

Community Development Department
Building | Planning | Code Enforcement
(360) 225-7299
www.ci.woodland.wa.us

NOTICE OF DECISION

Quail Meadows – Boundary Line Adjustment

Land Use Application No.:	BLA 22-002
Decision Issue Date:	December 6th, 2022
Contact:	Olson Engineering C/O Andy Nuttbrock 222 E. Evergreen Blvd Vancouver, WA 98660 anuttnrock@mackaysposito.com
Property Owners:	Quail Development LLC C/O Jon Girod 4501 NE Minnehaha St, Suite 200 Vancouver, WA 98661 jon@quailhomes.com
Site Location:	2225 and 2215 Lewis River Road
Parcel:	508440100, 508520100, and 508520101
Zoning Designation:	Low Density Residential (LDR-7.2)
Date Application Received:	November 3 rd , 2022

I. DESCRIPTION OF PROPOSAL

The applicant proposes to boundary line adjust parcels 508440100, 508520100, and 508520101 to accommodate future development. (*See Attachment Maps*)

II. REVIEW AUTHORITY

Per WMC 19.08.030, Boundary Line Adjustments shall be approved, approved with conditions, or denied by the Public Works Director. The criteria used are outlined in WMC 16.34.050. The decision is based on a determination that the proposed boundary line adjustment satisfies the requirements of this article; that the project will serve the public interest; that the proposal conforms to the City's comprehensive plan; and that the lots created by the boundary line adjustment conform to the standards of the applicable zoning district.

III. FINDINGS

Approval Criteria | WMC 16.34.050

A. No new lots are created by the BLA proposal.

Finding 1: No new lots are created by the BLA proposal.

Conclusion: The proposal complies with this standard.

B. The adjusted lots meet current zoning requirements related to property size including but not limited to, minimum requirements for width, depth, and area. Whenever a lot involved in a proposed BLA does not meet minimum requirements for size prior to adjustment, the change may be approved so long as the change does not increase the existing nonconformity.

Finding 2: The subject parcels are zoned Low-Density Residential (LDR-7.2). The minimum lot size allowed is 7,200 sq. ft. and there is a minimum lot width of 70 feet per WMC 17.16.070.

Finding 3: All proposed lots exceed the lot size. All proposed lots will meet the minimum lot width standard following adjustment.

Conclusion: As proposed, the proposal can comply with zoning lot standards.

C. No lot shall be reconfigured or adjusted which would render access for vehicles, utilities, fire protection, or existing easements impractical to serve their purpose. Blanket utility easements existing along lot lines, that are specifically required as a condition of development approval, may be moved during a boundary line adjustment; provided, there is compliance with RCW 64.04.175 and the easement is not occupied by a utility. If the easement is occupied, this provision is inapplicable, and the provisions of RCW 64.04.175 shall apply.

Finding 4: All access will remain unchanged. No existing easements are affected by the proposed adjustment.

Finding 5: As a part of the proposed boundary line adjustment, the applicant is proposing a new river access easement starting at the Northeast corner of 'Lot 2' and running in a northerly direction to the ordinary high-water mark of the East Fork of the Lewis River. See Condition # 3.

Conclusion: The proposal complies with this standard.

D. A BLA proposal that is inconsistent with any restrictions or conditions of approval for a recorded plat or short plat shall not be approved.

Finding 6: The BLA will not affect any original restrictions or conditions of approval.

Conclusion: The proposal complies with this standard.

E. A BLA proposal between lots with different zoning designations shall not be approved.

Finding 7: All lots involved are zoned Low-Density Residential (LDR-7.2).

Conclusion: The proposal complies with this standard.

F. A BLA proposal that would reduce the overall area in a plat or short plat devoted to open space shall not be approved.

Finding 8: There are no areas dedicated to open space that will be affected by this BLA. The BLA will not reduce the overall area of the plat or open space.

Conclusion: The proposal complies with this standard.

G. A BLA proposal that would adjust a boundary line across a public roadway shall not be approved.

Finding 9: The proposed BLA will not adjust a boundary line across a public roadway.

Conclusion: The proposal complies with this standard.

IV. CONDITIONS OF APPROVAL

Based on the application materials provided, the findings of fact, and conclusions of law, the application is hereby APPROVED subject to the following conditions.

1. Applicant shall provide a final map completed and stamped by a licensed surveyor in the state of Washington. Final map must be drawn to scale and show all lot(s).

2. The case number, BLA-22-002 shall be added to each page.
3. Add the legal descriptions on the face of the map and the language of any and all easements, covenants, deed restrictions, or other property use limitations together with the auditor's file number, volume, and page where such language is recorded.
4. Signature block for both owners and the City of Woodland must be added to the face of the BLA to be recorded.
5. Collect the required signatures on two 24" x 36" map. Contact the City to arrange for signature. Additionally, provide an electronic copy.
6. After the City has signed the copies, record the map and any related documents with the County Auditor.
7. Submit one paper copy and an electronic copy of the recorded documents and map to the Community Development Department.
8. Record the BLA within three years from the date of this decision.

V. APPEALS

This administrative decision may be appealed to the City's Hearing Examiner no later than fourteen (14) days following the date of issuance. The appeal shall be made in writing and shall include a statement specifying the basis for such appeal per WMC 16.34.070 and shall include the appeal fee. Appeals can be submitted to the Community Development Department by 5:00 PM on December 20th, 2022.

City of Woodland
 Community Development
 Department c/o Travis Goddard
 230 Davidson Ave., PO Box 9
 Woodland, WA 98674

lukaczerd@ci.woodland.wa.us
 Phone: 360-225-7299
 Fax: 360-225-7336

Date: December 6th, 2022

Signature: 
 David Lukaczer, Associate Planner

CC: Applicant	Building Official
Owner	Fire Marshal
Mayor	City of Woodland Website
Engineer	Counter Copy
Planning Commission	Executive Team
City Administrator	File

LEGAL DESCRIPTION FOR QUAIL HOMES
QUAIL MEADOWS
SHORT PLAT PORTION

October 20, 2022

A parcel of property situated in the Joseph Eaton Donation Land Claim in the Southeast quarter of Section 7, the Southwest quarter of Section 8, the Northwest quarter of Section 17, and the Northeast quarter of Section 18, all in Township 5 North, Range 1 East of the Willamette Meridian in Cowlitz County, Washington described as follows:

Lot 3 as shown on that Boundary Line Adjustment survey recorded under AF# 3590525 in Volume 37, at Pages 73 and 74, records of Cowlitz County, Washington.

ALSO:

A parcel of property situated in the Joseph Eaton Donation Land Claim the Southwest quarter of Section 8, Township 5 North, Range 1 East of the Willamette Meridian in Cowlitz County, Washington described as follows:

COMMENCING at the Northeast corner of Lot 1 of said Boundary Line Adjustment survey;

THENCE South 07° 10' 10" West, along the East line of said Lot 1, a distance of 155.00 feet to the TRUE POINT OF BEGINNING;

THENCE South 07° 10' 10" West, along the East line of said Lot 1, a distance of 233.77 feet;

THENCE South 53° 32' 09" West, along the Southeast line of said Lot 1, a distance of 58.75 feet;

THENCE North 12° 12' 08" East, a distance of 275.37 feet;

THENCE South 82° 49' 55" East, a distance of 18.36 feet to the TRUE POINT OF BEGINNING.

EXCEPT:

A parcel of property situated in the Joseph Eaton Donation Land Claim in the Southeast quarter of Section 7 and the Southwest quarter of Section 8, Township 5 North, Range 1 East of the Willamette Meridian in Cowlitz County, Washington described as follows:

COMMENCING at the Northeast corner of said Lot 1;

THENCE South $07^{\circ} 10' 10''$ West, along the East line of said Lot 1, a distance of 155.00 feet;

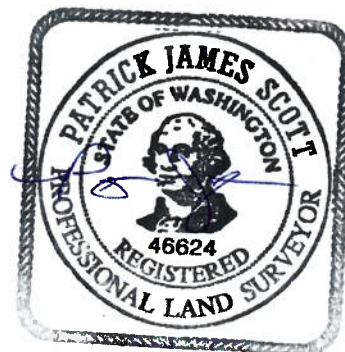
THENCE South $07^{\circ} 10' 10''$ West, along the East line of said Lot 1, a distance of 233.77 feet;

THENCE South $53^{\circ} 32' 09''$ West, along the Southeast line of said Lot 1, a distance of 58.75 feet to the TRUE POINT OF BEGINNING;

THENCE South $12^{\circ} 12' 08''$ West, distance of 13.46 feet;

THENCE South $61^{\circ} 42' 08''$ West, a distance of 62.56 feet to the most Southerly Southeast corner of said Lot 1;

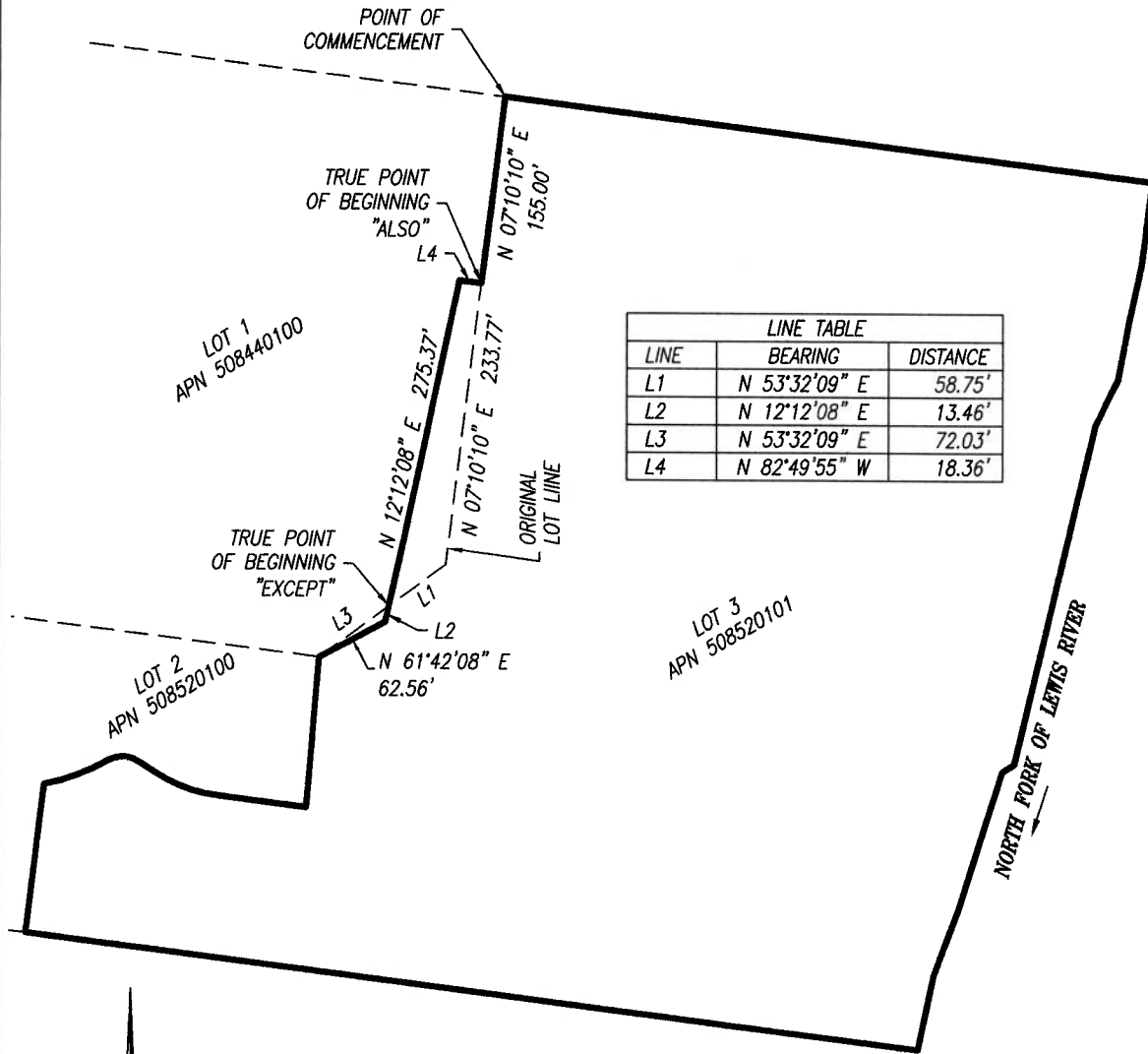
THENCE North $53^{\circ} 32' 09''$ East, along the Southeast line of said Lot 1, a distance of 72.03 feet to the TRUE POINT OF BEGINNING



10-31-2022

**SKETCH TO ACCOMPANY LEGAL DESCRIPTION
FOR SHORT PLAT PORTION**

A PORTION OF JOSEPH EATON D.L.C., LYING IN THE SE 1/4 OF SECTION 7, THE SW 1/4 OF SECTION 8,
THE NW 1/4 OF SECTION 17 AND THE NE 1/4 OF SECTION 18, T. 5 N., R. 1 E., W.M.,
COWLITZ COUNTY, WASHINGTON



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 53°32'09" E	58.75'
L2	N 12°12'08" E	13.46'
L3	N 53°32'09" E	72.03'
L4	N 82°49'55" W	18.36'



NOT TO SCALE

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DESCRIPTIONS\10121.S.0012.LEG.DWG

OLSON LAND SURVEYORS
ENGINEERS
ENGINEERING INC. 222 E. EVERGREEN BLVD., VANCOUVER, WA 98660

1-360-695-1385
1-503-289-9936

LEGAL DESCRIPTION FOR QUAIL HOMES
QUAIL MEADOWS
SUBDIVISION PORTION

October 06, 2022

A parcel of property situated in the Joseph Eaton Donation Land Claim in the Southeast quarter of Section 7, the Southwest quarter of Section 8, and the Northeast quarter of Section 18, all in Township 5 North, Range 1 East of the Willamette Meridian in Cowlitz County, Washington described as follows:

Lots 1 and 2 as shown on that Boundary Line Adjustment survey recorded under AF# 3590525 in Volume 37, at Pages 73 and 74, records of Cowlitz County, Washington.

ALSO:

A parcel of property situated in the Joseph Eaton Donation Land Claim in the Southeast quarter of Section 7 and the Southwest quarter of Section 8, Township 5 North, Range 1 East of the Willamette Meridian in Cowlitz County, Washington described as follows:

COMMENCING at the Northeast corner of said Lot 1;

THENCE South $07^{\circ} 10' 10''$ West, along the East line of said Lot 1, a distance of 155.00 feet;

THENCE South $07^{\circ} 10' 10''$ West, along the East line of said Lot 1, a distance of 233.77 feet;

THENCE South $53^{\circ} 32' 09''$ West, along the Southeast line of said Lot 1, a distance of 58.75 feet to the TRUE POINT OF BEGINNING;

THENCE South $12^{\circ} 12' 08''$ West, distance of 13.46 feet;

THENCE South $61^{\circ} 42' 08''$ West, a distance of 62.56 feet to the most Southerly Southeast corner of said Lot 1;

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Vancouver, WA
98660

THENCE North 53° 32' 09" East, along the Southeast line of said Lot 1, a distance of 72.03 feet to the TRUE POINT OF BEGINNING

EXCEPT:

A parcel of property situated in the Joseph Eaton Donation Land Claim the Southwest quarter of Section 8, Township 5 North, Range 1 East of the Willamette Meridian in Cowlitz County, Washington described as follows:

COMMENCING at the Northeast corner of said Lot 1;

THENCE South 07° 10' 10" West, along the East line of said Lot 1, a distance of 155.00 feet to the TRUE POINT OF BEGINNING;

THENCE South 07° 10' 10" West, along the East line of said Lot 1, a distance of 233.77 feet;

THENCE South 53° 32' 09" West, along the Southeast line of said Lot 1, a distance of 58.75 feet;

THENCE North 12° 12' 08" East, a distance of 275.37 feet;

THENCE South 82° 49' 55" East, a distance of 18.36 feet to the TRUE POINT OF BEGINNING.

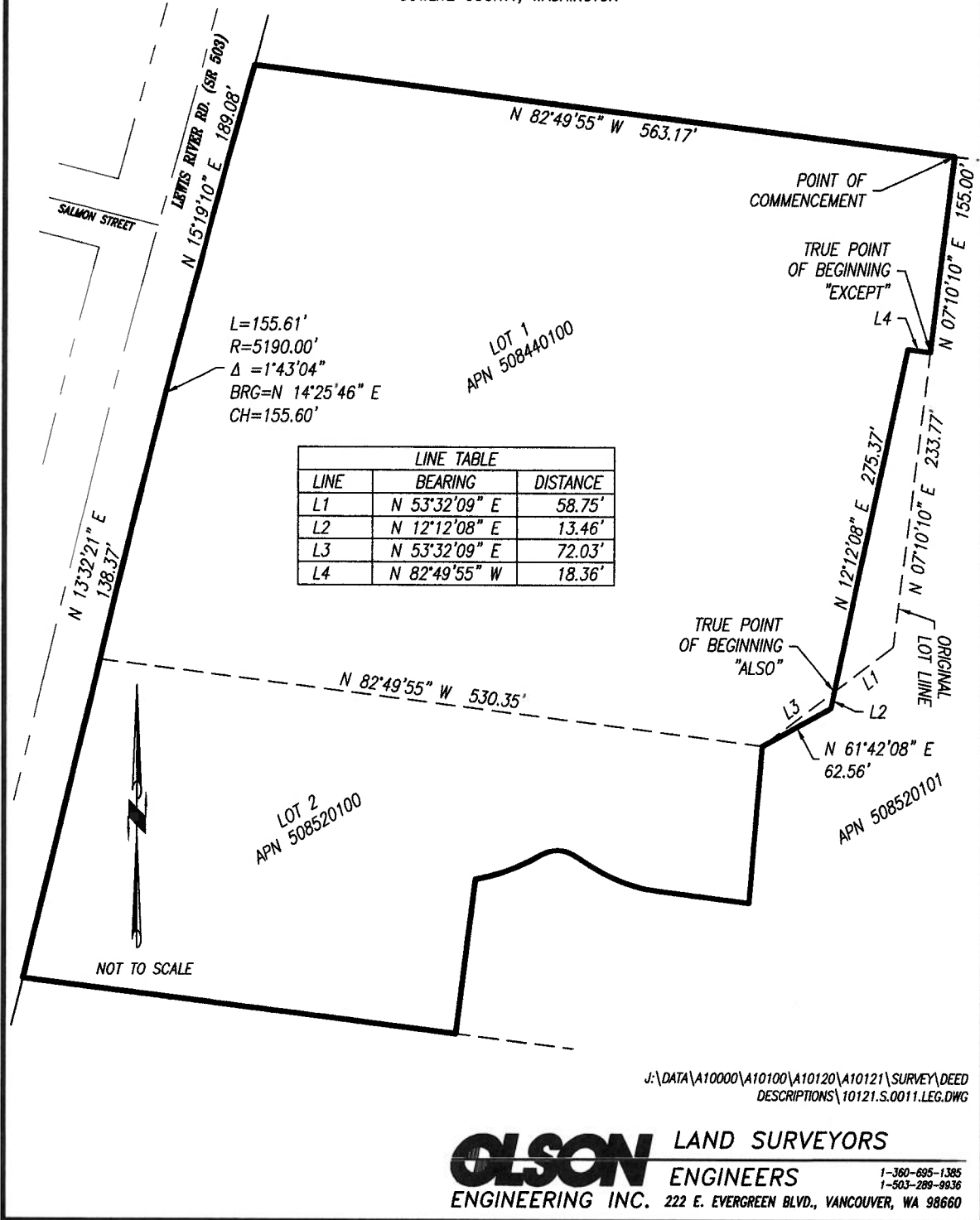
ALSO EXCEPT:

Any portion of that parcel conveyed to the State of Washington by deed recorded under Auditor's File Number 3719469, records of Cowlitz County, Washington.



SKETCH TO ACCOMPANY LEGAL DESCRIPTION FOR SUBDIVISION PORTION

A PORTION OF JOSEPH EATON D.L.C., LYING IN THE SE 1/4 OF SECTION 7, AND IN THE SW 1/4
OF SECTION 8, T. 5 N., R. 1 E., W.M.,
COWLITZ COUNTY, WASHINGTON



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LEGAL DESCRIPTION FOR QUAIL HOMES
RIVER ACCESS EASEMENT

October 3, 2022

A strip of land 10.00 feet in width, the sidelines of said strip lying 5.00 feet on each side of the following described centerline being a part of "Lot 3" as shown on that Boundary Line Adjustment survey recorded under AF# 3590525 in Volume 37 of Surveys at Pages 73 and 74, records of Cowlitz County Washington, situated in the Joseph Eaton Donation Land Claim in the Southwest quarter of Section 8, in the Northwest quarter of Section 17 and in the Northeast quarter of Section 18, Township 5 North, Range 1 East of the Willamette Meridian in said County, said centerline described as follows:

COMMENCING at the Northeast corner of Lot 2 as shown on said survey;

THENCE South 04° 52' 19" West, along the East line of said Lot 2, a distance of 103.89 feet to the TRUE POINT OF BEGINNING;

THENCE South 84° 44' 31" East, a distance of 19.79 feet;

THENCE South 85° 57' 22" East, a distance of 37.04 feet;

THENCE South 82° 23' 19" East, a distance of 49.00 feet;

THENCE South 58° 41' 23" East, a distance of 33.17 feet;

THENCE South 45° 33' 24" East, a distance of 22.91 feet;

THENCE North 58° 19' 04" East, a distance of 68.18 feet;

THENCE North 29° 23' 55" East, a distance of 39.15 feet;

THENCE North 28° 09' 29" East, a distance of 33.10 feet;

THENCE North 22° 42' 20" East, a distance of 34.36 feet;

THENCE North 28° 55' 00" East, a distance of 30.81 feet;

THENCE North 31° 49' 58" East, a distance of 32.42 feet;

THENCE North 36° 38' 40" East, a distance of 40.27 feet;

THENCE North 42° 27' 01" East, a distance of 35.81 feet;

THENCE North 47° 14' 40" East, a distance of 59.85 feet;

THENCE North 51° 08' 14" East, a distance of 43.11 feet;

THENCE North 66° 33' 51" East, a distance of 26.37 feet;

THENCE South 84° 36' 59" East, a distance of 39.00 feet;

THENCE South 65° 52' 35" East, a distance of 40.58 feet;

THENCE South 75° 58' 49" East, a distance of 130 feet, more or less, to the ordinary high water mark of the East Fork of the Lewis River and the TERMINUS of said centerline.

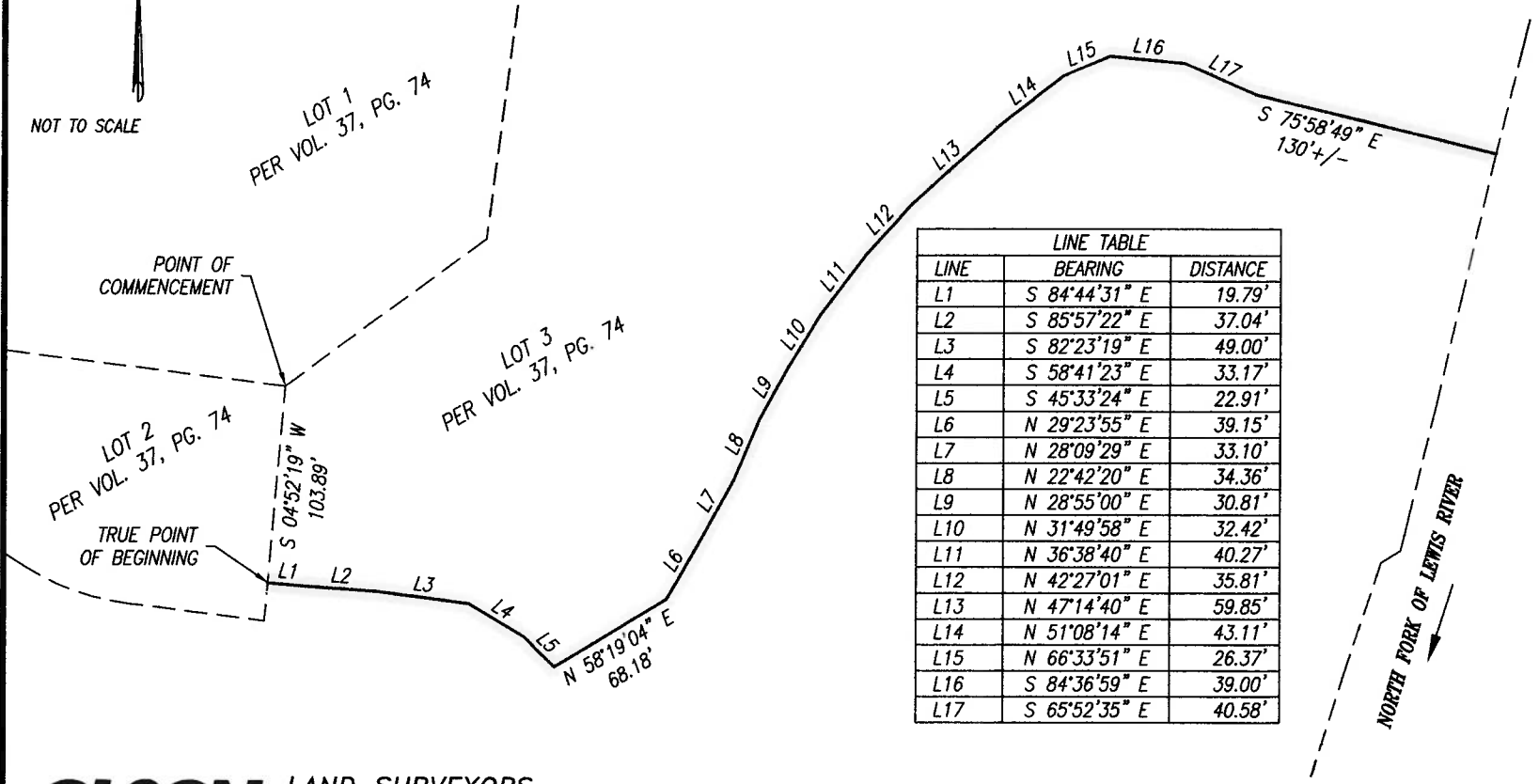
The sidelines of said 10.00 wide strip of land shall be lengthened or shortened as necessary to intersect each other and terminate at the East line of said "Lot 2" and the ordinary high water mark of the East Fork of the Lewis River.



10-10-2022

SKETCH TO ACCOMPANY LEGAL DESCRIPTION FOR RIVER ACCESS EASEMENT

A PORTION OF JOSEPH EATON D.L.C., LYING IN THE NE 1/4, NE 1/4 SECTION 18,
SW 1/4, SW 1/4 SECTION 8, AND NW 1/4, NW 1/4 SECTION 17, T. 5 N., R. 1 E., W.M.,
COWLITZ COUNTY, WASHINGTON



LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 84°44'31" E	19.79'
L2	S 85°57'22" E	37.04'
L3	S 82°23'19" E	49.00'
L4	S 58°41'23" E	33.17'
L5	S 45°33'24" E	22.91'
L6	N 29°23'55" E	39.15'
L7	N 28°09'29" E	33.10'
L8	N 22°42'20" E	34.36'
L9	N 28°55'00" E	30.81'
L10	N 31°49'58" E	32.42'
L11	N 36°38'40" E	40.27'
L12	N 42°27'01" E	35.81'
L13	N 47°14'40" E	59.85'
L14	N 51°08'14" E	43.11'
L15	N 66°33'51" E	26.37'
L16	S 84°36'59" E	39.00'
L17	S 65°52'35" E	40.58'

OLSON LAND SURVEYORS
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