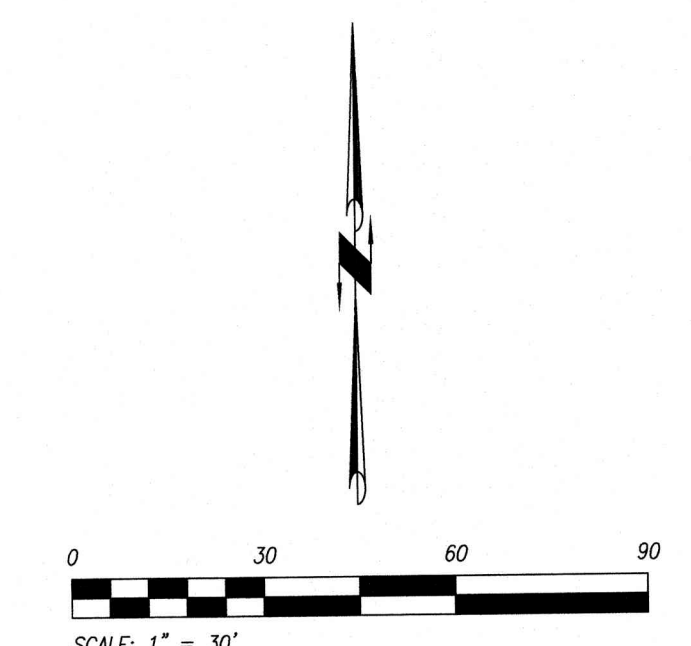
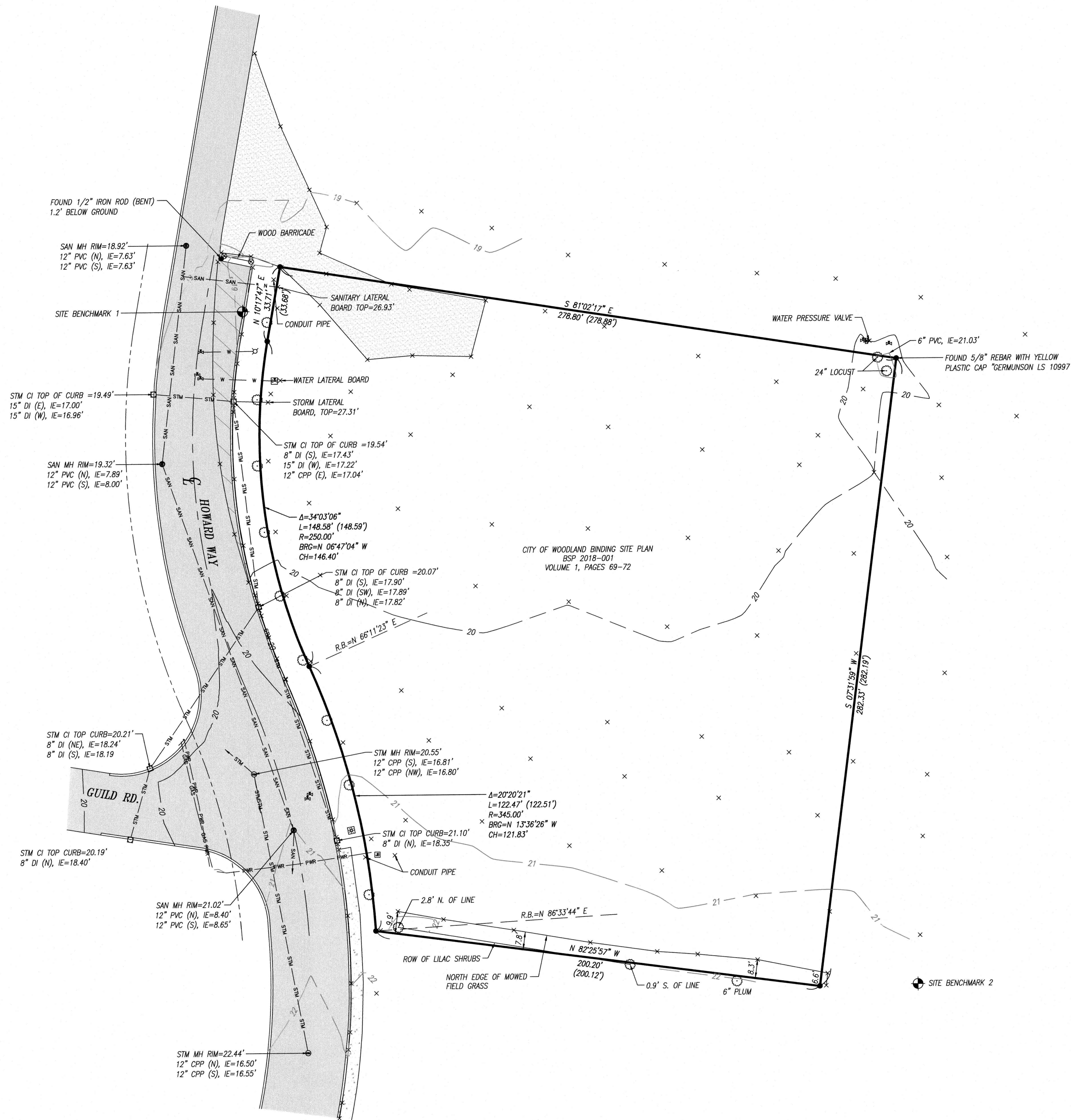


VICINITY MAP  
NO SCALE



**BASIS OF BEARINGS:**  
BEARINGS ARE ASSUMED HOLDING A BEARING OF S 07°31'58\"/>

**VERTICAL DATUM:**  
ELEVATIONS SHOWN HEREON ARE NAVD88 DATUM BASED ON A SCRIBED X IN THE SIDEWALK ON THE EAST SIDE OF SCHURMANN WAY AT THE EXTENSION OF HERITAGE STREET, ELEVATION 17.91'. ELEVATION INFORMATION AND DATUM BASE PER 2008 ALTA SURVEY PROVIDED BY HAGEDORN, INC.

**BENCHMARK:**  
SITE BENCHMARK 1: MAG NAIL WITH WASHER "MAG CONTROL", LOCATED ALONG EAST CONCRETE CUTTER OF HOWARD WAY AND 18' SE TO FIRE HYDRANT. ELEVATION = 18.92'  
SITE BENCHMARK 2: 1/2\"/>

- LEGEND**
- LIGHT POLE
  - ⊕ POWER JUNCTION BOX
  - ⊖ WATER BLOW OFF
  - ⊕ WOOD POST
  - 1\"/>
  - ⊕ STORM MANHOLE
  - ⊕ STORM CURB INLET (CI)
  - SANITARY SEWER MANHOLE
  - ⊕ WATER VALVE
  - ⊕ FIRE HYDRANT
  - FOUND AND HELD 5/8\"/>

- PARCEL BOUNDARY
- - - CENTER OF RIGHT OF WAY
- - - RIGHT OF WAY
- - - GAS - GAS - UNDERGROUND GAS LINE
- - - W - W - UNDERGROUND WATER LINE
- - - PWR - PWR - UNDERGROUND POWER LINE
- - - STM - STM - UNDERGROUND STORM LINE
- - - SAN - SAN - UNDERGROUND SANITARY SEWER LINE
- ▒ CONCRETE SURFACE
- ▒ ASPHALT SURFACE
- ▒ ROAD STRIPING
- ▒ GRAVEL SURFACE
- R.B. RADIAL BEARING
- ( ) RECORD DISTANCE

**NOTES**

THE LOCATION OF EXISTING UTILITY FACILITIES HAS NOT BEEN RESEARCHED. UNDERGROUND UTILITIES SHOWN HEREON ARE FROM TIES TO UTILITY PAINT MARKS MADE IN RESPONSE TO "ONE-CALL CONCEPTS" UTILITY NOTIFICATION TICKET NO. 22287712. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES BY THE RESPECTIVE UTILITY OWNERS, NOR THE EXISTENCE OF BURIED OBJECTS WHICH ARE NOT SHOWN ON THIS PLAN.

THE FOLLOWING UTILITY COMPANIES WERE CONTACTED TO LOCATE THEIR UNDERGROUND SERVICES: CABLE TV, TELEPHONE, GAS, ELECTRIC, WATER AND SEWER. UTILITIES ARE SHOWN AS MARKED BY THE ABOVE UTILITY COMPANIES.

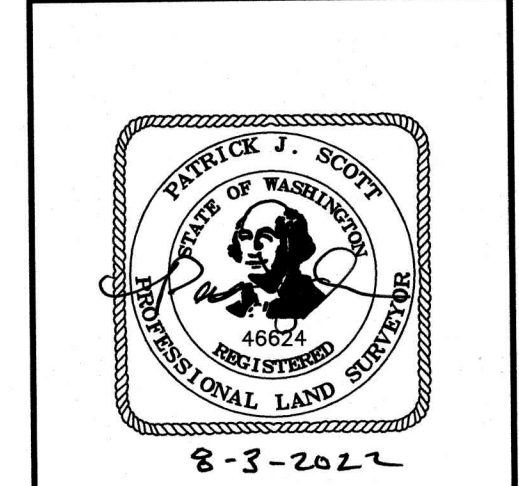
FIELD WORK FOR THIS SURVEY WAS PERFORMED JUNE AND JULY, 2022.

A TITLE REPORT FOR THIS SITE WAS NOT PROVIDED, THEREFORE, NO EASEMENTS HAVE BEEN SHOWN.

SURVEY MONUMENTS - ALL SURVEY MONUMENTS SHOWN HEREON, INCLUDING BENCHMARKS SHALL BE PROTECTED FROM DISTURBANCE OR DESTRUCTION SUBJECT TO WAC 332-120 (SURVEY MONUMENTS - REMOVAL OR DESTRUCTION). IF THE CONSTRUCTION OF NEW FACILITIES CAUSES THE NEED FOR ANY MONUMENT TO BE REMOVED, THE CONTRACTOR, IS ADVISED TO CONTACT THE APPROPRIATE LAND SURVEYOR PRIOR TO CONSTRUCTION FOR PERPETUATION OF THE ORIGINAL POSITION SUBJECT TO WAC 332-120-060.

CLIENT:  
MCA ARCHITECTS PC  
812 SW WASHINGTON STREET  
PORTLAND, OR.  
97205

EXISTING CONDITIONS SURVEY FOR:  
**CENTENNIAL INDUSTRIAL PARK**  
IN THE NW 1/4 OF THE SE 1/4 OF SECTION 14, T.5N., R.1W., CITY OF WOODLAND, COWLITZ COUNTY, WA.  
**OLSON LAND SURVEYORS**  
ENGINEERING INC., 222 E. EVERGREEN BLVD., VANCOUVER, WA 98660  
360-895-1385  
509-289-9936



CHANGES / REVISIONS

DESCRIPTION	DATE

DESIGNED:  
DRAWN: J.K.T.  
CHECKED: P.J.S.  
DATE: JULY, 2022

SCALE: 1" = 30'  
COPYRIGHT 2022, OLSON ENGINEERING, INC.

SHEET SIZE: 24x36  
JOB NO. A10421.01.01

SHEET

1 of 1

TYPE II SITE PLAN REVIEW PACKAGE 10/7/2022

FILE: J:\DATA\A10000\A10400\A10420\A10421\SURVEY\A10421.S.EXCOND.DWG

















C & G PROPERTIES  
**NEW WAREHOUSES**  
CENTENNIAL INDUSTRIAL PARK  
WOODLAND, WASHINGTON

**GENERAL NOTES**

- SEE CIVIL DRAWINGS FOR ADDITIONAL INFO.
- SEE LANDSCAPE DRAWINGS FOR PLANTINGS & OTHER INFO.

**KEYNOTES**

- CONCRETE APRON
- TRUCK RATED ASPHALT PAVING
- CONCRETE APPROACH
- GRAVEL YARD
- LINE OF CANOPY ROOF ABOVE
- 420' PALLET STORAGE RACK PER SPECS
- DUMPSYTER BY OTHERS; (4) 4 YARD UNITS
- CONCRETE CURB
- 8 FT HIGH CHAIN LINK SECURITY FENCE PER SPECS
- SECURITY EXIT GATE
- 8 FT HIGH MOTORIZED VEHICULAR GATE PER SPECS
- LANDSCAPED AREA - SEE LANDSCAPE PLAN XXX AND SPECIFICATIONS
- LOADING AREA
- 5' CONCRETE SIDEWALK
- STRIPED PEDESTRIAN ACCESS AISLE
- 11' x 10' LANDSCAPE ISLAND WITH TREE AND CURB ALL SIDES
- PARKING LOT TREES
- 4'-6" CONCRETE SIDEWALK FOR SITE ACCESS
- CONDENSER UNIT - SEE MECHANICAL
- PUD HIGH VOLTAGE JUNCTION BODY - SEE ELECTRICAL
- ELECTRICAL METER AND MAIN PANELBOARD - SEE ELECTRICAL
- PUD SERVICE TRANSFORMER - SEE ELECTRICAL
- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT
- EXISTING CURB INLET
- NEW SIDEWALK PER CITY STANDARDS
- NEW DRIVEWAY PER CITY STANDARDS
- TYP. WALL PACK AREA LIGHT AR 22' A.F.F. - SEE ELECTRICAL
- TYP. EGRESS LIGHT AT 9' A.F.F. - SEE ELECTRICAL

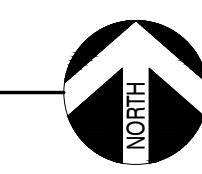
**BUILDING/SITE INFORMATION LEGEND**

ZONING: LI - LIGHT INDUSTRIAL  
PARCEL #506340101

SITE/BUILDING INFORMATION:	
BUILDING HEIGHT:	28'-8"
TOTAL SITE AREA (1.64 ACRES):	71,438 SF
TOTAL SF OF BUILDINGS:	24,916 SF
% OF TOTAL SITE AREA:	35%
BUILDING FOOTPRINT (x2):	21,582 SF
% OF TOTAL SITE AREA:	30%
TOTAL IMPERVIOUS AREA (w/o BLDGS):	32,890 SF
% OF TOTAL SITE AREA:	46%
TOTAL SF OF PERVIOUS AREA:	16,966 SF
TOTAL SF OF LANDSCAPE AREA:	12,762 SF
TOTAL SF OF GRAVEL AREA:	4,204 SF
% OF TOTAL SITE AREA FOR LANDSCAPE:	24%
TOTAL SF OF DEDICATED PARKING AREA:	29,259 SF
% OF TOTAL SITE AREA:	41%
PROPOSED NUMBER OF PARKING SPACES:	28 SPACES TOTAL
NUMBER OF STANDARD SPACES (x20):	26 SPACES
NUMBER OF HANDICAP SPACES (x20):	2 SPACES
REQUIRED NUMBER OF PARKING SPACES PER BUILDING:	22 SPACES TOTAL
WAREHOUSE: 1:1,250 SF	8 SPACES
OFFICE: 1: 400 SF	3 SPACES
REQUIRED PARKING LOT TREES:	0 TREES
1 TREE PER EVERY 5 PARKING SPACES (SEE LANDSCAPE PLAN)	0 TREES
TOTAL SF OF LOADING AREA:	30,008 SF



**1 SITE PLAN**  
A-100 1/16" = 1'-0"



REV. #	DATE	DESCRIPTION

**SITE PLAN**

PROJECT NO: 22-106  
DRAWN BY: SNB | CHK'D BY: TG  
DATE: 10/7/2022

**A-100**



REV. #	DATE	DESCRIPTION

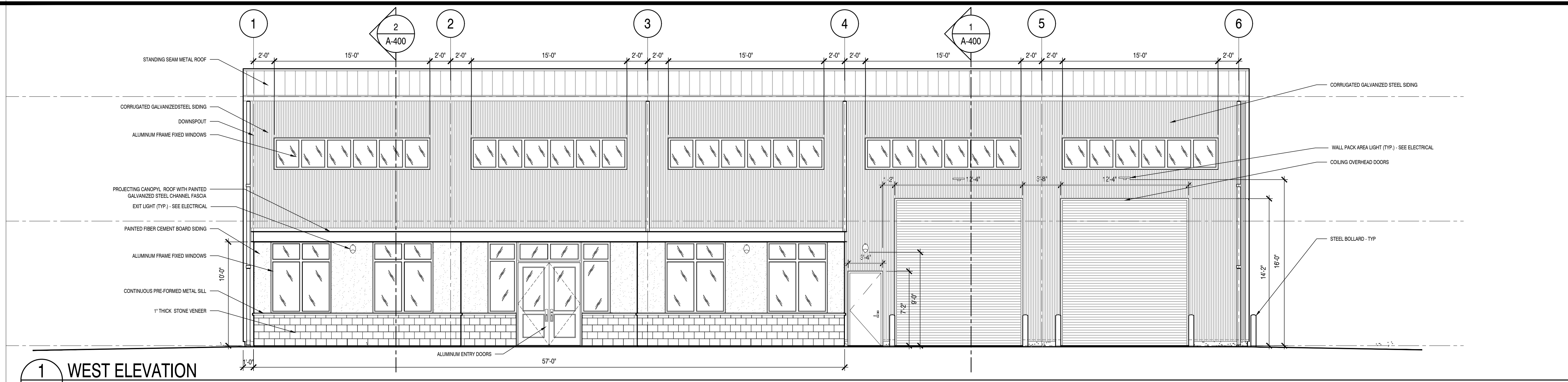
EXTERIOR ELEVATIONS

PROJECT NO: 22-108  
DRAWN BY: SNB / CHKD BY: TG  
DATE: 10/7/2022

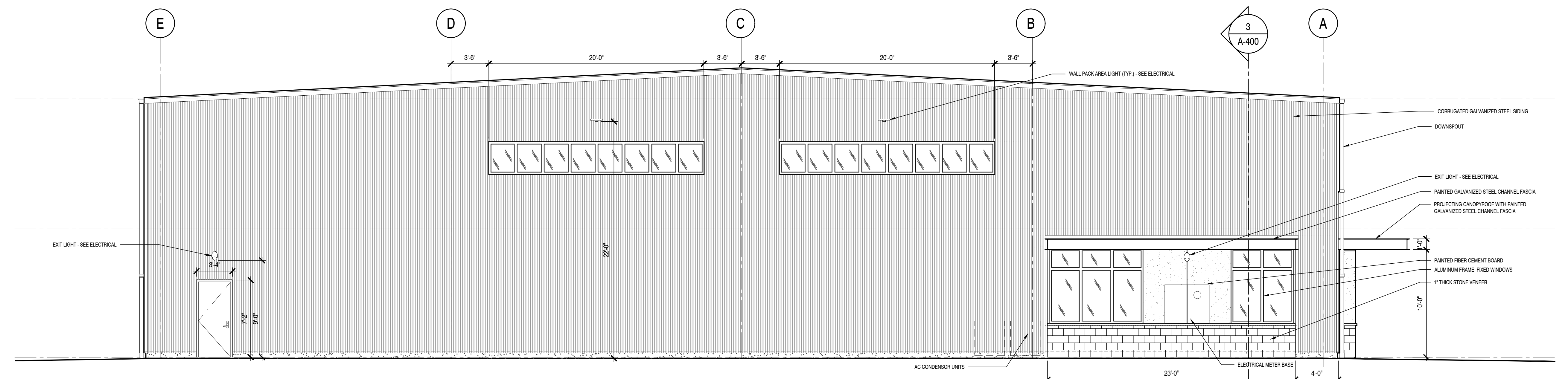
**A-300**

**GENERAL NOTES - EXTERIOR FINISHES**

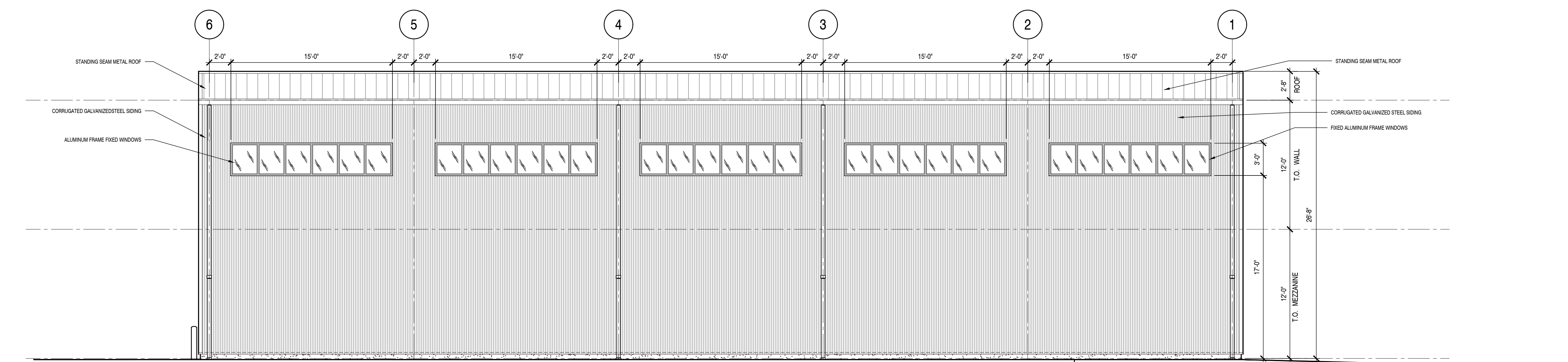
- ROOF: STANDING SEAM METAL ROOF BY METAL BUILDING MANUFACTURER. SEE SECTIONS & DETAILS.
- MISCELLANEOUS METAL FLASHING & TRIM: PRE-FINISHED, PRE-FORMED FASCIA ROOF-EDGE, HEAD, SILL AND Z-METAL FLASHING AND MISCELLANEOUS METAL TRIM, IN SIZES AS INDICATED OR REQUIRED. 24 GAUGE GALVANIZED STEEL WITH MANUFACTURER'S STANDARD BAKED-ON FINISH. AS SPECIFIED. SEE SECTIONS & DETAILS.
- TYPICAL OFFICE WALLS: PANELIZED - 5/16" PRE-PRIMED, FIBER CEMENT BOARD ABOVE 1" FACING STONE, OVER GRADE 1/2" ASPHALT SATURATED BUILDING PAPER WITH 9 W. 40 MIL. SELF-ADHERING SBS MODIFIED WATERPROOF FLASHING WITH POLYETHYLENE FACE SHEET. AT ALL WINDOW AND DOOR OPENINGS. SEE SECTIONS & DETAILS.
- TYPICAL WAREHOUSE WALLS: CORRUGATED GALVANIZED SIDING SELF-ADHERING SBS MODIFIED WATERPROOF FLASHING WITH POLYETHYLENE FACE SHEET. AT ALL WINDOW & DOOR OPENINGS. SEE SECTIONS & DETAILS.
- WINDOWS: ALUMINUM FRAMED UNITS. SIZES AS INDICATED W/ MANUFACTURER'S STANDARD FACTORY FINISH AND HARDWARE. PRE-FLASH ROUGH OPENING WITH 9 W. 40 MIL. SELF-ADHERING SBS MODIFIED WATERPROOF FLASHING WITH POLYETHYLENE FACE SHEET. INSTALL AND ATTACH TO FRAMING PER WINDOW MANUFACTURER'S RECOMMENDATIONS. CASE WITH PREFINISHED ALUMINUM REVEAL TRIM ABOVE CONTINUOUS PRE-FORMED SHEET METAL SILL AS INDICATED. SEE PLANS, SECTIONS AND DETAILS.
- PAINT: SIDING AND TRIM: FINISH PAINT ENTIRE BUILDING EXTERIOR, INCLUDING SIDING AND TRIM. EXCLUDING PRE-FINISHED MATERIALS OR ASSEMBLIES EXCEPT AS OTHERWISE NOTED. WITH TWO COATS OF ACRYLIC LATEX PAINT AS SPECIFIED. PRIME PAINT ANY SURFACES NOT PRE-PRIMED AND APPLY FINISH PAINT PER PAINT MANUFACTURER'S RECOMMENDATIONS. SEE SPECIFICATIONS. VERIFY COLOR SELECTION WITH ARCHITECT.
- SEE SHEET A-401 SCHEDULES FOR DOOR AND WINDOW DETAIL NOTATIONS
- SEE ELECTRICAL PLAN FOR EXTERIOR LIGHT DETAIL AND INFORMATION



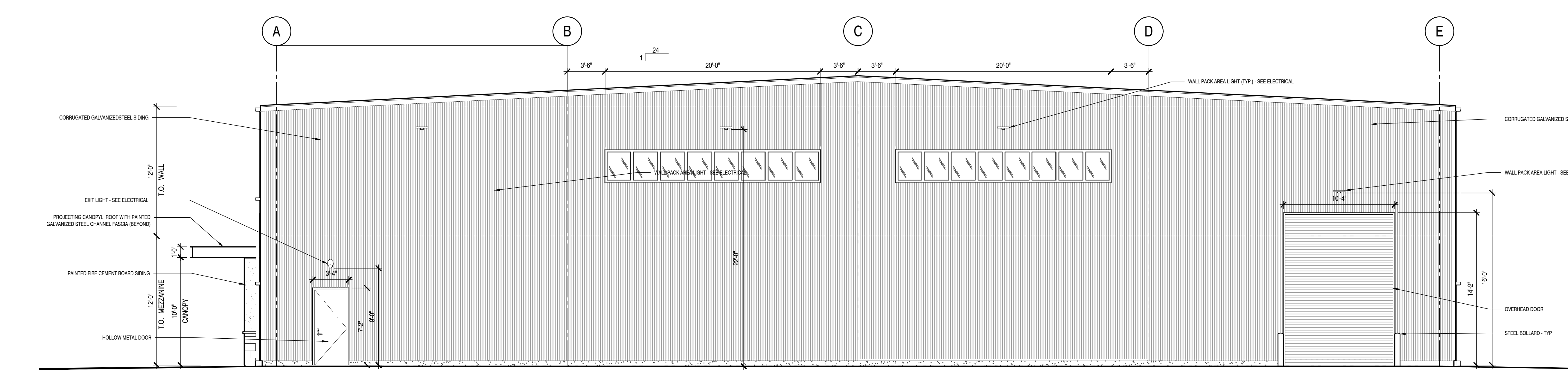
**1 WEST ELEVATION**  
A-300 3/16" = 1'-0"



**2 NORTH ELEVATION**  
A-300 3/16" = 1'-0"



**3 EAST ELEVATION**  
A-300 3/16" = 1'-0"



**4 SOUTH ELEVATION**  
A-300 3/16" = 1'-0"