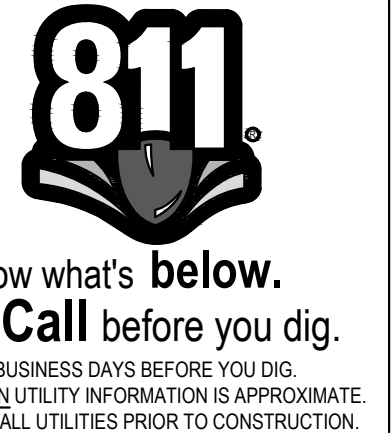
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<i>[Signature]</i>	1/21/22			

S-04



APPROVED	REVISIONS	DATE	DRAWN	DESIGNED
<i>[Signature]</i>	1/21/22			

S-16



Revisions:

NO.	DATE	DESCRIPTION

LINE IS 1" ON FULL SCALE DRAWING



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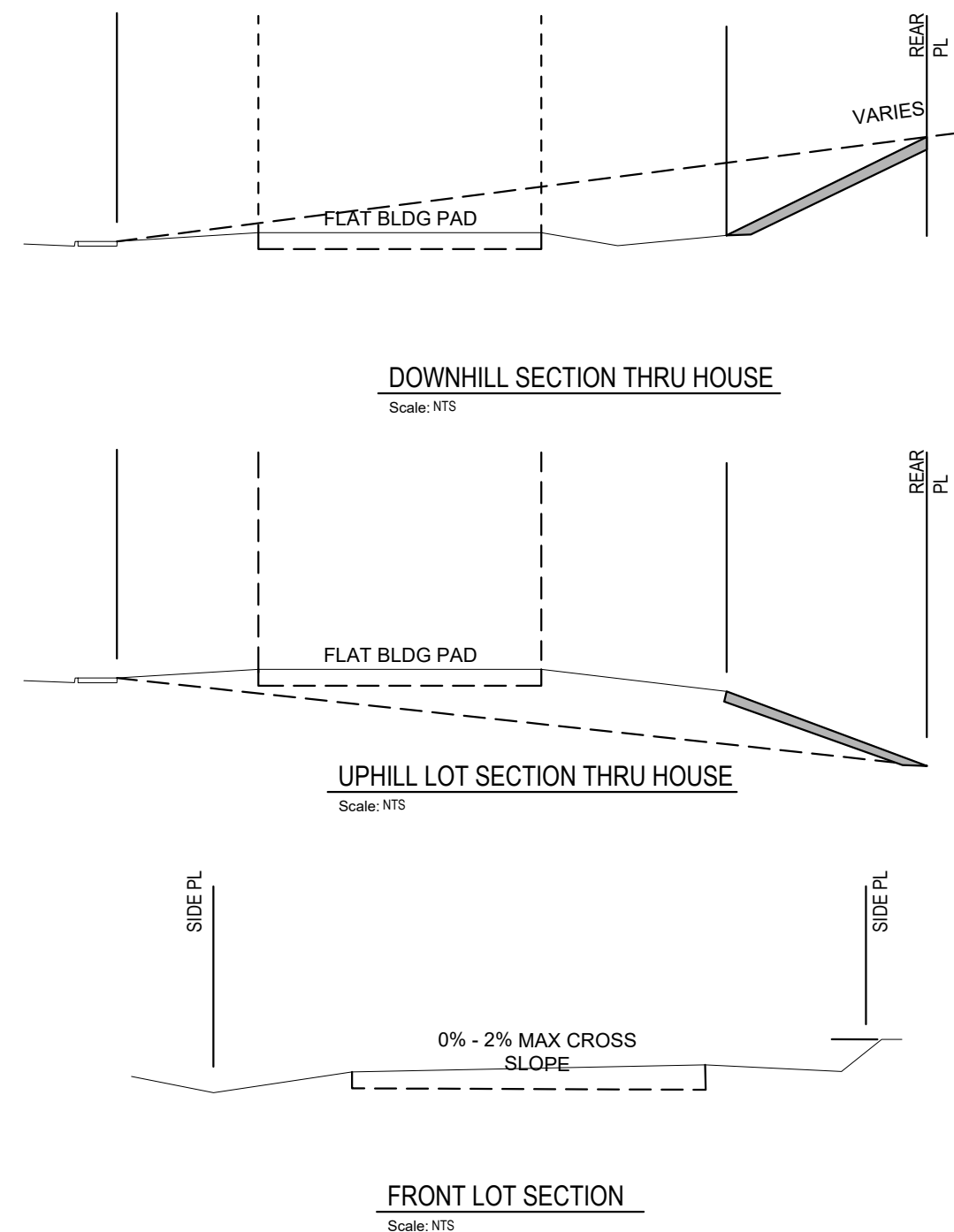
**SITE PLAN REVIEW**  
Project No: 21035.1  
Issue Date: 6/28/2023

**UTILITY DETAILS**

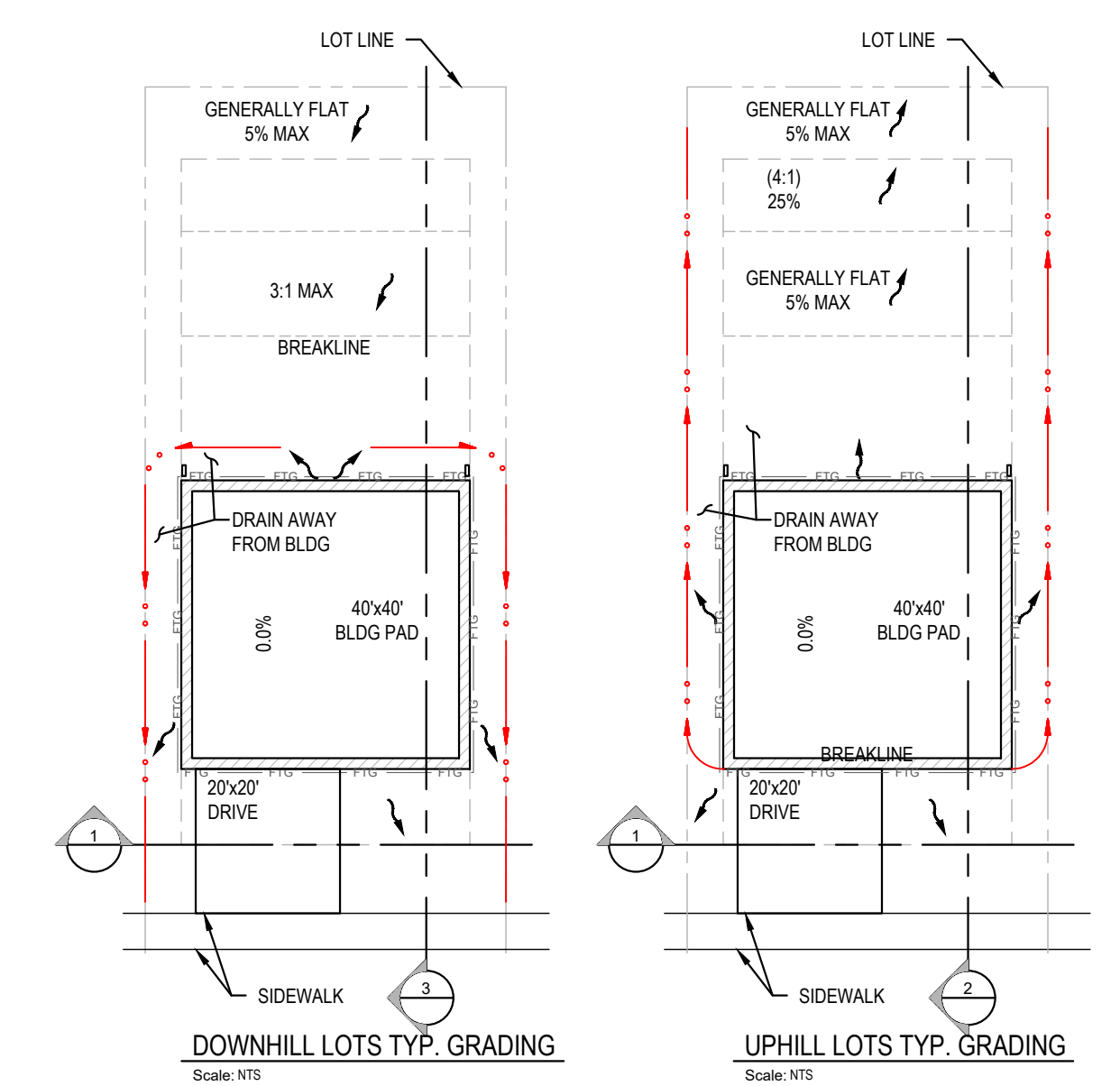
Project Manager: *[Signature]* DCK  
Drawn by: *[Signature]* CKJ/LJK  
Checked by: *[Signature]* TWT

**C604**

ISSUED FOR SITE PLAN REVIEW



**1 FINE GRADING DETAIL**  
SCALE = NTS



**NOTE:**  
CONTRACTOR SHALL COMPLY WITH THE LOCAL AGENCY STANDARD NOTES FOR CONSTRUCTION SWPPP INCLUDING THE RECOMMENDED CONSTRUCTION SEQUENCE FOR EROSION CONTROL.

FINAL GRADING AND ANY RETAINING WALLS ARE TO BE CONSTRUCTED BY THE BUILDER.

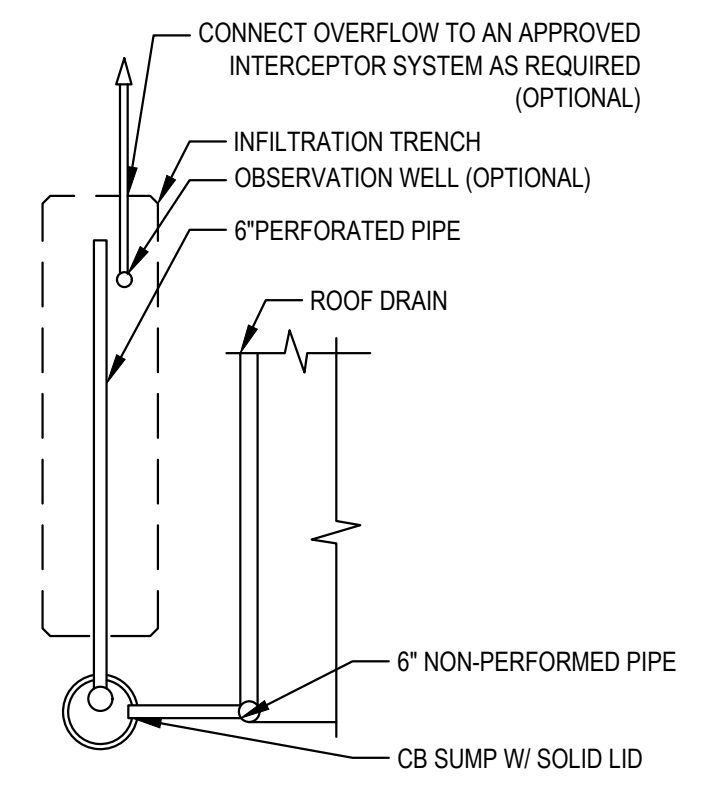
BUILDER / CONTRACTOR IS RESPONSIBLE FOR PROPERLY GRADING LOTS TO AVOID PONDING OR DRAINAGE. 0.75% MINIMUM SLOPES IN GRASS AREAS.

PROVIDE POSITIVE DRAINAGE FROM BUILDING. SLOPE NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10' (5' FALL IN 10'). SWALES WITHIN 10' OF BUILDING SHALL BE 2% MIN. IMPERVIOUS AREA SHOULD BE GRADED AWAY FROM THE BUILDING AT 2%.

**SLOPE OR WALL ZONE - REFER TO GEOTECHNICAL REPORT**

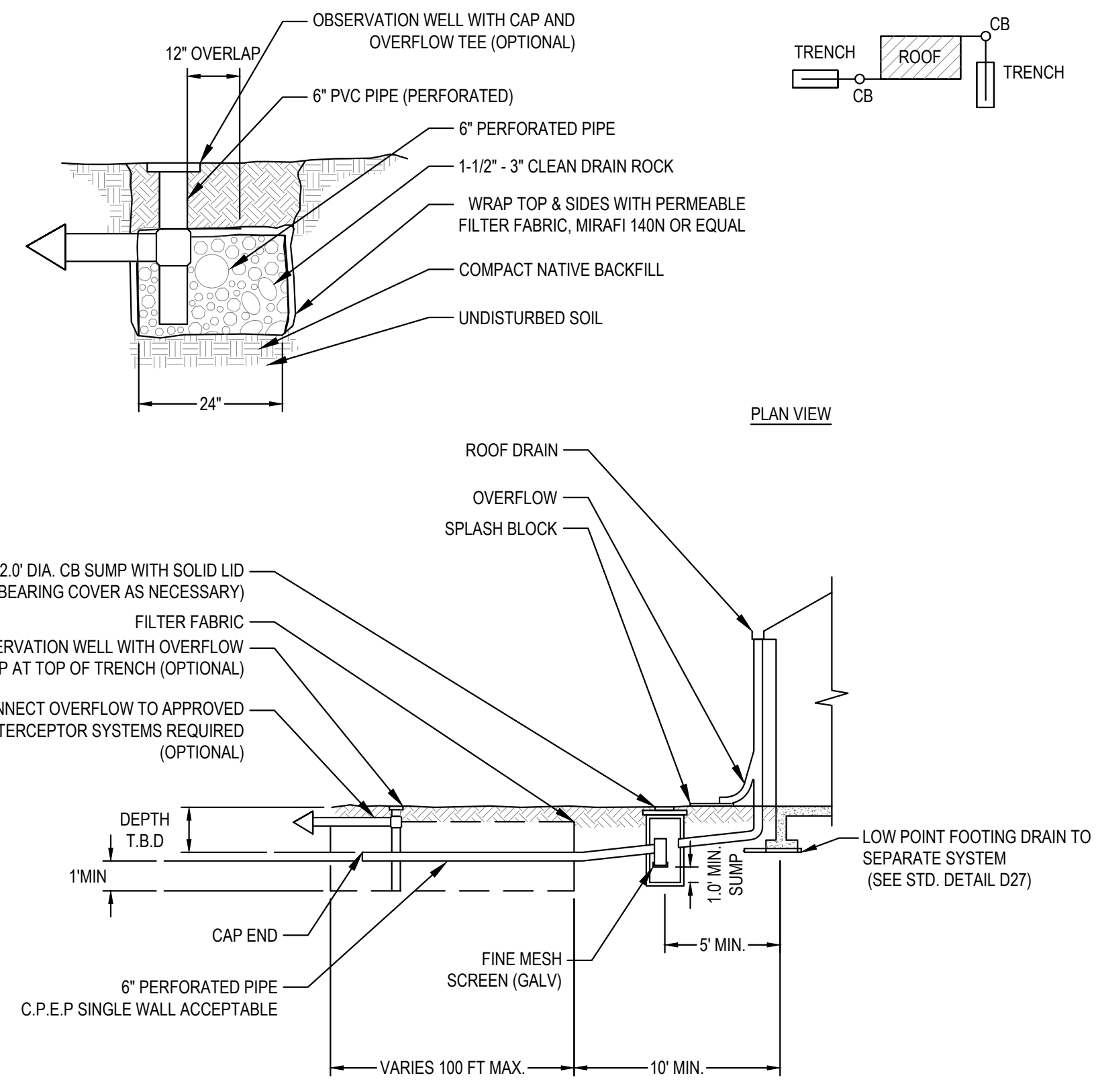
1. TYPICAL SLOPES TO BE 3H:1V MAX FOR SLOPES THAT WILL BE MOWED (TYPICAL BACKYARDS)
2. VEGETATED PERMANENT SLOPES TO BE 2H:1V MAX SLOPE FOR 20' MAX HEIGHT WITH A 25' MIN STRUCTURE SETBACK. SURFACE WATER MUST BE COLLECTED AND DIRECTED AWAY FROM SLOPES STEEPER THAN 3H:1V.
3. RETAINING WALL BY DEFERRED SUBMITTAL. MECHANICAL STABILIZED EARTH (MSE) WALLS TO BE STONE TERRA, FLEX MSE, OR APPROVED EQUAL.

**ABBREVIATIONS**  
ROW = RIGHT OF WAY  
ESMT = EASEMENT  
PL = PROPERTY LINE  
ELEV = ELEVATION  
SW = SIDEWALK  
SB = SETBACK LINE  
UE = UTILITY EASEMENT

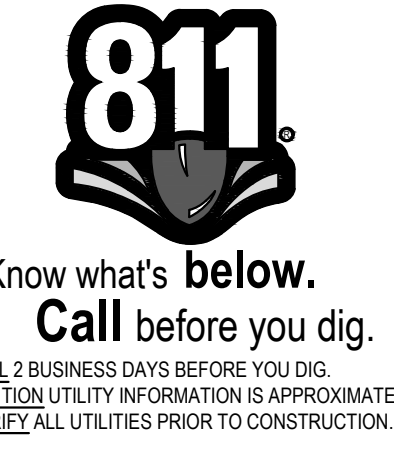


**2 INFILTRATION TRENCH DETAIL**  
SCALE = NTS

1. TRENCH TO BE LOCATED 100' MIN. FROM SEPTIC DRAIN FIELD (WHERE APPLICABLE).
2. PER C.C.S.W.M BMP TS.10B.
3. TRENCH TO BE LOCATED 10' MIN. FROM ANY PROPERTY LINE.
4. TRENCH TO BE LOCATED 10' MIN. FROM BUILDING FOUNDATION.



**3 TYPICAL SECTION FOR BITUMINOUS DRIVEWAY**  
SCALE = NTS



Revisions:


LINE IS 1" ON FULL SCALE DRAWING

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**SITE PLAN REVIEW**

Project No: 21035.1  
Issue Date: 6/28/2023

**SITE DETAILS**

**C605**

Project Manager: DCK  
Drawn by: CKJ/OK  
Checked by: JWT

ISSUED FOR SITE PLAN REVIEW