

**Community Development Department**  
Building | Planning | Code Enforcement  
P.O. Box 9, 230 Davidson Avenue  
(360) 225-7299, [www.ci.woodland.wa.us](http://www.ci.woodland.wa.us)

## NOTICE OF DECISION & SEPA DNS

### C+G Properties New Warehouses

<b>Land Use Application Nos.:</b>	SPR-22-010 (Site Plan Review – Type 2) SEP-22-010 (SEPA)
<b>Applicant &amp; Property Owner:</b>	MCA Architects PC C/O Ted Grund 812 SW Washington St S. 800 Portland, OR 97205
<b>Site Location:</b>	1680 Howard Way
<b>Parcel &amp; Size:</b>	508340101, 68,000 SF
<b>Zoning Designation:</b>	Light Industrial, I-1
<b>Date Application Received:</b>	October 12th, 2022
<b>Notice of Application &amp; Likely DNS issued:</b>	November 3 <sup>rd</sup> , 2022 [See: case # SEP-22-010]
<b>Comment Period &amp; SEPA Appeal Period Ended:</b>	November 23 <sup>rd</sup> , 2022
<b>Notice of Decision Issued:</b>	December 1 <sup>st</sup> , 2022
<b>DRC Decision:</b>	Approve with Conditions

### I. DESCRIPTION OF PROPOSAL

Applicant proposes to develop two new 10,235 SF light industrial buildings on a shared lot with associated parking, landscaping, and further improvements. A total of 24,916 SF of building area is proposed, including 20,470 SF of warehousing area and 4,446 SF of office area.

### II. REVIEW AUTHORITY & FINDINGS

Per Woodland Municipal Code (WMC) 19.08.030, site plan reviews shall be approved, approved with conditions, or denied by the Development Review Committee and decisions shall be issued by the Community Development Department.

## Development Impact Fees – Fire | WMC 3.41

**Finding 1:** Fire Impact Fees are required for the proposed building addition. Fees are calculated based on \$.51 per sq ft of building. Fees are calculated and due at the time of building permit issuance. Fee is estimated to be  $(24,916 \times \$0.51) = \$12,707.16$  for the project. A condition of approval has been added which requires the fees be calculated and paid at the time of building permit issuance. (*See Conditions #1 and #2*)

**Conclusion:** As conditioned, the proposal can comply with this requirement. (See Findings 42 and 43 for fire review requirements.)

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## Development Impact Fees – Transportation | WMC 3.42

**Finding 2:** Transportation Impact Fees (TIF) are required on new development to support future transportation improvements within the city per WMC 3.42. The TIF is calculated is based on \$838 per PM Peak Hour Trip (PMPHT) generated by the project based on the ITE Code 150 (Warehouse) and ITE Code 710 (General Office Building).

PM Peak Hour Trips for proposed warehousing and office space have been calculated as follows:

- General Office Space (ITE Code 710):  $4,446 \text{ SF}/1000=4.446 \times 1.15=5.11$  PHPMTs
- General Warehousing (ITE Code 150):  $20,470 \text{ SF}/1000 = 20.470 \times 0.19= 3.8893$  PMPHTs

Proposed development would result in an estimated 8.9993 PMPHTs

With a Transportation Impact fee of \$838.00/ Pm Peak Hour Trip, a rough estimation of the Transportation impact fee would be \$7541.41 ( $\$838 \times 8.9993$ ).

Impact fees are collected at the time of building permit issuance.  
(*See Conditions 1 and 2*)

The City currently has a TIF Holiday that may affect this project.

**Conclusion:** As conditioned, the project can comply with this requirement.

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## Streets and Sidewalks | WMC 12

**Finding 3:** Street trees along the sidewalk in the right-of-way were planted through the development of the Centennial Industrial Park. Applicant proposes to remove one of the existing street trees in order to construct the property's driveway. Otherwise the project meets the requirements for street trees.

**Finding 4:** Per WMC 12.28.060(A), the property owner is responsible for the removal and replacement of dead or severely damaged street trees. A condition has been added that the applicant shall remove and replace any dead or severely damaged street trees at the time of property development. Any dead or severely damaged street tree shall be replaced with an approved species of tree from the City of Woodland's approved street tree list found at: <https://www.ci.woodland.wa.us/publicworks/page/street-trees>. (See Condition 3)

**Finding 5:** The street frontage along Howard Way is partially complete and will require construction of frontage improvements, including attached sidewalk, landscaping, and street lighting consistent with City of Woodland Engineering Standards (Standards) and applicable Woodland Municipal Code (WMC). A condition is added that all improvements in the public right-of-way shall be completed in accordance with the Standards and WMC. Additionally, dedication of Right-of-Way shall comply with the Standards and WMC. (See Condition 4)

**Conclusion:** As Conditioned, the proposed development can comply with the development standards.

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## Water and Sewage | WMC 13

**Finding 6:** There are 12-inch Water and 12-inch Sewer mains in Howard Way, adjacent to the proposed development, are available to tie into. An 8-inch water stub and 6-inch sanitary sewer lateral were extended to the proposed development's property line as part of a recent project. The applicant proposes to extend 6-inch sewer, 6-inch fire service, FDC service line, and 1-inch domestic water service on-site. The layout of these utilities as shown in the current engineering plans appear to meet the requirements of the City Engineering Standards. Backflow devices must be installed on the domestic and fire supply lines to the building to comply with backflow and cross-connection

requirements of WMC 13.28, as well as all other applicable WMC. (*See Conditions 4 and 5.a*)

**Finding 7:** The fire mains shall be public mains with a 15 ft wide easement to the City. The layout of these utilities as shown in the current engineering plans appear to meet the requirements of the City Engineering Standards and WMC. (*See Condition 5.b*)

**Finding 8:** Water and Sewer Assessment Fees: Connection charges and assessments for water and sewer will be assessed in accordance with the applicable rate schedule. (*See Condition 5.c*)

**Conclusion:** The proposal can comply with the development standards.

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### **Erosion Control Ordinance | WMC 15.10**

**Finding 9:** Applicants are required to install and maintain erosion control measures per the Best Management Practices as outlined in the 2012 Stormwater Management Manual for Western Washington during site excavations and grading. An NPDES permit from the Department of Ecology is required where more than one acre is being disturbed. A condition of approval is added to include an erosion control plan with the final engineering submittal. Additionally, a fill and grade permit is required. (*See Conditions 6 and 7*)

**Conclusion:** As conditioned, the project can comply with this standard.

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### **Stormwater Management | WMC 15.12**

**Finding 10:** The applicant will be required to submit a preliminary stormwater TIR providing estimated stormwater flow information in order to ensure the existing stormwater system(s) has adequate capacity to handle the proposed development. A condition of approval is added to submit a preliminary TIR for review and comment. Please note that a final TIR may be required to address any comments. (*See Condition 8*)

**Conclusion:** As conditioned, the proposal can comply with these standards.

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### Permitted Uses | WMC 17.44.020

**Finding 11:** Both warehousing and associated offices are permitted uses within the City's Light Industrial zone per WMC 17.44.020(27).

**Conclusion:** As proposed, the project can comply with this standard.

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### Building Setbacks | WMC 17.44.070

**Finding 12:** The required setbacks in light industrial zones are:

- Front yard setback: 25 ft.
- Side yard setback: 10 ft. Where I-1 abuts a residential zone, the side yard setback shall be a minimum of 25 ft.
- Rear yard setback: 10 ft. Where I-1 abuts a residential zone, the rear yard setback shall be a minimum of 25 ft.

**Finding 13:** The proposal meets the setback requirements. Proposed setbacks are:

- Front: 146 ft
- Side (North): 12 ft
- Side (South): 12.75 ft
- Rear: 20.5 ft

**Conclusion:** As proposed, the project can comply with this standard.

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### Building Height | WMC 17.44.080

**Finding 14:** Per Woodland Municipal Code, buildings on lots zoned I-1 greater than one (1) acre are permitted to be no taller than fifty-five feet in height.

**Finding 15:** Development is proposed on a single lot with a total lot area of 1.64 acres in an I-1 district, with a single story proposed building that measures 26 ft and 8 inches in height. This meets the building height requirements.

**Conclusion:** As proposed, the project complies with this standard.

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## Lot Coverage | WMC 17.44.090

**Finding 16:** There are no lot coverage limitations within districts with Light Industrial designations provided that where the I-1 use abuts residential uses the supplemental provisions defined by the WMC are observed for landscaping in front, side, and rear yards.

**Finding 17:** Proposed development is located within an Established industrial park and does not abut any residential uses.

**Conclusion:** As proposed, the project can comply with this standard.

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## Parking | WMC 17.44.100 & WMC 17.56.040

**Finding 18:** Per WMC 17.56.040(B), the required number of parking spaces provided may be calculated based on one of the two following methods, whichever provides the most parking spaces:

1. Parking in relation to personnel:
  - a. One space for each two plant employees on maximum shift;
  - b. One space for each managerial personnel;
  - c. One visitor parking space for every ten managerial personnel;
  - d. No less than four per plant site.
2. Parking in relation to floor area:
  - a. One space for each one thousand two hundred fifty square feet of gross floor area used for warehousing and distribution;
  - b. One space for each seven hundred square feet of gross floor area used for manufacturing;
  - c. One space for each four hundred square feet of office floor area.

**Finding 19:** A total of 5 parking spaces are required to meet on-site parking requirements based on employees:

- Nine plant employees on a maximum shift, at one space for every two plant employees, requires 4.5 parking spaces provided.

**Finding 20:** A total of 27 parking spaces are required to meet on-site parking requirements based on use:

- Applicant is proposing 4,446 SF of office space. At one space per each 400 SF of office area, 11 parking spaces would be required for the office use.
- Applicant is proposing 20,470 SF of warehouse space. At one space per every 1250 SF of warehousing space, 16 parking spaces will be required.

The site plan identifies a total of 28 parking spaces proposed, of which two are listed as ADA compliant. This meets the City's standards.

**Finding 21:** Ten percent (10%) of proposed parking spaces must be equipped with electric charging infrastructure per IBC Section 429. (*See Condition 9*).

**Conclusion:** As conditioned, the proposal can comply with these standards.

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### **Vehicular Access | WMC 17.44.120**

**Finding 22:** Access to I-1 zones and property is expected to occur via an arterial or system of arterials so that industrial use traffic will not be directed through residential areas.

**Finding 23:** Proposed development fronts Howard Way, which has an irregular road classification with a 68-foot Right of Way. This is similar to the commercial/industrial collector standard ROW, and staff requests that road improvements be constructed to the commercial/industrial collector standards as noted above.

**Conclusion:** As proposed, the project can comply with the city's development standards.

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### **Landscape Design and Screening | WMC 17.44.133 – WMC 17.44.136**

**Finding 24:** A landscaping plan guaranteeing the healthy growth of proposed landscaping in compliance with WMC 17.44 and signed by a certified landscaping professional is required prior to issuance of the preliminary site plan approval.

**Finding 25:** A landscaping plan was submitted with this preliminary site plan review application. A condition of approval has been added that a final landscaping plan be provided alongside civil plan submission. (*See Condition 10*)

**Finding 26:** The landscaping plan set includes the required calculations per WMC 17.44.134.

**Finding 27:** A combination of deciduous and evergreen trees, shrubs, and groundcovers shall be used for all planted areas, the selection of which shall be based on local climate, exposure, water availability, and drainage conditions per WMC 17.44.135 (C). All landscaped area, whether required or not, that is not planted with trees and shrubs or not covered with non-plant material, shall have groundcover plants that are designed to achieve 50% coverage of the area not covered by tree canopy and shrubs per WMC 17.44.135 (D).

**Finding 28:** Proposed landscaping is appropriate for the Pacific Northwest and achieves at least 50% coverage in areas not covered by tree canopy.

**Finding 29:** Per WMC 17.44.135 (E), trees shall have a minimum diameter or caliper measured at four feet above grade of two inches or greater at time of planting and shall be densely planted as certified by a certified landscaping professional.

**Finding 30:** No caliper measurement is given for the Hogan Cedar plantings proposed. A condition of approval has been added that the applicant shall include caliper measurements for all proposed trees. However, staff acknowledges that available stock from nurseries can vary and strictly adhering to 2-in. caliper may be challenging. The proposed plant schedule is acceptable so long as they remain close to size requirements. *(See Condition 10.a)*

**Finding 31:** Per WMC 17.44.135 (F), shrubs shall be planted from a five-gallon container or larger at the recommended spacing as certified by a certified landscaping professional.

**Finding 32:** A variety of shrubs are proposed as a part of the preliminary landscaping plan. Proposed shrubs range from 3 gallon to 5 gallon in size, which does not meet the standards of WMC 17.44.135 (F). Any proposed shrubs indicated on the final landscaping plan shall be in 5-gallon or larger tubs. A condition of approval has been added that any shrubs proposed as a part of the final engineering plans must be in 5-gallon or larger tubs. *(See Condition 10.b)*

**Finding 33:** Per 17.44.135 (I), the use of drought-tolerant plant species is encouraged and shall be required when irrigation is not available. Irrigation will be provided according to the landscaping plan.

**Finding 34:** Per WMC 17.44.136 (B), in the front yard landscaping area, trees, shrubs, and plant ground cover should be planted along the entire road frontage area and meet the requirements of WMC 17.46.

**Finding 35:** The front yard setback is proposed to be planted with a variety of grasses and other ground cover, interspersed with a variety of shrubs and the existing street trees. Landscaping proposed along the frontage serve sto provide partial tree cover and screening of the property and associated parking lots.

**Finding 36:** Per WMC 17.44.136 (F), a minimum of ten percent of the total surface area of all proposed parking areas, as measured around the perimeter of all parking spaces and maneuvering areas, shall be landscaped.



**Finding 37:** Per the submitted landscaping plan, a total of 10,545 SF of the 28,855 SF parking area is considered parking lot landscaping. This is a total of approximately 37% of the parking lot area being landscaped, which exceeds the required parking lot landscaping threshold of WMC 17.44.136 (F).

**Finding 38:** At a minimum, one tree per five parking spaces shall be planted to create a partial tree canopy over and around the parking area. All parking areas with more than twenty spaces shall include landscape islands with trees at both ends and in between to break up the parking area into rows of not more than ten contiguous parking spaces.

**Finding 39:** The proposed parking lot consists of 28 parking spaces and 6 trees, which meets the 6 trees required to meet this standard.

**Finding 40:** Per 17.44.136 (G), all mechanical equipment, outdoor storage and manufacturing areas, service and delivery areas, garbage receptacles and recycling containers shall be fully screened from view from all public streets and adjacent nonindustrial zoning district(s) and/or use(s) in a manner which is architecturally integrated with the structure. Such screening shall be a minimum of six feet provided by a decorative wall (i.e., masonry or similar quality material), evergreen hedge, opaque fence complying with the standards of this section, or a similar feature that provides an opaque barrier. A condition of approval has been added that proposed garbage area be identified on final site plan submitted with civil engineering review and that dimensions and elevations be provided demonstrating compliance with this standard. (*See Condition 10.c*)

**Conclusion:** As conditioned, the proposal can comply with these standards.

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## Lighting | WMC 17.44.140

**Finding 41:** The operator shall be responsible for ensuring that lighting is installed and arranged to ensure that no reflection or glare shall conflict with the readability of traffic signs or control signs. Lighting shall also not rotate, glitter, or flash per WMC 17.46.140. (*See Condition 11*)

**Conclusion:** As conditioned, the proposal can comply with these standards.

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### Site Standards | WMC 17.44.160

**Finding 42:** All buildings and yards shall be maintained in a neat and orderly manner. Landscaping shall be maintained in a healthy, presentable state. *(See Condition 12)*

**Conclusion:** As conditioned, the proposal can comply with these standards.

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### Performance Standards | WMC 17.48

**Finding 43:** The requirements of this section cover hazards and nuisances including sound level, vibration, air emissions, smoke, dust, odors, industrial wastes, fire hazards, heat, glare, radioactivity and radio transmitters.

The applicant will be responsible for ensuring that their operation is complying with all performance standards. *(See Condition 13)*

**Conclusion:** As conditioned, the proposal can comply with this standard.

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### Fire Safety

All buildings must be constructed in accordance with WA Building and Fire Codes. Plan revisions and building plans must be submitted directly to Clark-Cowlitz Fire Rescue (CCFR) for fire review.

**Finding 44:** Applicant is required to submit site plan to CCFR and comply with all comments and/or conditions. *(See Condition 14)*

**Finding 45:** Building construction plans shall be submitted to CCFR separately, along with any fire alarm and/or fire sprinkler alterations. *(See Condition 15)*

**Conclusion:** As conditioned, the proposal can comply with Fire Code.

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### Preliminary Site Plan Approval | WMC 19.10.070

**Finding 46:** The applicant submitted a preliminary site plan. Per WMC 19.10.070, the applicant is required to submit for final civil plan approval and submit a final site plan application. *(See Conditions 16 and 17)*

**Conclusion:** The preliminary site plan can be approved with conditions.

### III. Agency Comments

#### Engineering

*All engineering is reviewed by Gibbs & Olson, the City's engineering services consultant. Notes have been provided by Ryan Walters, who serves as the City Engineer.*

**Finding 47:** Applicant is responsible for taking appropriate action to address concerns expressed by the associated engineering memo prepared by Ryan Walters, P.E. with Gibbs & Olson on 11/14/2022.

**Finding 48:** Findings and conditions associated with the preliminary review have been integrated into this staff report under the following subjects;

- **WMC 3.42: Development Impact Fees**
- **WMC Title 12: Streets and Sidewalks**
- **WMC Title 13: Water and Sewage**
- **WMC 15.10: Erosion Control**
- **WMC 15.12: Stormwater Management**

Conditions have been added that the applicant must adhere to provided engineering comments, and that the applicant shall provide responses acknowledging the provided comments. (*See conditions 17 and 18*)

#### Washington State Department of Ecology

**Finding 49:** Applicant is responsible for taking appropriate action to address concerns expressed by the memo prepared by the Washington State Department of Ecology and dated October 12<sup>th</sup>, 2022:

- All grading and filling of land must utilize only clean fill. All other materials may be considered solid waste and permit approval may be required from your local jurisdictional health department prior to filling.
- All removed debris resulting from this project must be disposed of at an approved site.
- Erosion control measures must be in place prior to any clearing, grading, or construction. Control measures must be effective to prevent stormwater runoff from carrying soil and other pollutants into surface water or storm drains that lead to waters of the state.
- Projects requiring a Construction stormwater general permit from the department of ecology include:
  - Clearing, grading, and/or excavation that results in the disturbance of one or more acres and discharges stormwater to surface waters of the state;

- Clearing, grading, and/or excavation on sites smaller than one acre that are part of a larger common plan of development or sale, if the common plan of development or sale will ultimately disturb one acre or more and discharge stormwater to surface waters of the state;
- Any size construction activity discharging stormwater to waters of the State that Ecology:
  - Determines to be a significant contributor of pollutants to waters of the State of Washington; and/or
  - Reasonably expects to cause a violation of any water quality standard.
- If there are known soil/ground water contaminants present on-site, additional information (including, but not limited to: temporary erosion and sediment control plans; stormwater pollution prevention plan; list of known contaminants with concentrations and depths found; a site map depicting the sample location(s); and additional studies/reports regarding contaminant(s)) will be required to be submitted. For additional information on contaminated construction sites, please contact Carol Serdar at Carol.Serdar@ecy.wa.gov, or by phone at (360) 742-9751.
- Additionally, sites that discharge to segments of waterbodies listed as impaired by the State of Washington under Section 303(d) of the Clean Water Act for turbidity, fine sediment, high pH, or phosphorous, or to waterbodies covered by a TMDL may need to meet additional sampling and record keeping requirements. See condition S8 of the Construction Stormwater General Permit for a description of these requirements. To see if your site discharges to a TMDL or 303(d)-listed waterbody, use Ecology's Water Quality Atlas at: <https://fortress.wa.gov/ecy/waterqualityatlas/StartPage.aspx>.
- The applicant may apply online or obtain an application from Ecology's website at: <http://www.ecy.wa.gov/programs/wq/stormwater/construction/-Application>. Construction site operators must apply for a permit at least 60 days prior to discharging stormwater from construction activities and must submit it on or before the date of the first public notice.

A condition of approval has been added that the applicant must adhere to the requirements expressed by the Department of Ecology. (*See Condition 19*)

#### **IV. ENVIRONMENTAL REVIEW**

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request. This Determination of Non-significance (DNS) is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS.

## V. DECISION

Per WMC 19.08.030, the above application for the preliminary Site Plan Review has been **APPROVED WITH CONDITIONS** by the City of Woodland's Development Review Committee (DRC) based on the criteria and standards outlined in Woodland Municipal Code (WMC). See *Section IV for conditions of approval.*

## VII. CONDITIONS OF APPROVAL

- 1) The following impact fees have been estimated based on the preliminary application and will be due at time of building permit issuance:
  - a) Fire Impact Fees:
    - i) Commercial: \$12,707.16 (\$.51 per square foot of commercial space).
  - b) Transportation Impact Fees:
    - i) Commercial: 8.9993 PM Peak Hour Trips x \$838 per trip = \$7,541.41.
    - ii) Transportation Impact Fees for Commercial and Industrial developments are on hold until June 30th, 2024.

Water and sewer assessment fees are required based on meter size in accordance with the Woodland rate schedule.

- 2) Pay all impact fees when building permits are issued per WMC 3.42.
- 3) Applicant shall remove and replace any dead or severely damaged street trees with permitted street trees found on the City's Street tree list. A note acknowledging this requirement shall be added to the final landscaping and/or site plan.
- 4) All improvements in the public right-of-way shall be completed in accordance with City of Woodland standards per Title 12.
- 5) Water and Sewer Connections and placement must comply with the following:
  - a) Comply with water supply backflow and cross-connections requirements of WMC 13.28.
  - b) The fire mains shall be public mains with a 15-foot wide easement to the City.
  - c) Any water and sewer assessment fees are due at the time of connection to the City's system.
- 6) Include an erosion control plan with the final engineering submittal.

- 7) Apply for a fill and grade permit and NPDES permit.
- 8) Submit a preliminary stormwater TIR.
- 9) Ten percent (10%) of proposed parking spaces must be equipped with electric charging infrastructure per IBC Section 429. 28 proposed parking spaces = 3 required parking spaces equipped with electric charging infrastructure.
- 10) Submit a final landscaping plan per WMC 17.44.133. Final landscaping plan must include the Final Landscaping plan shall include the following modifications to ensure compliance with WMC Chapter 17.44:
  - a) Provide an accurate caliper (diameter) measurement for the proposed Hogan Cedar plantings;
  - b) All shrubs proposed as a part of the final engineering plans must be in 5-gallon or larger tubs. Shrub size must be identified on the final landscaping plan; and
  - c) All mechanical equipment, outdoor storage, and manufacturing areas, service areas, garbage and recycling areas shall be adequately screen per WMC 17.44.136(G). Provide updated plans identifying trash enclosure(s) and provide trash enclosure dimensions and elevations with final engineering submittal.
- 11) Final photometric plan is required with civil review submission. Lighting shall not rotate, glitter, and/or flash per WMC 17.46.140.
- 12) All buildings and yards shall be maintained in a neat and orderly manner. Landscaping shall be maintained in a healthy, presentable state.
- 13) The applicant will be responsible for ensuring that their operation is complying with all performance standards of WMC 17.48 (hazards and nuisances including sound level, vibration, air emissions, smoke, dust, odors, industrial wastes, fire hazards, heat, glare, radioactivity and radio transmitters).
- 14) Submit site plan to CCFR for review. Include any required revisions with the civil engineering submission. All work subject to field inspection and correction as identified at the time of the on-site inspection; all work shall be compliant with the applicable standards and codes; to include the adopted edition of the International Fire Code and the City's Municipal Code.
- 15) Building/construction plans must be submitted to CCFR separately, along with fire alarm and/or fire sprinkler alterations. It is the responsibility of the applicant to comply with any and all conditions placed upon the development by CCFR as the City of Woodland will not approve any proposed development without CCFR approval.

- 16) Applicant is responsible for submitting a revised site plan alongside proposed final civil engineering plan(s) at Civil Review. Civil review packet should include all documents required to document the applicant's compliance with listed conditions of approval, as well as all revised engineering plans reflecting provided engineering comments. The civil review application can be found: <https://www.ci.woodland.wa.us/planning/page/civil-review-submission>.
- 17) Applicant is responsible for adhering to provided engineering findings and conditions.
- 18) Applicant shall provide responses acknowledging engineering findings and conditions.
- 19) It is the applicant's responsibility to make any relevant revisions and/or acquire any relevant permits based on provided comments from the Department of Ecology.
- 20) Payment shall be made to the City for any outstanding Professional Consulting Services per WMC 19.02.110.

## VI. APPEAL PROCEDURE

As per WMC 19.08.020 and 19.08.030, this Notice of Decision may be appealed to the Hearing Examiner within 14 days of the date this decision is issued. The appeal with grounds for appeal in writing shall be submitted to the Community Development Department **by 5:00 p.m., December 15th, 2022.**

**Staff Contact:** David Lukaczer, Associate Planner  
City of Woodland  
P.O. Box 9  
230 Davidson Ave  
Woodland, WA 98661  
lukaczerd@ci.woodland.wa.us

## VII. NEXT STEPS

If there is no appeal to the decision, the applicant may move forward to develop the site.

- Submit final civil plans addressing the conditions above. Include Woodland standard details for water, sewer, erosion control, etc. as required to support the civil design when you submit drawings for final civil approval.
  - The details can be found at [www.ci.woodland.wa.us/departments/public-works/standards.php](http://www.ci.woodland.wa.us/departments/public-works/standards.php).
  - a. Submit final civil plans to: [https://woodlandwa.seamlessdocs.com/f/civil\\_review](https://woodlandwa.seamlessdocs.com/f/civil_review)
- Once civil plans are approved:

- . Upload approved plans to Clark County Fire and Rescue for electronic signature: [www.clarkfr.org](http://www.clarkfr.org). Print the plans once signed.
- a. Contact Public Works to arrange for signature: 360-225-7999. Then, bring plans signed by Clark County Fire and Rescue to Public Works for signature.
- b. Provide a .pdf to Public Works of signed plan set.
- Submit building, grading, and sign permits online: [www.ci.woodland.wa.us/documents/](http://www.ci.woodland.wa.us/documents/)
  - . Contact Elissa Brontano, Permit Technician, for assistance: 360-225-7299.
  - a. Pay any outstanding professional consulting services per Woodland Municipal Code, Ordinance 1097.
- Schedule a pre-construction meeting before beginning any construction activities. Contact Public Works at 360-225-7999 to schedule.
- Install all required landscaping and irrigation prior to applying for final occupancy.
- Submit one full-sized and one copy of reduced size (11" x 17") as-built drawings. In addition, submit a CD/thumb drive containing the as-built drawings in AutoCAD and pdf formats prior to applying for final occupancy.

Date: 12/1/2022

Signature: \_\_\_\_\_



*David Lukacze, Associate Planner*

cc: Applicant  
 Parties of Record  
 File  
 Website  
 Mayor  
 City Administrator

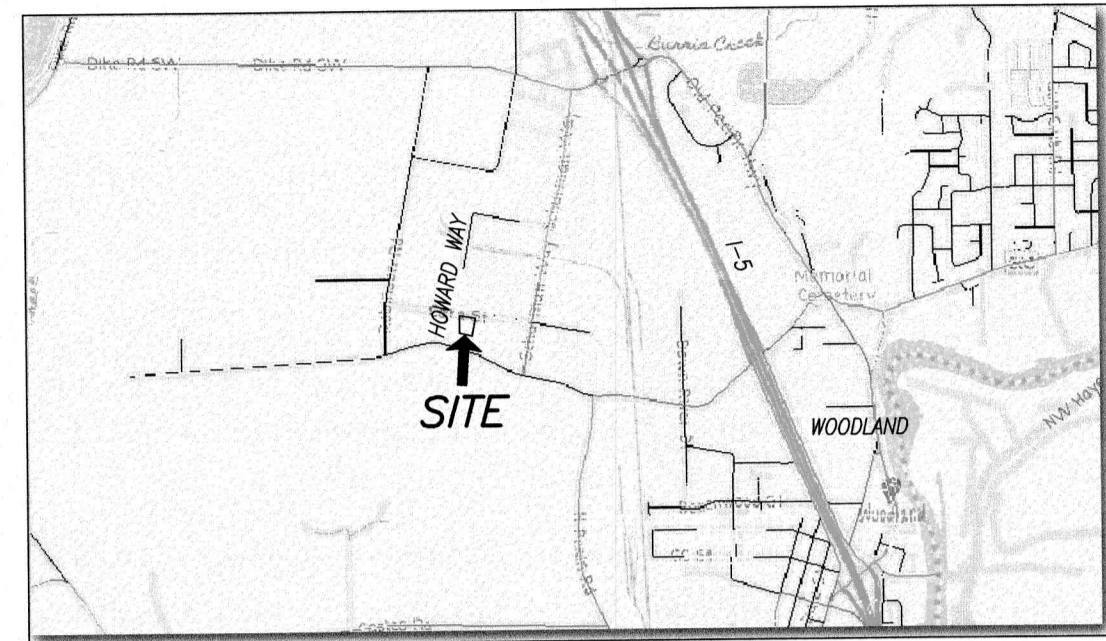
Planning Commission

ATTACHMENTS

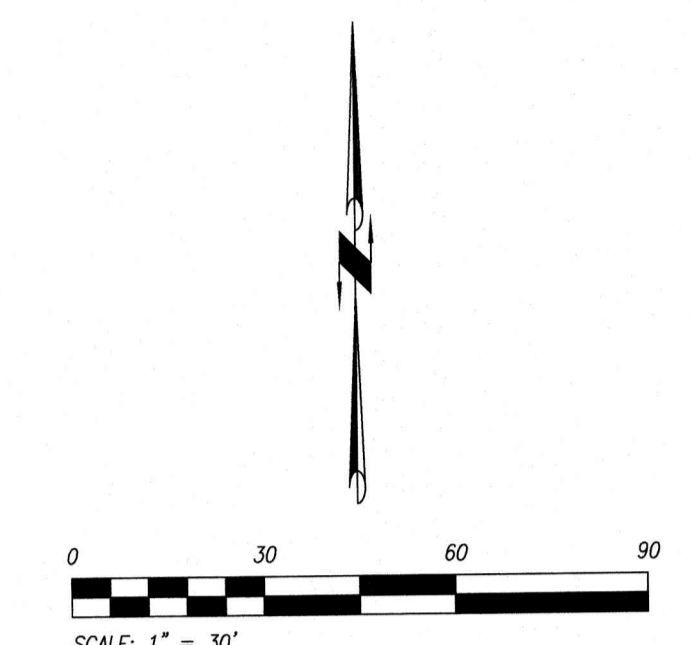
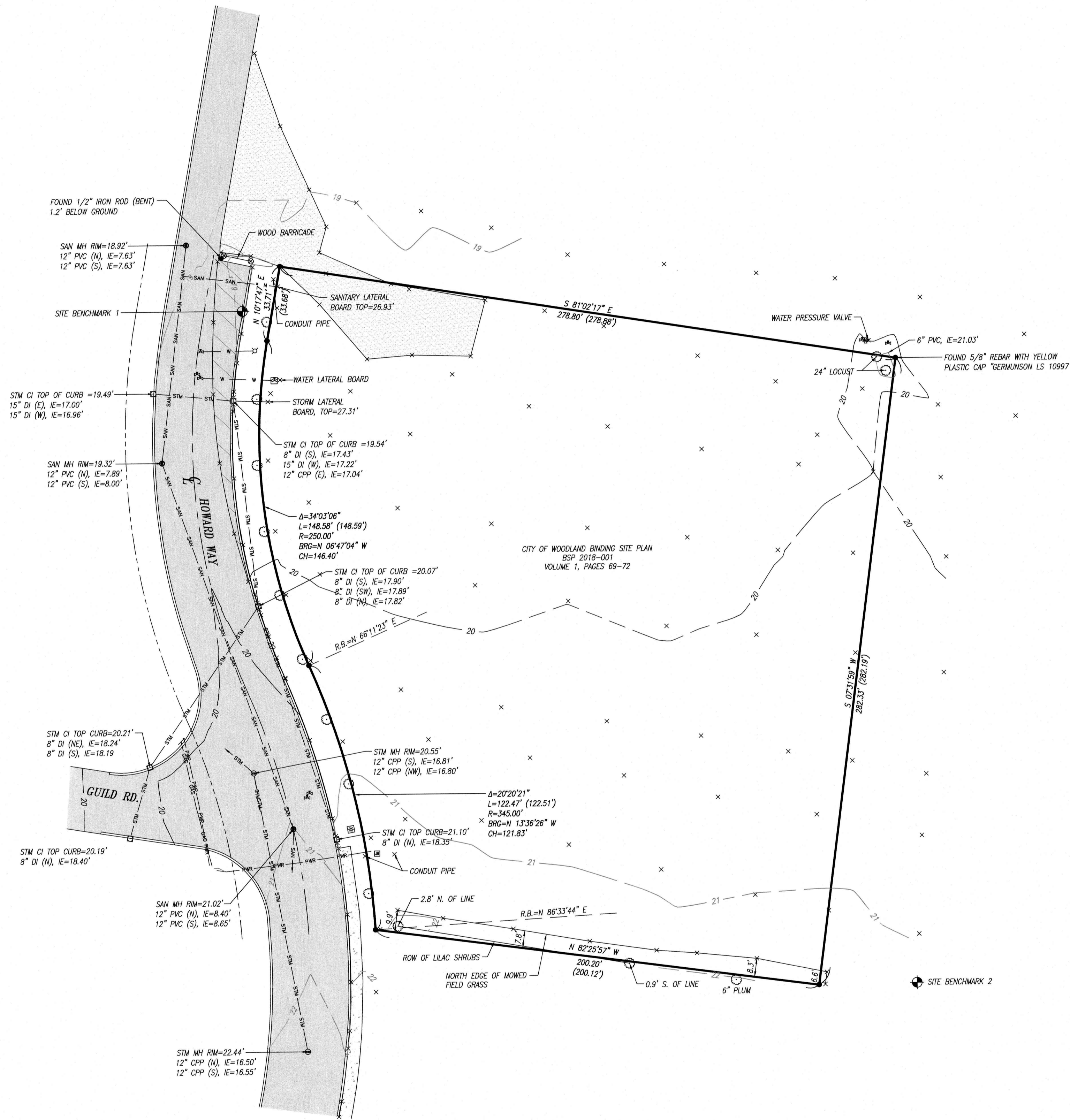
A. Site Plan







VICINITY MAP  
NO SCALE



**BASIS OF BEARINGS:**  
BEARINGS ARE ASSUMED HOLDING A BEARING OF S 07°31'58\"/>

**VERTICAL DATUM:**  
ELEVATIONS SHOWN HEREON ARE NAVD88 DATUM BASED ON A SCRIBED X IN THE SIDEWALK ON THE EAST SIDE OF SCHURMANN WAY AT THE EXTENSION OF HERITAGE STREET, ELEVATION 17.91'. ELEVATION INFORMATION AND DATUM BASE PER 2008 ALTA SURVEY PROVIDED BY HAGEDORN, INC.

**BENCHMARK:**  
SITE BENCHMARK 1: MAG NAIL WITH WASHER "MAG CONTROL", LOCATED ALONG EAST CONCRETE CUTTER OF HOWARD WAY AND 18' SE TO FIRE HYDRANT. ELEVATION = 18.92'  
SITE BENCHMARK 2: 1/2\"/>

- LEGEND**
- LIGHT POLE
  - ⊕ POWER JUNCTION BOX
  - ⊖ WATER BLOW OFF
  - ⊙ WOOD POST
  - 1\"/>
  - ⊕ STORM MANHOLE
  - ⊖ STORM CURB INLET (CI)
  - SANITARY SEWER MANHOLE
  - ⊕ WATER VALVE
  - ⊖ FIRE HYDRANT
  - FOUND AND HELD 5/8\"/>
  - ⊕ SITE BENCHMARK
  - PARCEL BOUNDARY
  - - - CENTER OF RIGHT OF WAY
  - - - RIGHT OF WAY
  - - - GAS - GAS - UNDERGROUND GAS LINE
  - - - W - W - UNDERGROUND WATER LINE
  - - - PWR - PWR - UNDERGROUND POWER LINE
  - - - STM - STM - UNDERGROUND STORM LINE
  - - - SAN - SAN - UNDERGROUND SANITARY SEWER LINE
  - ▒ CONCRETE SURFACE
  - ▒ ASPHALT SURFACE
  - ▒ ROAD STRIPING
  - ▒ GRAVEL SURFACE
  - R.B. RADIAL BEARING
  - ( ) RECORD DISTANCE

**NOTES**

THE LOCATION OF EXISTING UTILITY FACILITIES HAS NOT BEEN RESEARCHED. UNDERGROUND UTILITIES SHOWN HEREON ARE FROM TIES TO UTILITY PAINT MARKS MADE IN RESPONSE TO "ONE-CALL CONCEPTS" UTILITY NOTIFICATION TICKET NO. 22287712. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES BY THE RESPECTIVE UTILITY OWNERS, NOR THE EXISTENCE OF BURIED OBJECTS WHICH ARE NOT SHOWN ON THIS PLAN.

THE FOLLOWING UTILITY COMPANIES WERE CONTACTED TO LOCATE THEIR UNDERGROUND SERVICES: CABLE TV, TELEPHONE, GAS, ELECTRIC, WATER AND SEWER. UTILITIES ARE SHOWN AS MARKED BY THE ABOVE UTILITY COMPANIES.

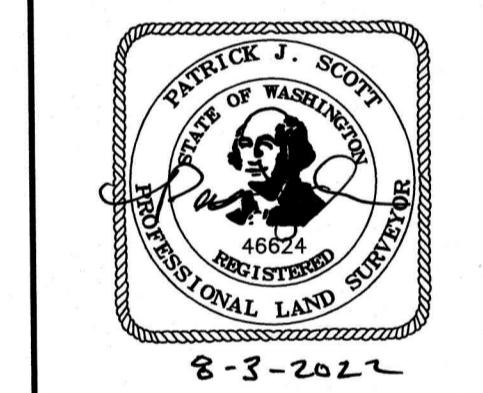
FIELD WORK FOR THIS SURVEY WAS PERFORMED JUNE AND JULY, 2022.

A TITLE REPORT FOR THIS SITE WAS NOT PROVIDED, THEREFORE, NO EASEMENTS HAVE BEEN SHOWN.

SURVEY MONUMENTS - ALL SURVEY MONUMENTS SHOWN HEREON, INCLUDING BENCHMARKS SHALL BE PROTECTED FROM DISTURBANCE OR DESTRUCTION SUBJECT TO WAC 332-120 (SURVEY MONUMENTS - REMOVAL OR DESTRUCTION). IF THE CONSTRUCTION OF NEW FACILITIES CAUSES THE NEED FOR ANY MONUMENT TO BE REMOVED, THE CONTRACTOR, IS ADVISED TO CONTACT THE APPROPRIATE LAND SURVEYOR PRIOR TO CONSTRUCTION FOR PERPETUATION OF THE ORIGINAL POSITION SUBJECT TO WAC 332-120-090.

CLIENT:  
MCA ARCHITECTS PC  
812 SW WASHINGTON STREET  
PORTLAND, OR.  
97205

EXISTING CONDITIONS SURVEY FOR:  
**CENTENNIAL INDUSTRIAL PARK**  
IN THE NW 1/4 OF THE SE 1/4 OF SECTION 14, T.5N., R.1W., CITY OF WOODLAND, COWLITZ COUNTY, WA.  
**OLSON LAND SURVEYORS**  
ENGINEERING INC., 222 E. EVERGREEN BLVD., VANCOUVER, WA 98660  
360-895-1385  
509-289-9936

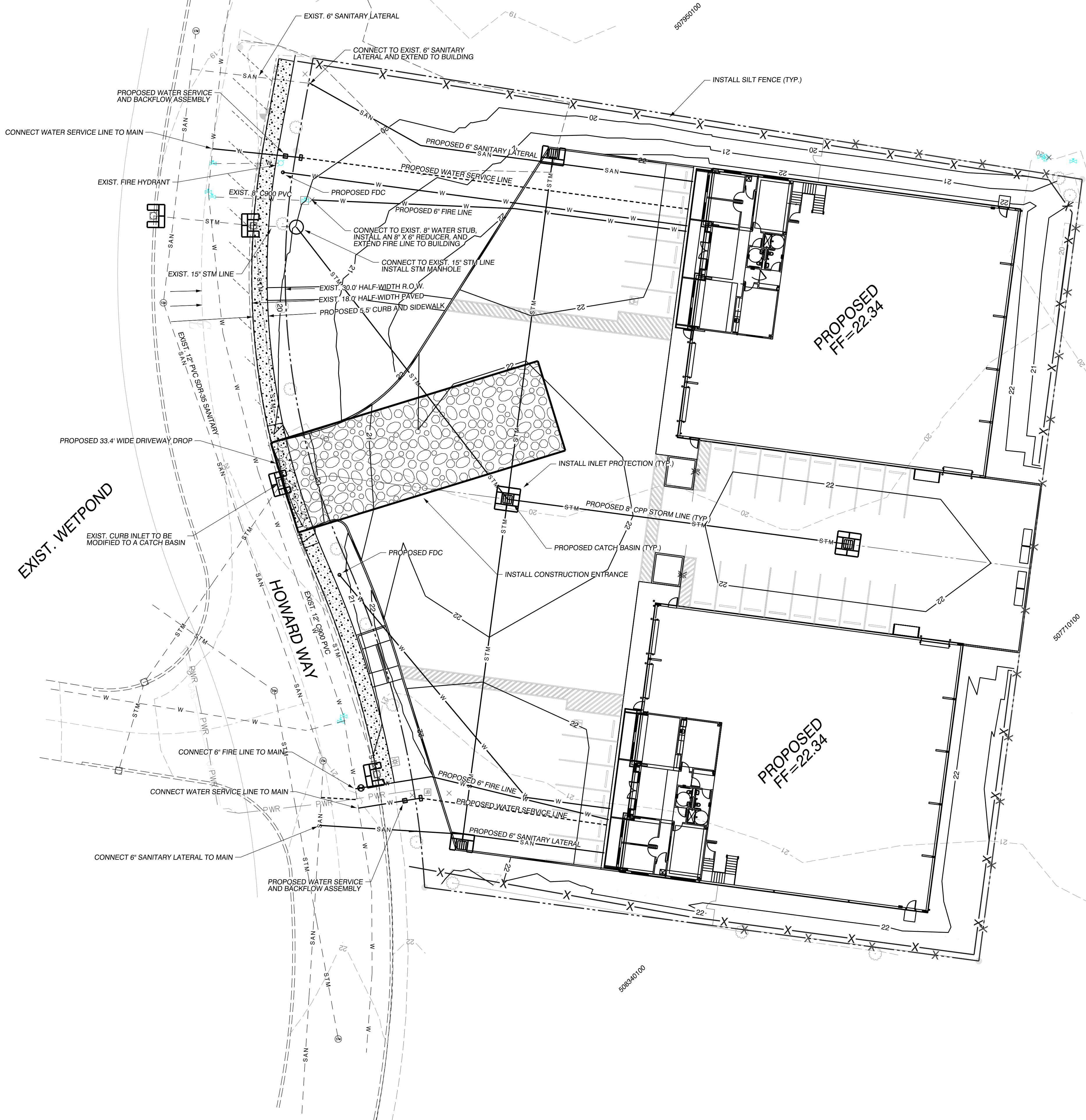
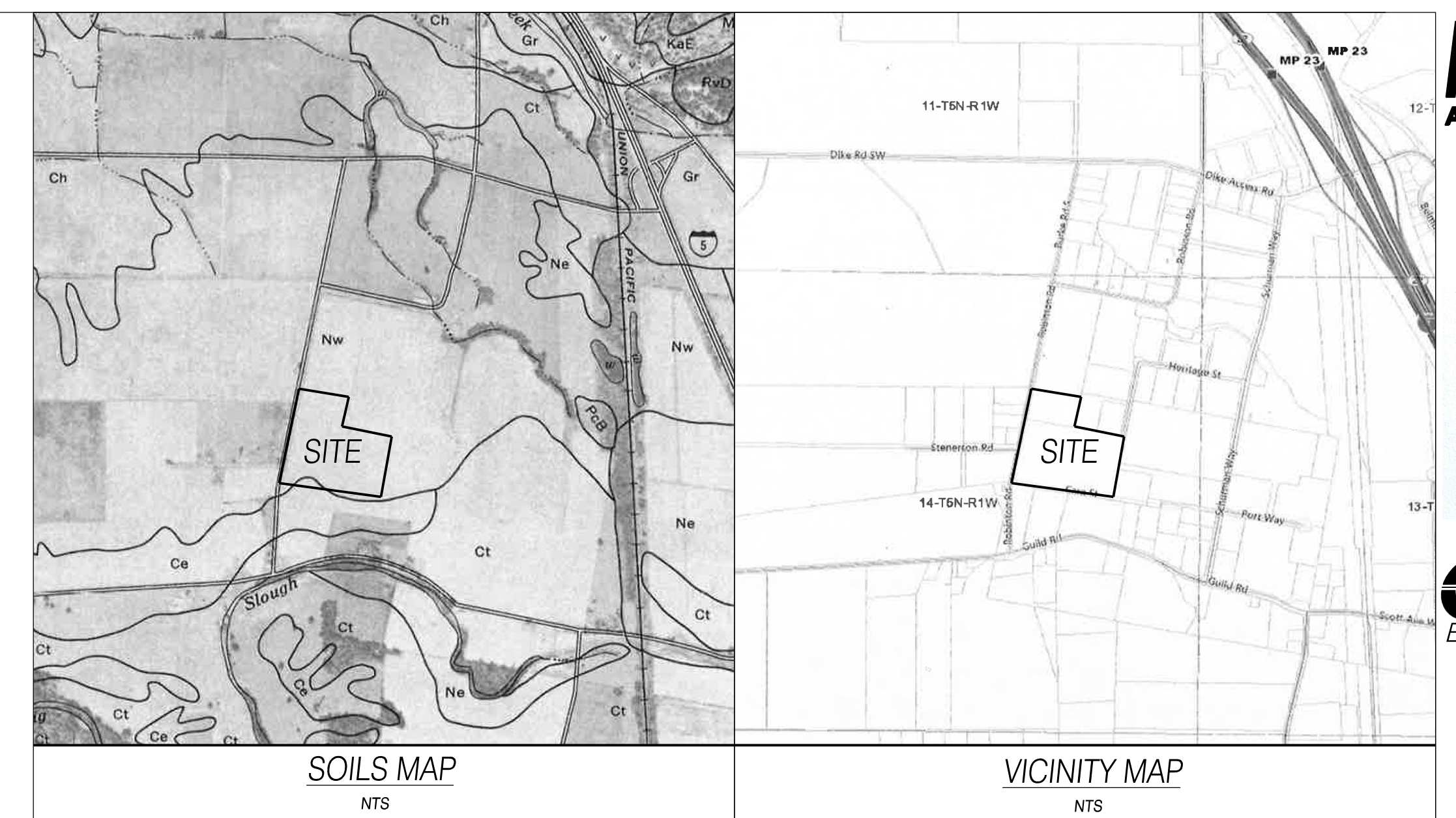
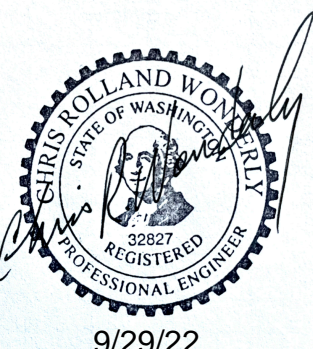


CHANGES / REVISIONS

DESCRIPTION	DATE

DESIGNED:  
DRAWN: J.K.T.  
CHECKED: P.J.S.  
DATE: JULY, 2022

SCALE: 1" = 30'  
COPYRIGHT 2022, OLSON ENGINEERING, INC.  
SHEET SIZE: 24x36  
JOB NO. A10421.01.01  
**SHEET**  
1 of 1



**NOTES:**

- WATER:**
- 1) A 12" C900 PVC WATER MAIN EXISTS IN HOWARD WAY ALONG THE ENTIRE SITE FRONTAGE. AN 8" C900 PVC WATER MAIN IS STUBBED TO THE SITE AND A FIRE HYDRANT EXISTS CLOSE TO THE NORTH PROPERTY BOUNDARY.
  - 2) DOMESTIC AND FIRE PROTECTION SERVICES WILL BE PROVIDED TO THE PROPOSED BUILDINGS AS SHOWN ON THIS PLAN.
  - 3) WATER SERVICE WILL BE PROVIDED BY CITY OF WOODLAND. ALL NECESSARY WATER EASEMENTS WILL BE DEDICATED TO CITY OF WOODLAND.
- SANITARY:**
- 1) A 12" PVC SDR-35 SANITARY MAIN EXISTS IN HOWARD WAY ALONG THE ENTIRE SITE FRONTAGE. A 6" SANITARY LATERAL IS STUBBED TO THE SITE AT THE NORTH PROPERTY BOUNDARY.
  - 2) AN ADDITIONAL 6" SANITARY LATERAL WILL BE EXTENDED TO THE SITE FROM THE EXISTING 12" MAIN. THE EXISTING SANITARY LATERAL AND THIS NEW LATERAL WILL BE EXTENDED TO THE PROPOSED BUILDINGS AS SHOWN ON THIS PLAN.
  - 3) SANITARY SEWER SERVICE WILL BE PROVIDED BY CITY OF WOODLAND. ALL NECESSARY SANITARY SEWER EASEMENTS WILL BE DEDICATED TO CITY OF WOODLAND.
- STORM:**
- 1) THE SITE IS PART OF THE CENTENNIAL INDUSTRIAL DEVELOPMENT WHICH HAS TWO (2) ON-SITE STORMWATER FACILITIES TO PROVIDE QUALITY AND QUANTITY CONTROL FOR STORMWATER RUNOFF FROM THE INTERNAL ROADWAYS AND DEVELOPMENT PADS. A 15" DUCTILE IRON STORM LINE IS STUBBED TO THE SITE NEAR THE NORTH PROPERTY LINE. THE 15" STORM LINE WAS DESIGNED TO CONVEY STORMWATER RUNOFF FROM THIS SITE TO THE EXISTING WETPOND LOCATED IMMEDIATELY WEST OF THIS SITE ON THE WEST SIDE OF HOWARD WAY.
  - 2) STORMWATER RUNOFF FROM THE PROPOSED BUILDING ROOFS AND PARKING AREAS WILL BE COLLECTED AND ROUTED TO THE EXISTING 15" STUB AS SHOWN ON THIS PLAN. THE WETPOND WAS DESIGNED ASSUMING THIS SITE HAD 85% IMPERVIOUS SURFACE. THE PROPOSED SITE HAS 73% IMPERVIOUS SURFACE. THEREFORE, NO ADDITIONAL QUALITY OR QUANTITY CONTROL IS REQUIRED FOR THIS SITE.
  - 3) A STORMWATER ACCESS AND INSPECTION EASEMENT WILL BE DEDICATED TO THE CITY OF WOODLAND AS REQUIRED.

**NOTES:**

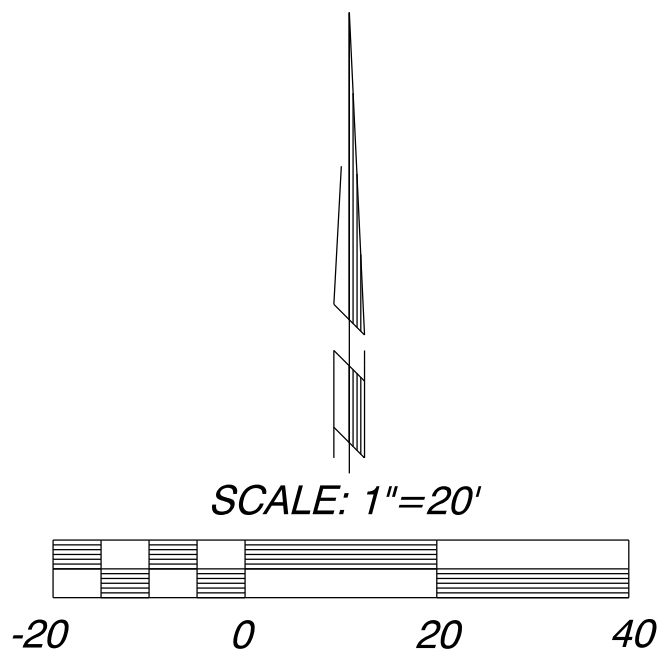
- STREET:**
- 1) HOWARD WAY IS CLASSIFIED AS A COMMERCIAL/INDUSTRIAL COLLECTOR BY THE CITY OF WOODLAND. THIS ROADWAY IS REQUIRED TO HAVE 30.0 FOOT HALF-WIDTH RIGHT-OF-WAY, 18.0 FOOT HALF-WIDTH PAVED SECTION, 5.5 FOOT CURB AND SIDEWALK SECTION, AND 6.5 FOOT CLEAR SPACE BEHIND THE SIDEWALK. HOWARD WAY WAS PARTIALLY IMPROVED WITH THE CENTENNIAL INDUSTRIAL DEVELOPMENT INFRASTRUCTURE TO INCLUDE THE REQUIRED 30.0 FOOT HALF-WIDTH RIGHT-OF-WAY, 18.0 FOOT HALF-WIDTH PAVED SECTION, CURB, AND ASSOCIATED STORMWATER COLLECTION/CONVEYANCE SYSTEM.
  - 2) FRONTAGE IMPROVEMENTS FOR THIS DEVELOPMENT WILL INCLUDE INSTALLING THE 5.0 FOOT WIDE SIDEWALK AND A DRIVEWAY DROP TO ACCESS THE SITE. REFER TO THE PLAN FOR THE PROPOSED IMPROVEMENTS.
- GRADING:**
- 1) THE SITE WILL BE GRADED TO ALLOW STORMWATER RUNOFF FROM THE PROPOSED PARKING AREA AND BUILDING ROOFS TO BE CONVEYED TO THE EXISTING 15" STORM LINE STUBBED TO THE SITE.
- EROSION CONTROL:**
- 1) EROSION CONTROL MEASURES SHALL BE IN WORKING CONDITION PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY ON-SITE. EROSION CONTROL MEASURES AND INSTALLATION WILL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND PRACTICES OF THE CITY OF WOODLAND AND WILL BE DESIGNED DURING FINAL DESIGN.

**LEGEND**

---	PERIMETER OF SITE	○	MANHOLE
---	RIGHT-OF-WAY LINE	⊗	WATER VALVE AND BOX
---	CENTERLINE OF ROAD	⊕	FIRE HYDRANT ASSEMBLY
---	FACE OF CURB	□	SANITARY CLEAN OUT
---	LOT LINE	▭	CATCH BASIN
---	EASEMENT LINE	△	THRUST BLOCK
---	STM	⊞	WATER SERVICE METER
---	STM	⊞	TELEPHONE RISER
---	SAN	⊞	GAS RISER
---	SAN	⊞	ELECTRIC RISER
---	W	⊞	UTILITY POLE
---	W	⊞	UTILITY POLE W/ LIGHT
---	123	⊞	SIGN POST
---	123	---	

**EROSION CONTROL LEGEND**

---	19	EXISTING CONTOUR
---	19	PROPOSED CONTOUR
X		SILT FENCE
⊞		INLET PROTECTION
⊞		CONSTRUCTION ENTRANCE

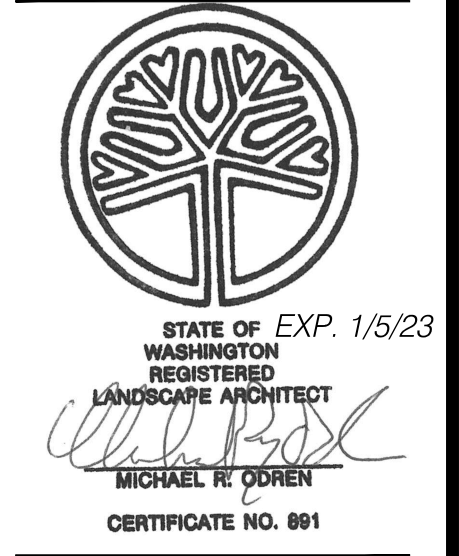


**C & G PROPERTIES**  
**NEW WAREHOUSES**  
**CENTENNIAL INDUSTRIAL PARK**  
**WOODLAND, WASHINGTON**

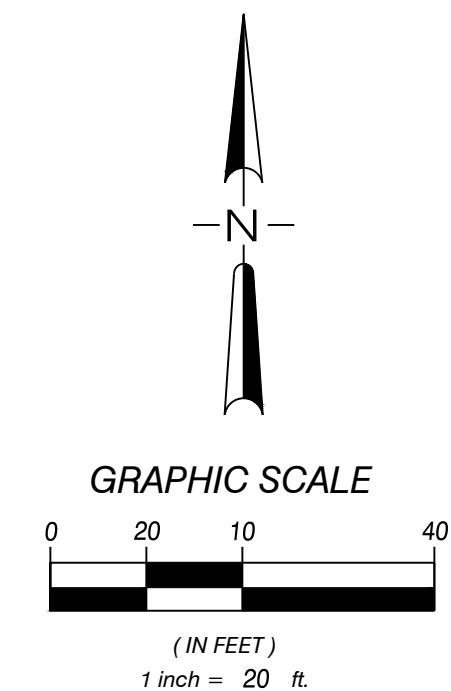
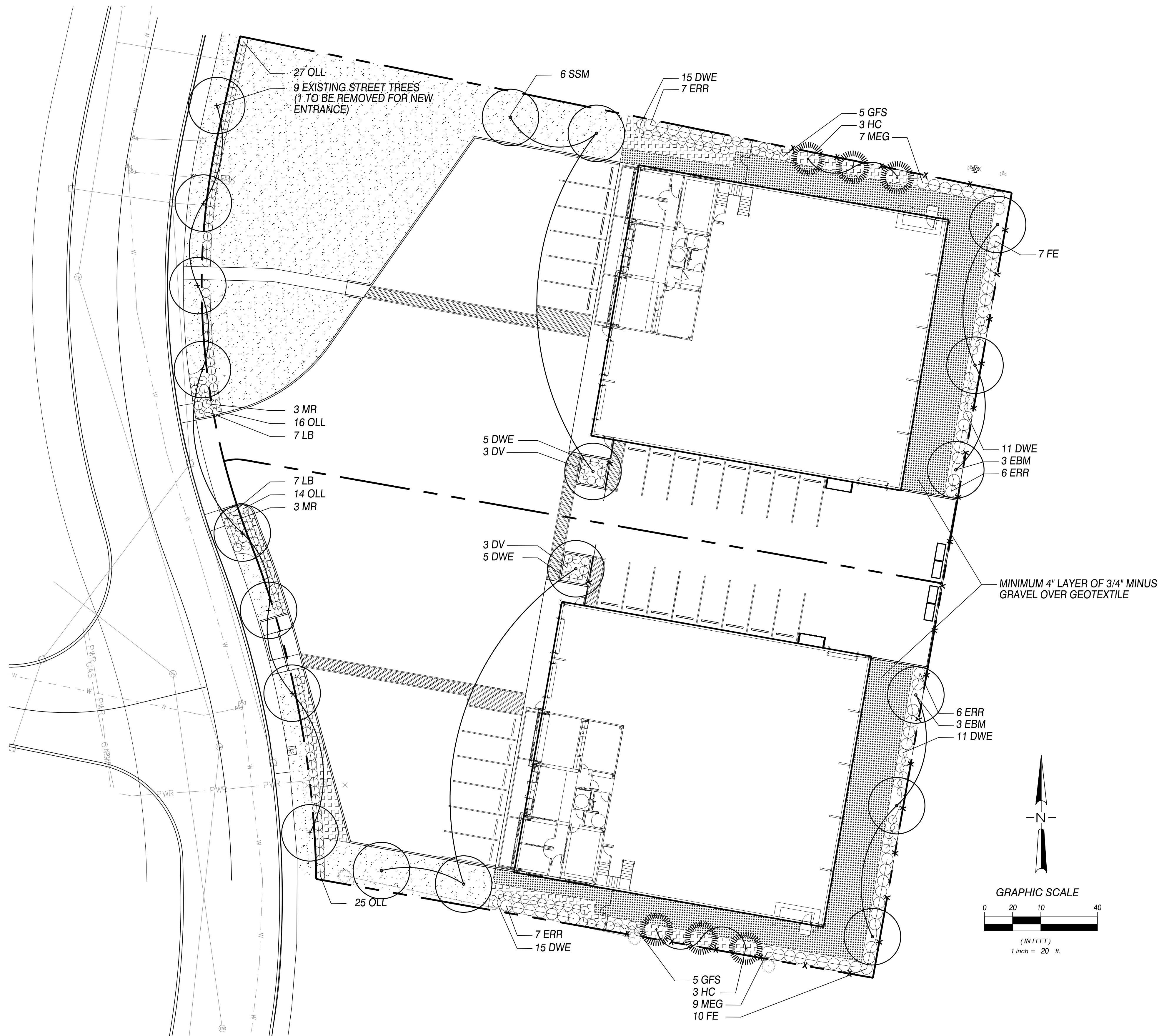
REV. NO.: DATE: DESCRIPTION:

PRELIMINARY DEVELOPMENT PLAN

PROJECT NO: 22-106  
 DRWN BY: CRW CHKD BY: CRW  
 DATE: 7/15/2022



**C & G HOLDINGS**  
**NEW WAREHOUSES**  
CENTENNIAL INDUSTRIAL PARK  
WOODLAND, WASHINGTON



**LANDSCAPE LEGEND**

SYMBOL	COMMON NAME	SIZE/COND.	SPACING
<b>TREES</b>			
EBM	Edith Bogue Magnolia Magnolia grandiflora 'Edith Bogue'	2' CAL.	AS SHOWN
HC	Hogan Cedar Thuja plicata 'Hogan'	6 HEIGHT	15' O.C.
SSM	Scarlet Sentinel Maple Acer rubrum 'Scarsen'	2' CAL.	AS SHOWN
<b>SHRUBS</b>			
DV	David Viburnum Viburnum davidii	3 GAL.	3' O.C.
DWE	Dwarf Winged Euonymus Euonymus alata 'Compacta'	5 GAL.	3' O.C.
ERR	English Roseum Rhododendron Rhododendron 'English Roseum'	5 GAL.	4' O.C.
FE	Frades Escallonia Escallonia x exoniensis 'Frades'	5 GAL.	4' O.C.
GFS	Goldflame Spirea Spirea x bumalda 'Goldflame'	3 GAL.	3' O.C.
LB	Lydia Broom Genista lydia	1 GAL.	3' O.C.
MEG	Maiden Eulalia Grass Miscanthus sinensis 'Gracillimus'	1 GAL.	4' O.C.
MR	Meidiland Rose Rosa x Meidiland 'Scarlet'	2 GAL.	3' O.C.
OLL	Otto Luyken Laurel Prunus laurocerasus 'Otto Luyken'	24" 30"	3' O.C.

<b>GROUND COVER</b>		
(Stippled pattern)	Lawn - Seeded/Sod/Hydroseeded Oregon Ryegrass Blend or approved substitute	
(Grid pattern)	Emerald Carpet Rubus Rubus callycinoides 'Emerald Carpet'	1 GAL. 24" O.C.

**NOTES**

- Installation shall fully comply with all landscape code requirements and any City of Woodland conditions of approval.
- Irrigation shall be provided by a fully automatic underground system design/build by the landscape contractor.
- All landscaping shall be installed in a sound workman-like manner, and according to accepted good planting procedures with quality plant materials.
- The owner, or his agent, shall be responsible for the maintenance of all landscaping which shall be maintained in good condition so as to present a healthy, neat, and orderly appearance, and shall be kept free from refuse and debris.
- All existing vegetation shall be removed from areas to receive construction activities.
- Plants shall be spaced as indicated above unless otherwise shown on the plan. If a discrepancy exists, the plan shall prevail.
- Contractor shall verify species and quantities of all plant material prior to bid.
- Install jute erosion control fabric on all slopes 2:1/2:1 and greater. Refer to Civil Engineering plans.
- Install root control barrier on all trees located within 9' of any paved/concrete surface, curb or wall, 18"-inches deep, .08-inches or 2 mm thick, 10 feet long. Center barrier on trunk of tree. Install adjacent to back of sidewalk, pavement, curb and/or wall as per manufacturer's recommendations and specifications.
- Prior to installation of topsoil in tree, shrub, groundcover and lawn planting areas as indicated on the Landscape Plan, cross-rip at 18 inches on center or rototill subgrade to an 8-inch to 12-inch depth.
- Install minimum 12-inch depth on-site and/or imported topsoil in all tree, shrub and groundcover planting areas, 6 inches in lawn areas, as indicated on the Landscape Plan. Amend planting area topsoil with 2-inch minimum layer composted yard debris prior to installation of plant material. Imported planting area topsoil shall be a sandy loam topsoil with a combined silt and clay content less than 20% and medium to very fine sand 60%-70% which shall be percentages by weight of those particles passing a 2mm screen. The remaining percentages shall be particles larger than medium to very fine sand (coarse or very coarse sand or gravel sized particles). All particles shall pass a 1/2-inch screen. All topsoil shall be free from subsoil, debris, turf, mushrooms, weeds or any other objectionable material. If subgrade is comprised of rock, rock fill or cement treated soil, remove subsoil from site and deposit topsoil to the following depths: 24-inch minimum depth in all planting areas, 36-inch minimum depth at all tree locations in a 5 foot diameter. Allow no cross contamination of cement treated soil with placed topsoil.
- On-site topsoil shall be defined as being a friable loam surface soil found at a depth, in its natural state, of less than 18 inches. Topsoil shall be free from subsoil, clay lumps larger than 2 inches, debris, turf, weeds, roots, contaminants or other objectionable material. Topsoil on-site meeting these specifications may be used in landscape areas as indicated on the Landscape Plan. Coordinate stockpiling of existing on-site topsoil stripplings for reuse in landscape areas with Project Representative.
- Install minimum 2-inches bark mulch in all new landscape areas within 2 days of planting.
- Install 6" wide bark mulch strip where lawn areas abut buildings, fences, walls, utility appurtenances, etc.

**AREA & PERCENTAGE TABULATION (17.46.124)**

Entire Site	~ 71,549 sf / 100%
Total Landscaping Areas:	~ 13,130 sf / 18%
Areas Covered by Groundcover:	~ 10,380 sf / 15%
Areas Covered Non-Plant Materials (3/4"-Gravel):	~ 5,100 sf / .07%
Areas Covered by Tree Canopy & Shrubs:	~ 5,005 sf / .07%
Each Required Setback Area:	
Front Setback (25' Required)	66' Provided
North Sideyard Setback (10' Required)	13'+ Provided
South Sideyard Setback (10' Required)	14'+ Provided
Rear Setback (10' Required)	20'+ Provided
Total Parking Area (Includes drive aisles, turn around):	~ 28,855 sf / 40%
Parking Area Landscaping:	~ 10,545 sf / 37%
Other Landscaping Areas (Right of Way):	~ 1,025 sf / 0%

TYPE II SITE PLAN REVIEW PACKAGE 10/7/2022

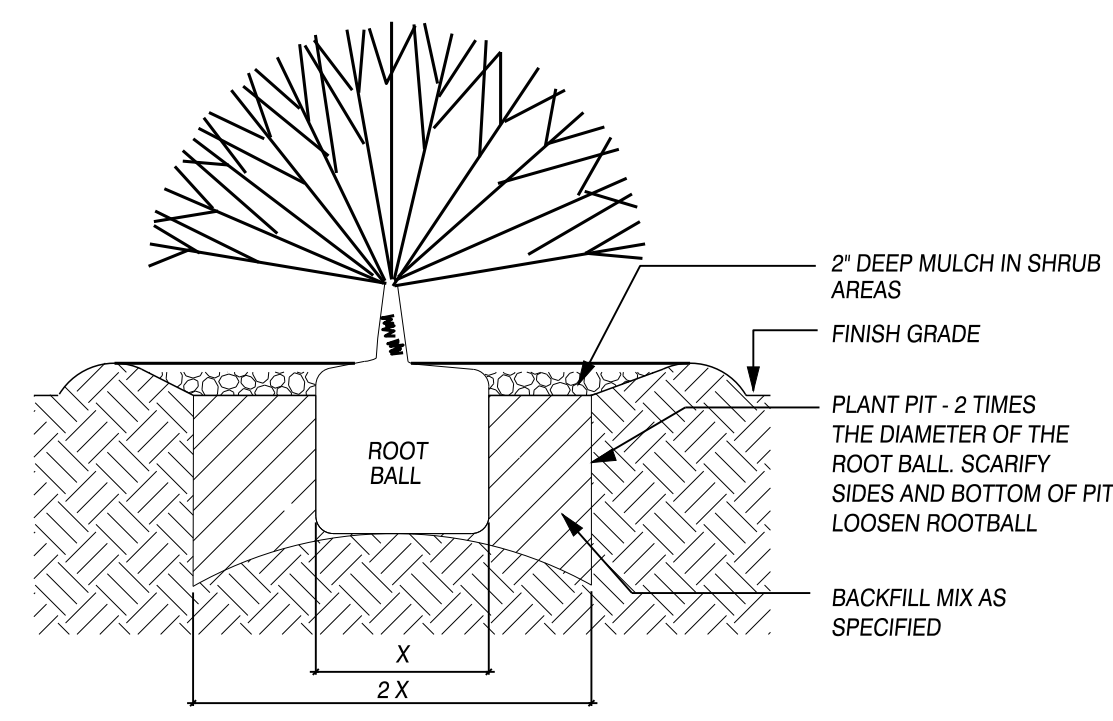
**PRELIMINARY -  
NOT FOR CONSTRUCTION**

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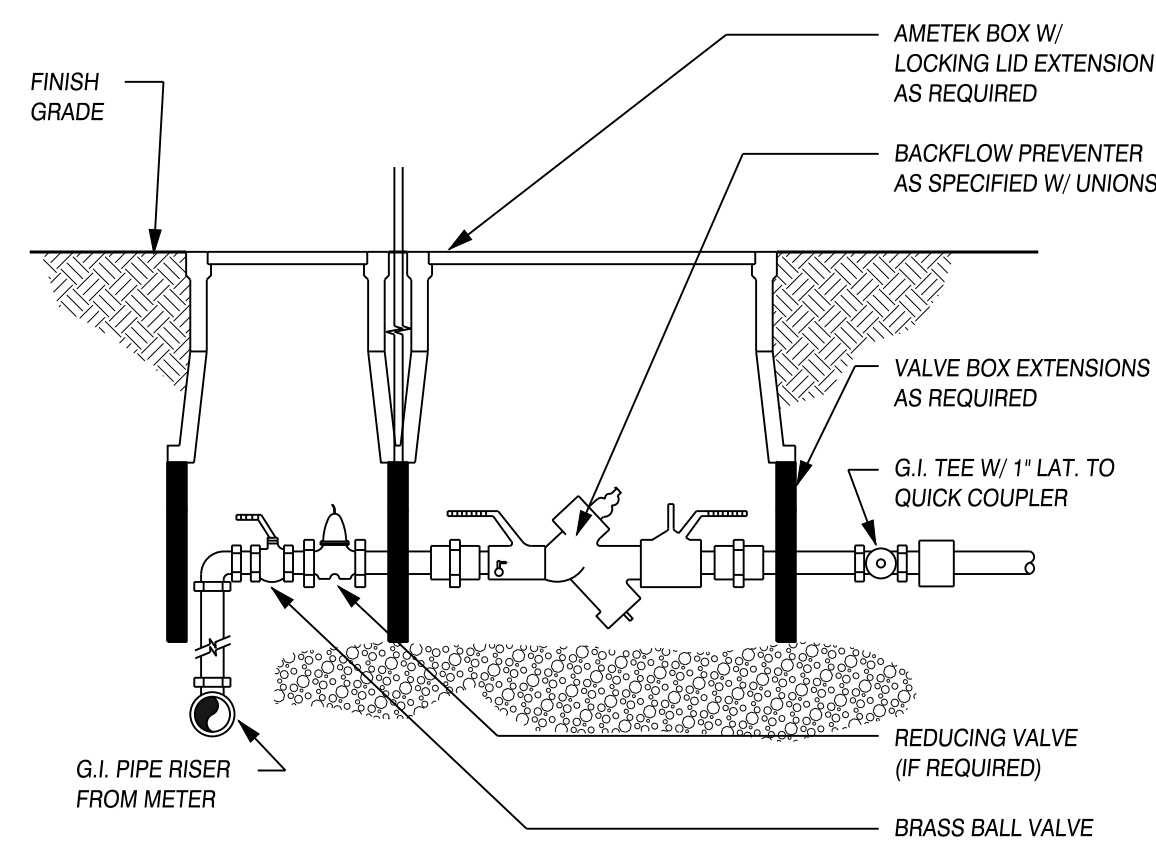
REV. #:	DATE:	DESCRIPTION:

PRELIMINARY LANDSCAPE PLAN

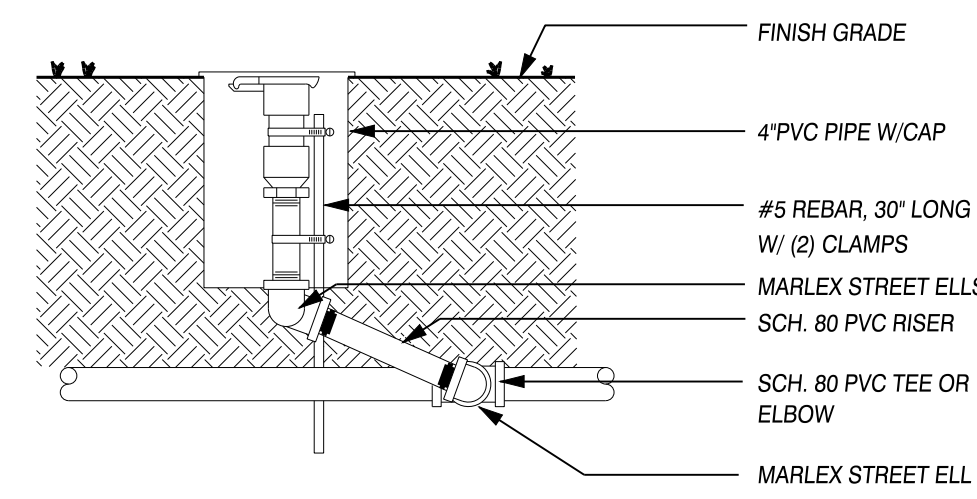
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DRWN BY: JC CHK'D BY: MO  
DATE: 10/07/2022



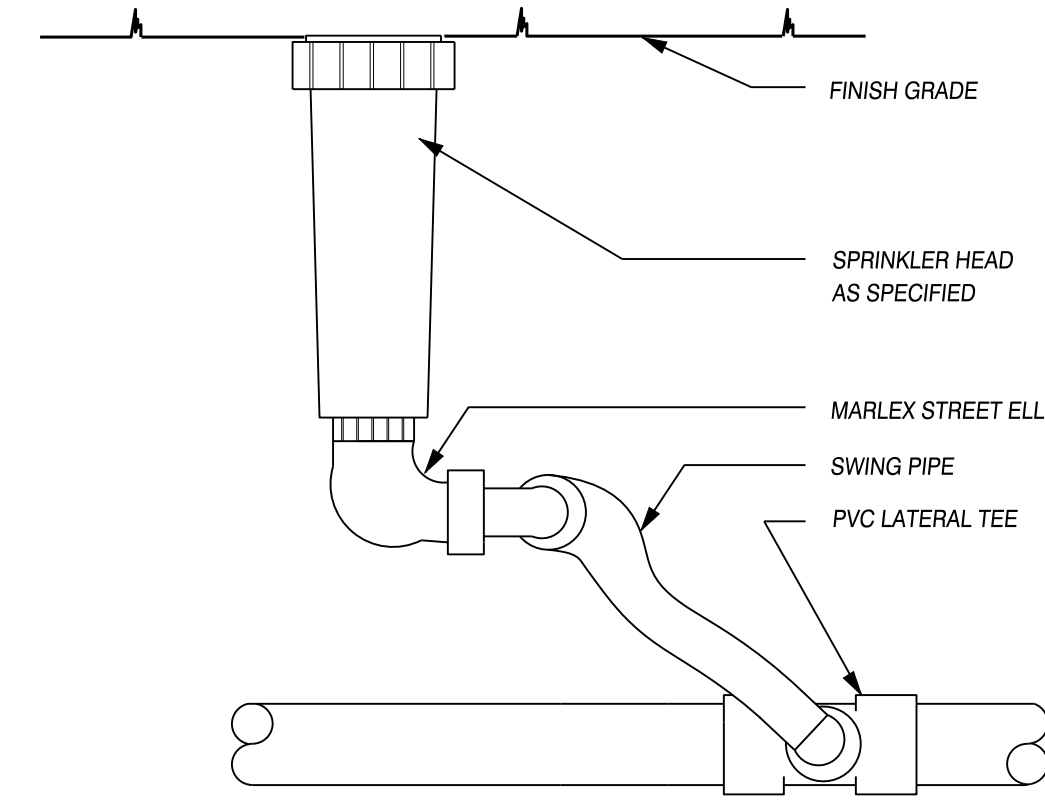
**1** SHRUB/GROUNDCOVER PLANTING  
SCALE: NTS



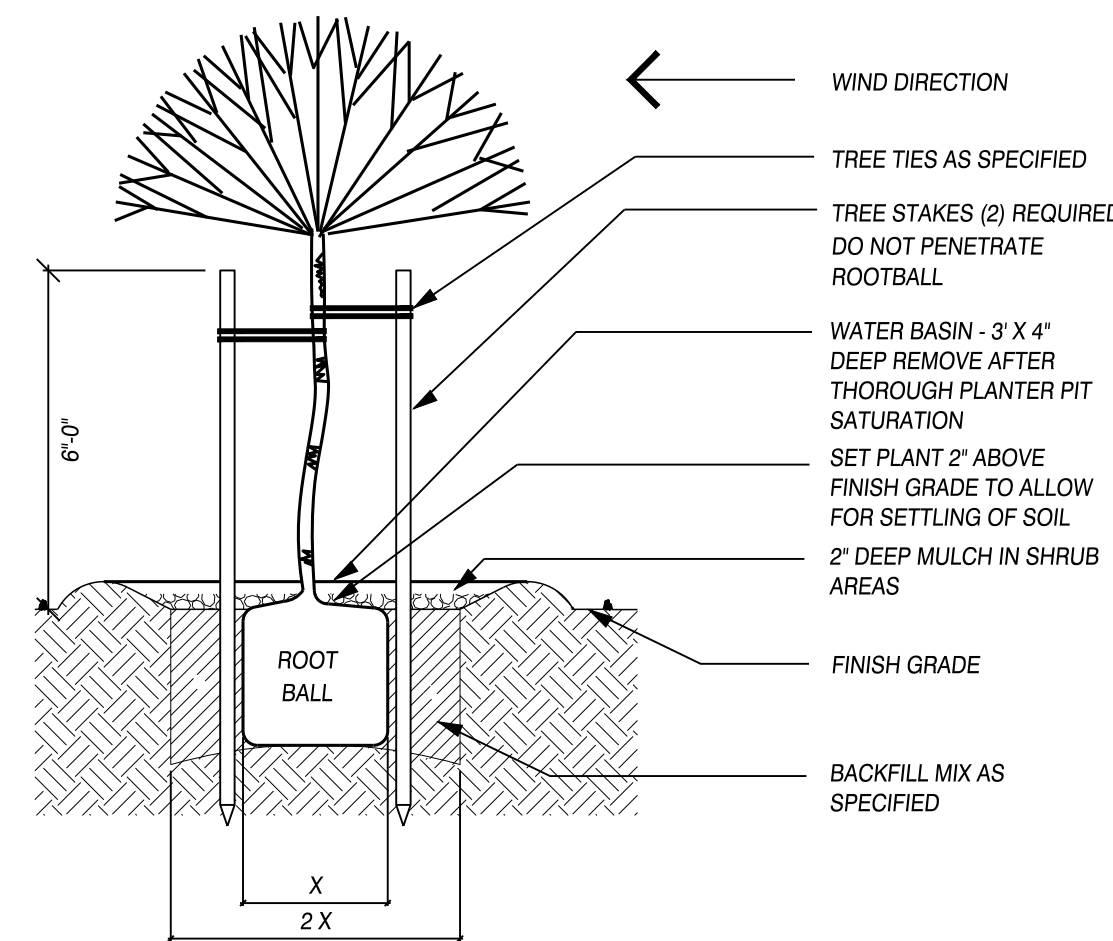
**4** BACKFLOW PREVENTION DEVICE  
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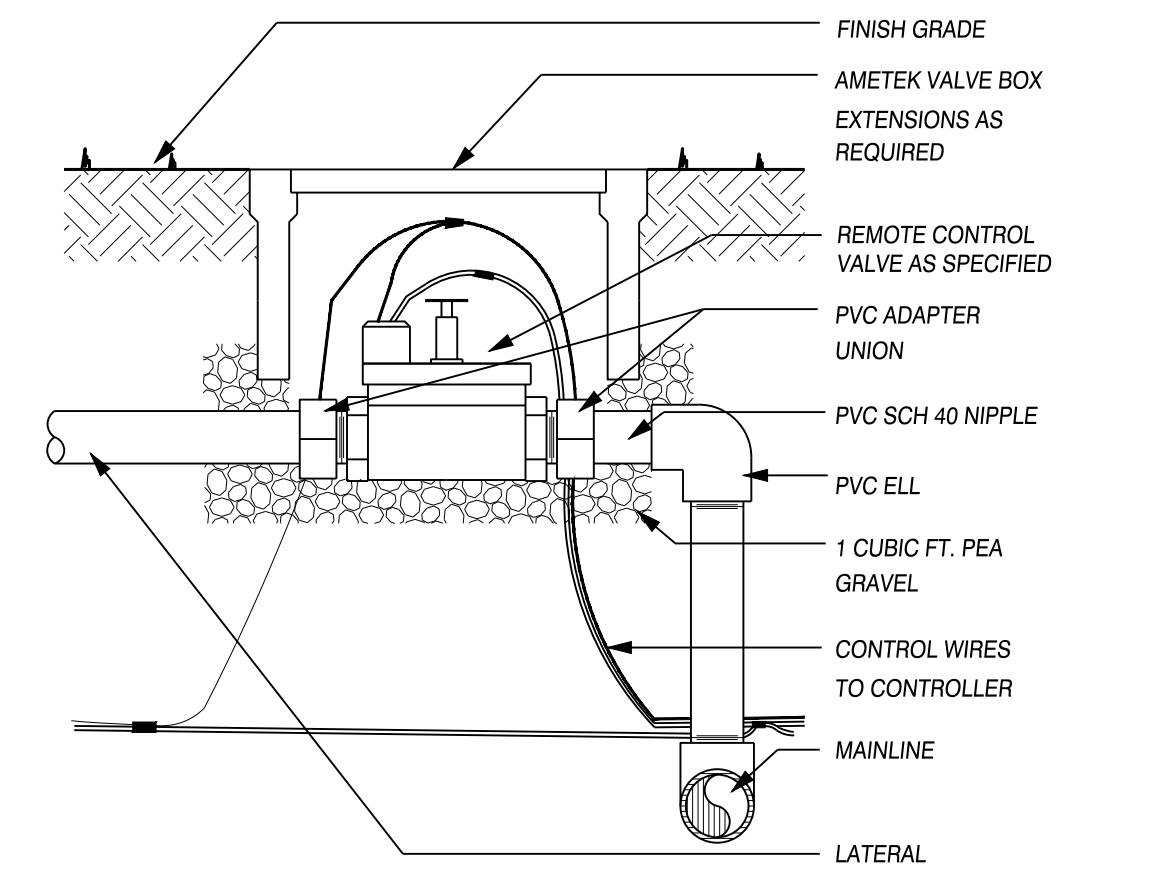
**7** QUICK COUPLER  
SCALE: NTS



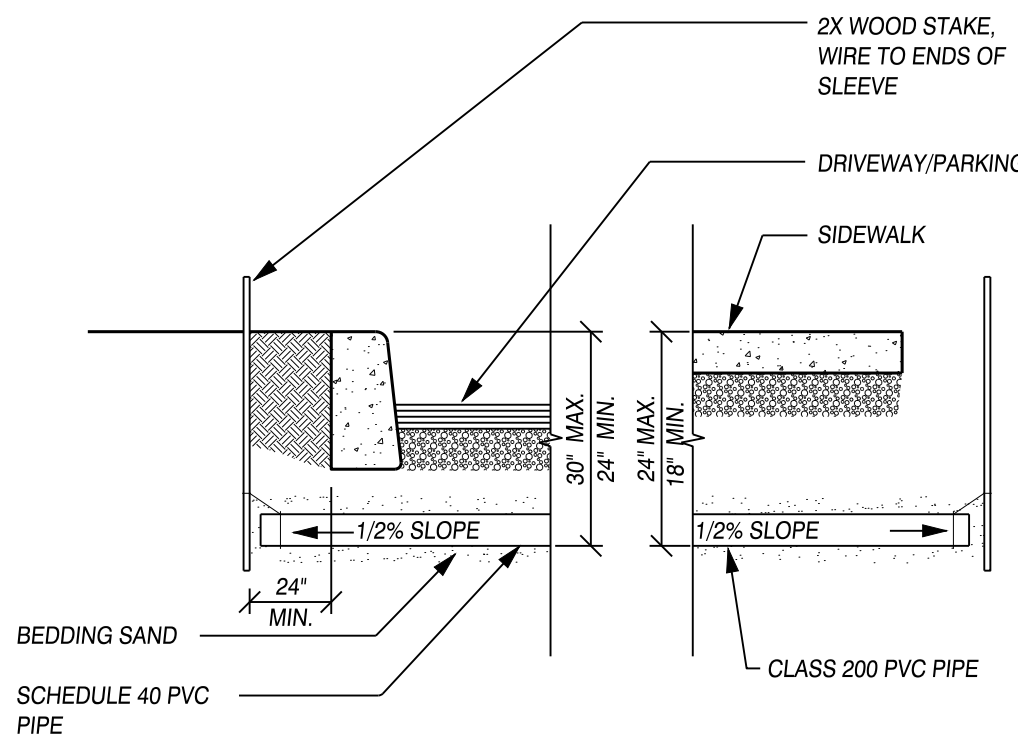
**10** POP-UP SPRINKLER  
SCALE: NTS



**2** DECIDUOUS/CONIFER TREE PLANTING  
SCALE: NTS



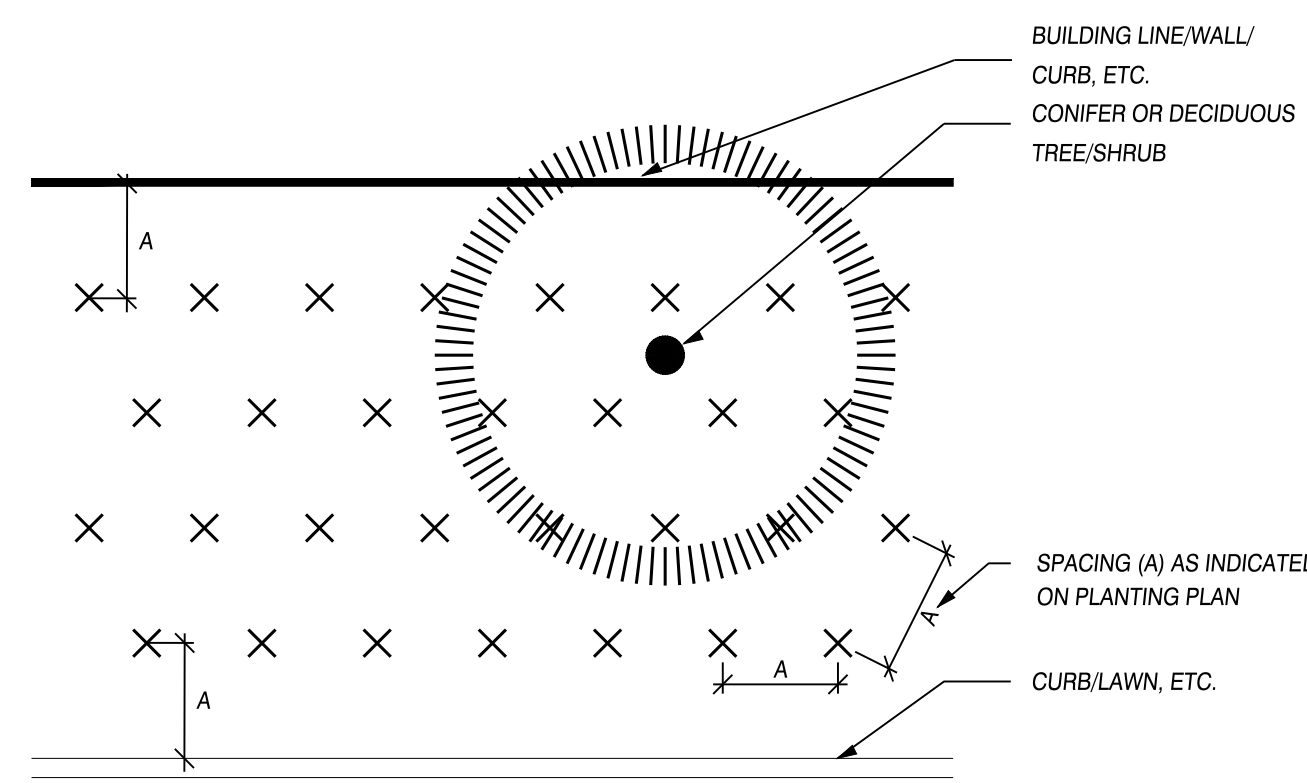
**5** ELECTRIC VALVE ASSEMBLY  
SCALE: NTS



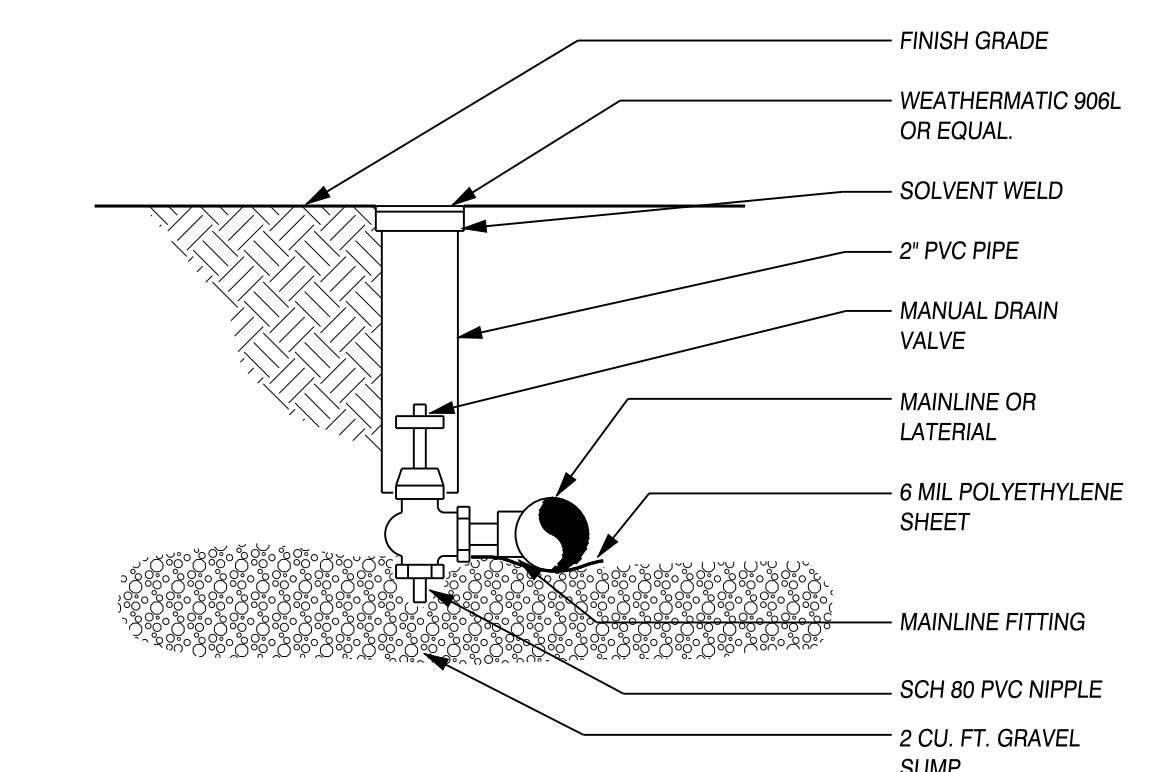
**8** SLEEVE  
SCALE: NTS

GALLON PER MINUTE		PIPE SIZE & CLASS	
0 - 10	GALLONS	3/4"	CLASS 200
11 - 15	GALLONS	1"	CLASS 200
16 - 25	GALLONS	1 1/4"	CLASS 200
26 - 40	GALLONS	1 1/2"	CLASS 200
41 - 55	GALLONS	2"	CLASS 200
56 - 85	GALLONS	2 1/2"	CLASS 200
86 - 125	GALLONS	3"	CLASS 200

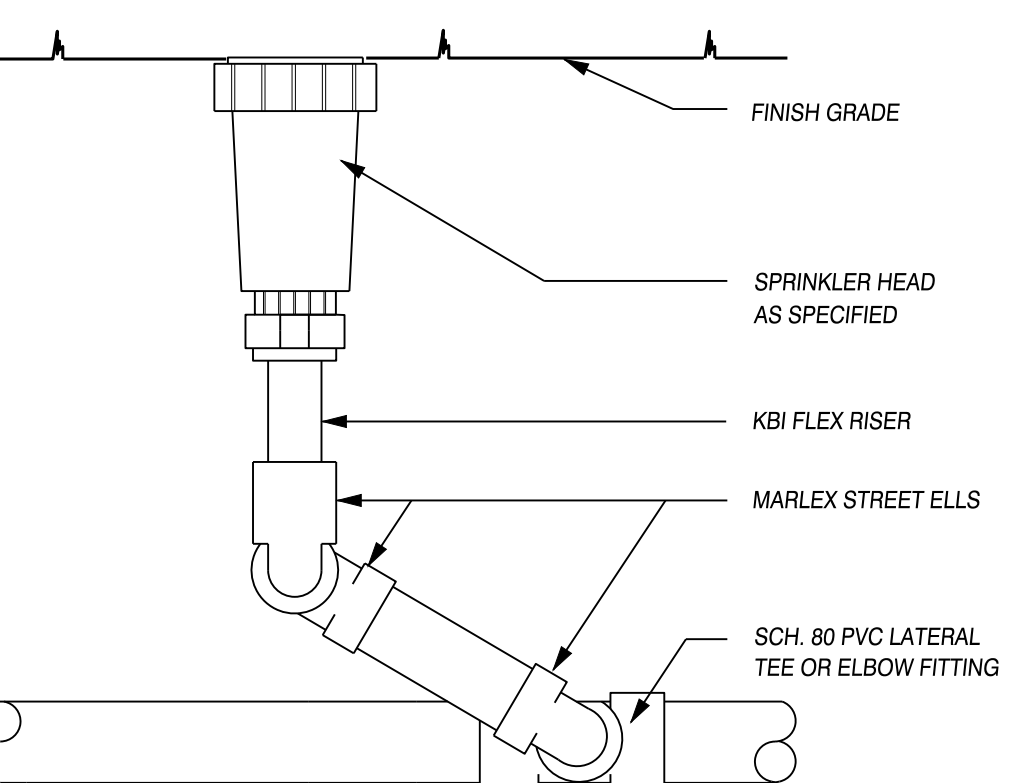
**11** PIPE SIZE SCHEDULE - LATERAL LINES  
SCALE: NTS



**3** GROUNDCOVER PLANTING  
SCALE: NTS



**6** MANUAL DRAIN VALVE  
SCALE: NTS



**9** GEAR DRIVEN SPRINKLER  
SCALE: NTS

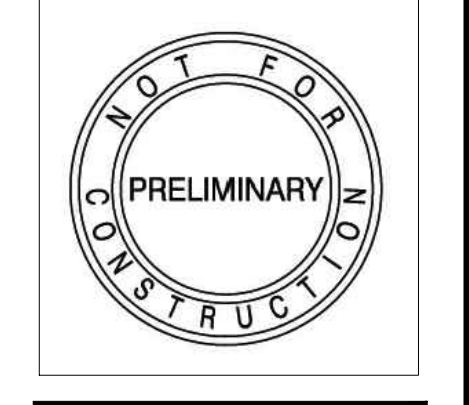
GALLON PER MINUTE		PIPE SIZE & CLASS	
0 - 8	GALLONS	3/4"	SCH. 40
9 - 13	GALLONS	1"	SCH. 40
14 - 20	GALLONS	1 1/4"	SCH. 40
21 - 30	GALLONS	1 1/2"	SCH. 40
31 - 50	GALLONS	2"	SCH. 40
51 - 70	GALLONS	2 1/2"	SCH. 40
71 - 110	GALLONS	3"	SCH. 40

**12** PIPE SIZE SCHEDULE - SUPPLY LINES  
SCALE: NTS

PRELIMINARY -  
NOT FOR CONSTRUCTION

REV # DATE DESCRIPTION

LANDSCAPE AND IRRIGATION DETAILS



**C & G PROPERTIES**  
**NEW WAREHOUSES**  
CENTENNIAL INDUSTRIAL PARK  
WOODLAND, WASHINGTON

**GENERAL NOTES**

- SEE CIVIL DRAWINGS FOR ADDITIONAL INFO.
- SEE LANDSCAPE DRAWINGS FOR PLANTINGS & OTHER INFO.

**KEYNOTES**

- CONCRETE APRON
- TRUCK RATED ASPHALT PAVING
- CONCRETE APPROACH
- GRAVEL YARD
- LINE OF CANOPY ROOF ABOVE
- 420' PALLET STORAGE RACK PER SPECS
- DUMPSITE BY OTHERS; (4) 4 YARD UNITS
- CONCRETE CURB
- 8 FT HIGH CHAIN LINK SECURITY FENCE PER SPECS
- SECURITY EXIT GATE
- 8 FT HIGH MOTORIZED VEHICULAR GATE PER SPECS
- LANDSCAPED AREA - SEE LANDSCAPE PLAN XXX AND SPECIFICATIONS
- LOADING AREA
- 5' CONCRETE SIDEWALK
- STRIPED PEDESTRIAN ACCESS AISLE
- 11' x 10' LANDSCAPE ISLAND WITH TREE AND CURB ALL SIDES
- PARKING LOT TREES
- 4'-6" CONCRETE SIDEWALK FOR SITE ACCESS
- CONDENSER UNIT - SEE MECHANICAL
- PUD HIGH VOLTAGE JUNCTION BODY - SEE ELECTRICAL
- ELECTRICAL METER AND MAIN PANELBOARD - SEE ELECTRICAL
- PUD SERVICE TRANSFORMER - SEE ELECTRICAL
- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING CURB INLET
- NEW SIDEWALK PER CITY STANDARDS
- NEW DRIVEWAY PER CITY STANDARDS
- TYP. WALL PACK AREA LIGHT AR 22' A.F.F. - SEE ELECTRICAL
- TYP. EGRESS LIGHT AT 9' A.F.F. - SEE ELECTRICAL

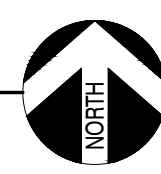
**BUILDING/SITE INFORMATION LEGEND**

ZONING: LI - LIGHT INDUSTRIAL  
PARCEL #506340101

SITE/BUILDING INFORMATION:	
BUILDING HEIGHT:	28'-8"
TOTAL SITE AREA (1.64 ACRES):	71,438 SF
TOTAL SF OF BUILDINGS:	24,916 SF
% OF TOTAL SITE AREA:	35%
BUILDING FOOTPRINT (x2):	21,582 SF
% OF TOTAL SITE AREA:	30%
TOTAL IMPERVIOUS AREA (w/o BLDGS):	32,890 SF
% OF TOTAL SITE AREA:	46%
TOTAL SF OF PERVIOUS AREA:	16,966 SF
TOTAL SF OF LANDSCAPE AREA:	12,762 SF
TOTAL SF OF GRAVEL AREA:	4,204 SF
% OF TOTAL SITE AREA FOR LANDSCAPE:	24%
TOTAL SF OF DEDICATED PARKING AREA:	29,259 SF
% OF TOTAL SITE AREA:	41%
PROPOSED NUMBER OF PARKING SPACES:	28 SPACES TOTAL
NUMBER OF STANDARD SPACES (x20):	26 SPACES
NUMBER OF HANDICAP SPACES (x20):	2 SPACES
REQUIRED NUMBER OF PARKING SPACES PER BUILDING:	22 SPACES TOTAL
WAREHOUSE: 1:1,250 SF	8 SPACES
OFFICE: 1: 400 SF	3 SPACES
REQUIRED PARKING LOT TREES:	0 TREES
1 TREE PER EVERY 5 PARKING SPACES (SEE LANDSCAPE PLAN)	0 TREES
TOTAL SF OF LOADING AREA:	30,008 SF



**1 SITE PLAN**  
A-100 1/16" = 1'-0"



REV. #.	DATE	DESCRIPTION

**SITE PLAN**

PROJECT NO: 22-106  
DRAWN BY: SNB | CHK'D BY: TG  
DATE: 10/7/2022

REV. #	DATE	DESCRIPTION

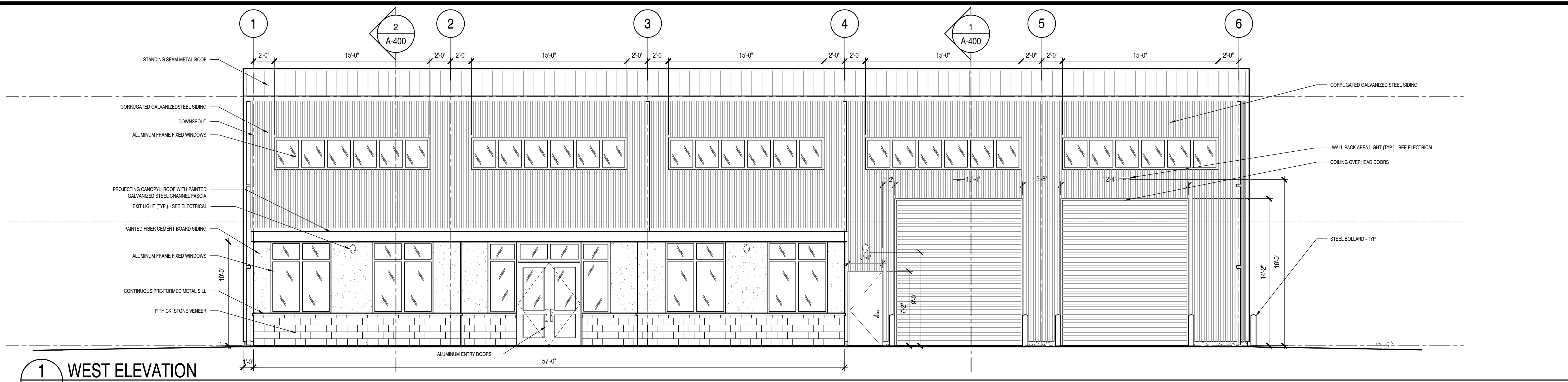
EXTERIOR ELEVATIONS

PROJECT NO: 22-108  
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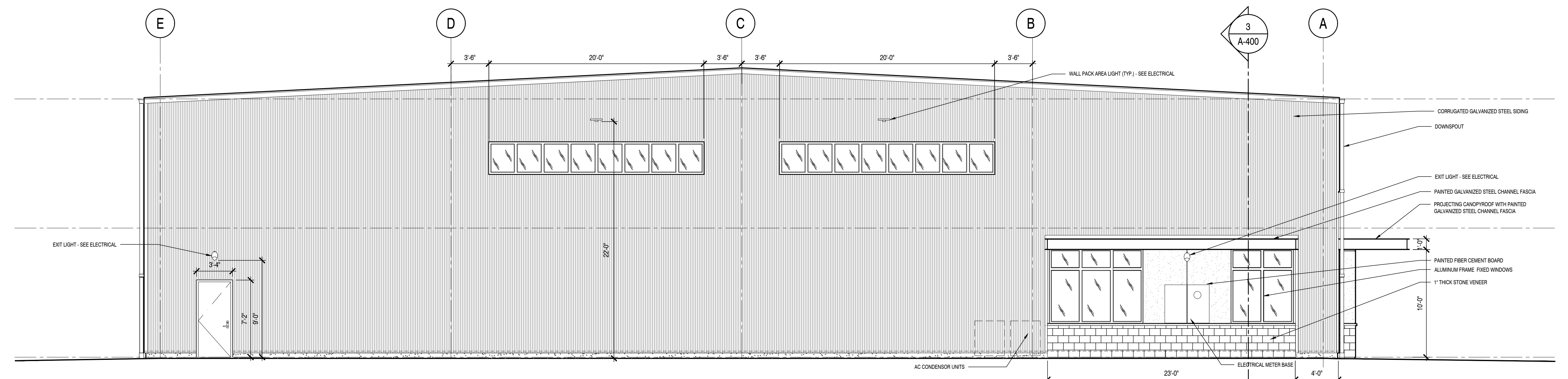
**A-300**

**GENERAL NOTES - EXTERIOR FINISHES**

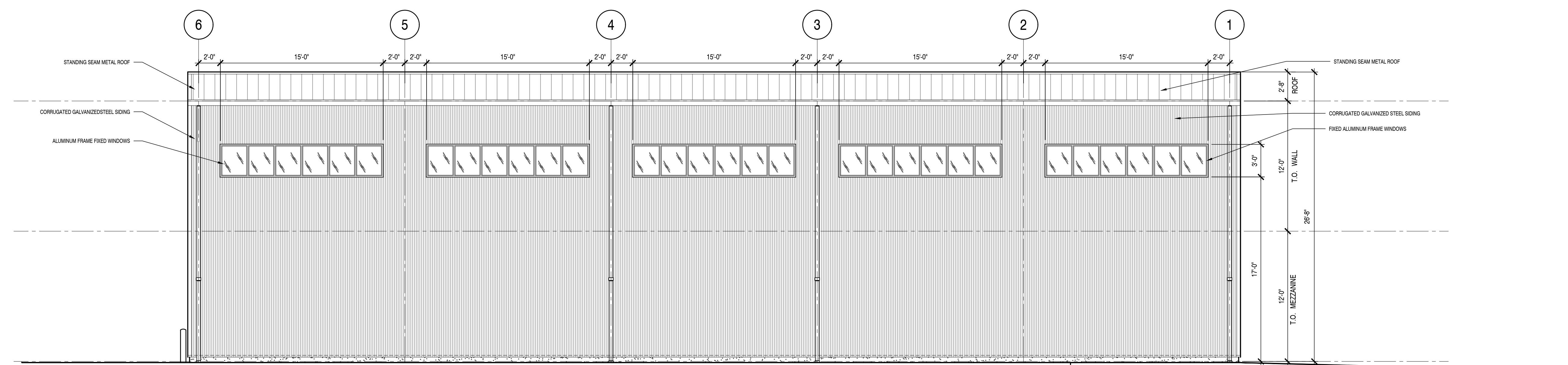
- ROOF: STANDING SEAM METAL ROOF BY METAL BUILDING MANUFACTURER. SEE SECTIONS & DETAILS.
- MISCELLANEOUS METAL FLASHING & TRIM: PRE-FINISHED, PRE-FORMED FASCIA ROOF-EDGE, HEAD, SILL AND Z-METAL FLASHING AND MISCELLANEOUS METAL TRIM, IN SIZES AS INDICATED OR REQUIRED. 24 GAUGE GALVANIZED STEEL WITH MANUFACTURER'S STANDARD BAKED-ON FINISH. AS SPECIFIED. SEE SECTIONS & DETAILS.
- TYPICAL OFFICE WALLS: PANELIZED - 5/16" PRE-PRIMED, FIBER CEMENT BOARD ABOVE 1" FACING STONE, OVER GRADE 1/2" ASPHALT SATURATED BUILDING PAPER WITH 9 W. 40 MIL. SELF-ADHERING SBS MODIFIED WATERPROOF FLASHING WITH POLYETHYLENE FACE SHEET. AT ALL WINDOW AND DOOR OPENINGS. SEE SECTIONS & DETAILS.
- TYPICAL WAREHOUSE WALLS: CORRUGATED GALVANIZED SIDING SELF-ADHERING SBS MODIFIED WATERPROOF FLASHING WITH POLYETHYLENE FACE SHEET. AT ALL WINDOW & DOOR OPENINGS. SEE SECTIONS & DETAILS.
- WINDOWS: ALUMINUM FRAMED UNITS. SIZES AS INDICATED W/ MANUFACTURER'S STANDARD FACTORY FINISH AND HARDWARE. PRE-FLASH ROUGH OPENING WITH 9 W. 40 MIL. SELF-ADHERING SBS MODIFIED WATERPROOF FLASHING WITH POLYETHYLENE FACE SHEET. INSTALL AND ATTACH TO FRAMING PER WINDOW MANUFACTURER'S RECOMMENDATIONS. CASE WITH PREFINISHED ALUMINUM REVEAL TRIM ABOVE CONTINUOUS PRE-FORMED SHEET METAL SILL AS INDICATED. SEE PLANS, SECTIONS AND DETAILS.
- PAINT: SIDING AND TRIM: FINISH PAINT ENTIRE BUILDING EXTERIOR, INCLUDING SIDING AND TRIM. EXCLUDING PRE-FINISHED MATERIALS OR ASSEMBLIES EXCEPT AS OTHERWISE NOTED. WITH TWO COATS OF ACRYLIC LATEX PAINT AS SPECIFIED. PRIME PAINT ANY SURFACES NOT PRE-PRIMED AND APPLY FINISH PAINT PER PAINT MANUFACTURER'S RECOMMENDATIONS. SEE SPECIFICATIONS. VERIFY COLOR SELECTION WITH ARCHITECT.
- SEE SHEET A-601 SCHEDULES FOR DOOR AND WINDOW DETAIL NOTATIONS
- SEE ELECTRICAL PLAN FOR EXTERIOR LIGHT DETAIL AND INFORMATION



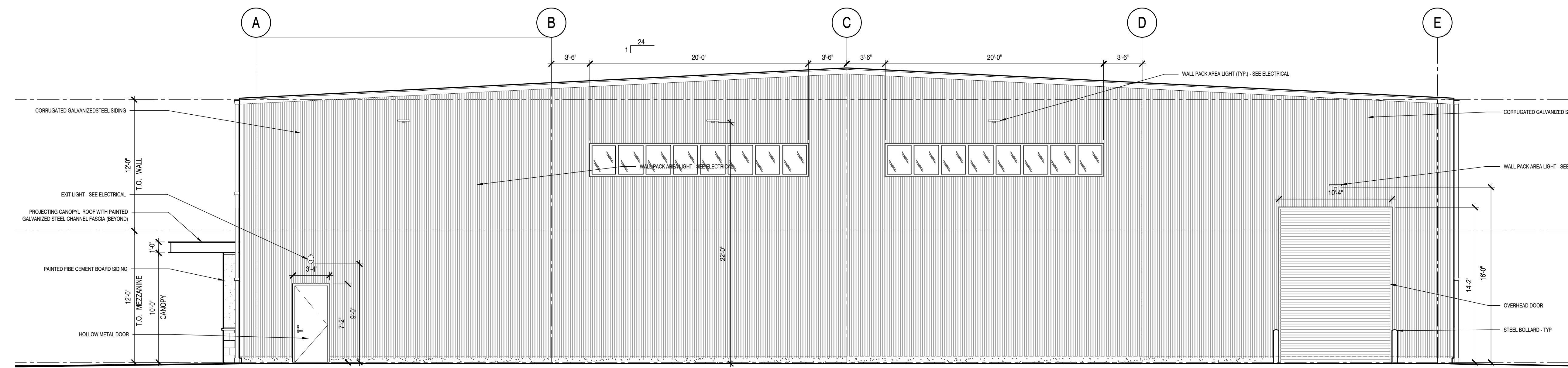
**1 WEST ELEVATION**  
A-300 3/16" = 1'-0"



**2 NORTH ELEVATION**  
A-300 3/16" = 1'-0"



**3 EAST ELEVATION**  
A-300 3/16" = 1'-0"



**4 SOUTH ELEVATION**  
A-300 3/16" = 1'-0"