

Community Development Department
 Building | Planning | Code Enforcement
 P.O. Box 9, 230 Davidson Avenue
 (360) 225-7299, www.ci.woodland.wa.us

NOTICE OF DECISION

1838 Franklin Street / Franklin Offices Site Plan

Land Use Application Nos.:	SPR-21-002 (Site Plan Review – Type 2) SEP-21-001 (SEPA)
Applicant and Owner:	Jeff Rauth 500 Grade Street Kelso, Washington, 98626
Site Location:	“1838” Franklin Street Woodland, WA 98674
Parcel & Size:	50728, 4.08 Acres
Zoning Designation:	Highway Commercial (C-2)
Date Application Received:	March 18 th , 2021
Notice of Application & Likely DNS issued:	Revised: May 16 th , 2022 Original: April 15 th , 2022 [See: case # SEP-21-001]
Comment Period & SEPA Appeal Period Ended:	Revised: May 30 th , 2022 Original: April 29 th , 2022
Notice of Decision Issued:	June 1 st , 2022
DRC Decision:	Approve with Conditions

I. DESCRIPTION OF PROPOSAL

Applicant proposes to develop a new 1,200 SF modular office building on a fixed foundation with an ADA ramp on a vacant parcel off Franklin Street and Belmont Loop. Project will include the installation of a 150 foot by 20-foot driveway with sidewalk, four (4) standard parking spaces, and a new trash enclosure. An outdoor sales facility for modular homes may be considered at a later date through a separate application process.

II. REVIEW AUTHORITY & FINDINGS

Per Woodland Municipal Code (WMC) 19.08.030, site plan reviews shall be approved, approved with conditions, or denied by the Development Review Committee and decisions shall be issued by the Community Development Department.

Development Impact Fees – Fire | WMC 3.41

Finding 1: Fire Impact Fees are required for the proposed building. Fees are calculated based on \$.51 per sq ft of building. Fees are calculated and due at the time of building permit issuance. Fee is estimated to be $(1200 \times \$0.51) = \612 for the project. A condition of approval has been added which requires the fees be calculated and paid at the time of building permit issuance. *See Conditions #1 and #2.*

Conclusion: As conditioned, the proposal can comply with this requirement. (See Findings 52 and 53 for fire review requirements.)

Development Impact Fees – Transportation | WMC 3.42

Finding 2: Transportation Impact Fees (TIF) are required on new development to support future transportation improvements within the city per WMC 3.42. The TIF is calculated based on \$838 per PM Peak Hour Trip (PMPHT) generated by the project based on the project Traffic Study or where no study is prepared, based on trip generation in accordance with Institute of Transportation Engineers (ITE) published data.

Finding 3: For this proposal, trip generation was evaluated utilizing ITE land use code #710 – general office building manufacturing, which Based on this category, the revised impact fee calculation would be: 1,200 SF @ 1.49 peak hour trips per 1,000 SF, which is a total of 1.79 PMPHT.

Finding 4: With a Transportation Impact fee of \$838.00/ Pm Peak Hour Trip, a rough estimation of the Transportation impact fee would be \$1,500.20 ($\838×1.79).

Impact fees are collected at the time of building permit issuance.
(*See Conditions #1 and #2*)

Conclusion: As conditioned, the project can comply with this requirement.

Streets and Sidewalks | WMC 12

Finding 5A: Per WMC 12.06.010, public street improvements including sidewalks, curb, and gutter must be designed and constructed in accordance with the City of Woodland Engineering Standards.

Finding 5B: Preliminary plans provided shows new frontage improvements including a 26.3-foot-wide driveway, a type A-1 concrete curb and gutter, and a 6-foot detached sidewalk. These are acceptable in scope, however the City updated our transportation standards in February 2022, and our standard sidewalk requires a width of 6 feet. (*See condition 3*)

Finding 6A: Per WMC 12.28, street trees are required to be planted along the sidewalk and within the public Right-of-Way in order to provide a decorative buffer between the street and the property line. All street trees proposed shall be indicated and properly identified on the final landscaping plan.

Finding 6B: No street trees are indicated on the preliminary landscaping plan. In order to comply with WMC 12.28, a condition has been added that the applicant shall provide one street tree along their frontage on Franklin Loop. (*See Condition 4*)

Finding 6C: Street trees required under WMC 12.28 along the right of way of Old Pacific Highway have been deferred until future development review.

Finding 7: All street trees must be chosen from the approved list of acceptable street trees, which can be found online at: <https://www.ci.woodland.wa.us/publicworks/page/construction-standards>. (*See Condition 5*)

Conclusion: As conditioned, the proposal can comply with the development standards.

Water and Sewage | WMC 13

Finding 8: Provided plans do not include a preliminary utility plan. A final utility plan indicating the proposed location, size, connection points to existing public systems and terminus points for sanitary sewer, water, and stormwater drainage and control systems is required. Public and private easements for sanitary sewer, water, and stormwater shall be indicated. (*See Condition 6*)

Finding 9: Water and sewer connection fees need to be paid for connection to the systems. Fees vary based on the connection size. (*See Condition 7*)

Finding 10: Water and sewer main extensions are not required for this proposal because they already exist along the frontage of the site. A 12-inch water main runs along Franklin Street to the property, while an 8-inch sanitary sewer lateral runs along Franklin Street to a sewer manhole in Franklin Street at the approximate site of the proposed driveway.

Finding 14: Any further development on the lot in question will require a Critical Area Permit and an updated Wetland Report. As the applicant has indicated future plans to construct a sales lot, and it is our decision that mitigation and buffer modification can be deferred to future application(s). *(See Condition 8)*

Erosion Control Ordinance | WMC 15.10

Finding 15: Applicants are required to install and maintain erosion control measures per the best management practices as outlined in the current version of the Stormwater Management Manual for Western Washington during site excavations and grading. An NPDES permit from the Department of Ecology is required where more than one acre is being disturbed.

Finding 16: A preliminary erosion control plan was included utilizing a sediment fence, inlet protection, and a stabilized construction entrance, along with other detailed erosion control measures that can be compliant with WMC 15.10. *(See Condition 9)*

Conclusion: As conditioned, the project can comply with this standard.

Stormwater Management | WMC 15.12

Finding 17: The applicant's submittal includes a grading and drainage plan that complies with requirements found in WMC 15.12 and the DOE "Puget Sound Manual." The general stormwater drainage plan shows that stormwater is planned to be conveyed to a new storm drain inlet on the Northwest corner adjacent to the driveway entrance which will be tied into an existing 12-inch storm water stub connected to a storm drain in Franklin circuit. However, a detailed Stormwater TIR has not been provided alongside preliminary review materials. Per WMC 15.12.030, a stormwater design and technical information report (TIR) is required, and a condition has been added that a Stormwater TIR be provided along with the first Civil submission that complies with the Stormwater standards as expressed within WMC 15.12. *(See Condition 10)*

Conclusion: As conditioned, the proposal can comply with these standards.

Permitted Uses | WMC 17.36.020

Finding 18: Professional and business offices are considered permitted uses within the Highway Commercial (C-2) zoning districts per WMC 17.36.020 (31), as well as retail sales under WMC 17.36.020 (25) and real estate offices per WMC 17.36.020 (22).

Conclusion: As proposed, the project can comply with this standard.

Building Setbacks | WMC 17.36.070

Finding 19: The required setbacks in highway commercial zones are:

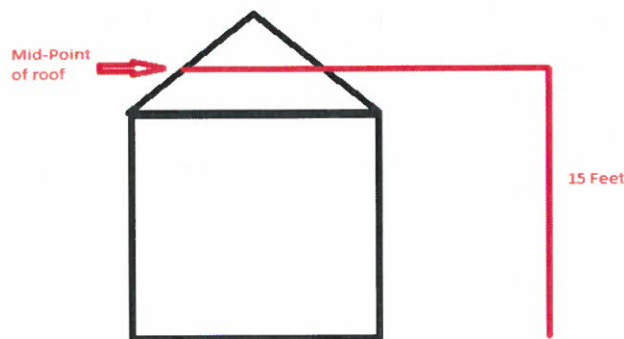
- Front yard setback: Buildings shall be set as close as possible to all of the fronting and side public streets.
- Side and rear yard setback: No limitations except where the subject property abuts a residential zoning district.

Finding 20: The proposal does not abut a residential zoning district, and as such meets the setback requirements.

Conclusion: As proposed, the project can comply with this standard.

Building Height | WMC 17.36.080

Finding 21: Per Woodland Municipal Code section 17.08.110, building height for a building with a pitch or hip roof is measured to the average height of the highest gable of the roof. See demonstration below:



Finding 22: Development is proposed in a Highway Commercial zoning district and does not abut any residential zoning district. Proposed building is indicated as being 15 feet tall from base to top of roof, with a height of approximately 11 feet and 6 inches measured to the average height of the highest gable of the proposed roof.

Finding 23: Proposed structure does not comply with WMC 17.36.080. A condition has been added that the final proposed structure must meet the minimum building height standard as measured from grade to the average height of the highest gable. (*See Condition 11*)

Conclusion: As conditioned, the project can comply with this standard.

Lot Coverage | WMC 17.44.090

Finding 24: There are no lot coverage limitations within districts with highway commercial designations.

Conclusion: As proposed, the project can comply with this standard.

Architectural and Site Design Standards | WMC 17.36.130

Site Design Standards

Finding 25: Orientation to the street: To be compliant with WMC 17.36.130 (E) Buildings, along with trees and landscaping shall be predominant without turning their backs to the street.

Finding 26: Plans submitted for review show an entrance facing to the north towards Belmont Loop with large windows facing West towards Franklin Street frontage. However, the building proposed, as well as provided landscaping, is prominent with large windows fronting Franklin Street, as well as clear visibility between the entrance and the street over the driveway.

Finding 27: Plazas, courtyards, and seating areas: As outlined under WMC 17.36.130 (F), plazas, courtyards, and seating areas are not required for new buildings under 4,000 square feet. Proposed construction is under 4,000 SF.

Finding 28: Entrances: Entrances are required to be easily identifiable and accessible from public streets and sidewalks per WMC 17.36.130 (G).

Finding 29: The building will include a recessed entryway as well as a wooden overhang/portico, which complies with the standards of WMC 17.36.130 (G) (1).

Finding 30: Per WMC 17.36.130 (G) (2), Canopies and/or awnings shall be provided along a minimum of sixty percent of any facades that give access to the building. Minimum depth of any sidewalk canopy and/or awning shall be five feet and must give between eight and twelve feet of clearance from the sidewalk and the underside of any awning. A condition of approval has been added that an awning shall be provided that covers 60% of entry façade. (*See Condition 12*)

Finding 31: Articulation/Massing, materials and colors, ground level details: The façade detail section of the code [WMC 17.36.130 (H)] requires several building details including brick façades; a masonry base; pedestrian scale architecture; vertical off-sets; changes in color; and changes in materials.

Finding 32: Transparency: A minimum of thirty percent of any ground floor façade visible from any public street, public space, or residential zone shall be comprised of windows with clear vision glass per WMC 17.36.130 (H)(4)(a).

Finding 33: The Western and Northern facades are visible from the street. The northern facade has three identified large glass windows, as well as a glass door, which suggests compliance with the thirty percent transparency requirements while the western façade has identified two similar windows that suggest compliance with the thirty percent transparency requirements per WMC 17.36.130(H)(4)(a). A condition of approval has been added that the applicant shall provide dimensions and appropriate details of proposed windows to confirm compliance with WMC 17.36.130(H)(4)(a). (*See Condition 13*)

Finding 34: Proposed construction is compliant with the articulation and massing standards outlined within WMC 17.36.130 (H), with a distinct stone veneer base, as well as cement board constructing with a variety of articulation and/or massing to create a distinct separation between base, middle, and top of construction.

Finding 35: Roofline: WMC 17.36.130 (H)(6) also dictates that a proposed construction's roofline must present a 'distinct profile and appearance for the building, reduce the massive scale of buildings, and express the neighborhood character.' The proposed roofline features a moderately pitched profile with a secondary pitched roof extending over the entryway, which is compliant under WMC 17.36.130 (H) (6) as proposed construction serves to present a distinct profile and appearance for the building as well as to express the neighborhood character.

Access, and Connectivity

Finding 36: Curb cuts and driveways: Public Street frontage improvements will be required (See Finding # 5A). Proposed singular driveway is located towards the Northern boundary of the lot outside of the Wetland buffer and provides minimal obstruction to pedestrian and bicyclist movement. Any curb cuts, along with any other potential work to be done within the Right-of-Way requires an approved Right-Of-Way permit (See *Condition 14*)

Finding 37: Sidewalks, pedestrian, and bicyclist connections: Sidewalks along Franklin Street will be required to be updated to specifications found within WMC 16.16.070 and 17.36.130 (J). Public sidewalk areas will remain clear of debris.

Finding 38: WMC 17.36.130 (M) requires clearly defined pedestrian connection between abutting public street(s) and building entrances. Submitted plans indicate that a concrete walkway from Franklin Street to business entrance will serve as the required pedestrian access.

(Condition #15 was also added to ensure that a bicycle parking/lock station is added as required.)

Screening, Buffers, and Landscaping

Finding 39: Site Screening and Buffers: New development within the Highway Commercial (C-2) zoning requires proper site screening and buffering using landscaping, as outlined in WMC 17.36.130 (N) (4), and a landscaping plan adequately showing proposed improvements in compliance with the municipal code.

Finding 40: The applicant has provided a preliminary site plan that indicates proposed landscaping, but a full landscaping plan will be required that identifies proposed plantings including both the common and scientific name of all trees, shrubs, and ground cover, as well as location of all proposed landscaping (including any required screening landscaping, street trees, and/or parking lot landscaping) and proposed irrigation method(s), if applicable. As part of the final landscaping plan, tabulation of the area and percentage of the following:

- A. Entire site;
- B. Total landscaping areas;
- C. Areas covered by groundcover;
- D. Areas covered by nonplant materials;
- E. Areas covered by tree canopy and shrubs;
- F. Each required setback area;
- G. Total parking area;

- H. Parking area landscaping; and
- I. Other landscaping areas.

A condition of approval that a final landscaping plan be submitted along with civil review submission prior to building permit submittal and installation must be completed prior to occupancy that meets these standards. (*See Condition 16*)

Finding 41: Per WMC 17.36.130 (N) (1), a landscape buffer strip of at least five feet is required along the entirety of the public street frontage excluding ingress and egress points, and areas where structures and pedestrian-oriented space is located. No landscape buffer is indicated on provided plans, however public street frontage meets the requirements to be considered exempt from this requirement, with the driveway and building taking up most of the frontage.

Finding 42: Parking lot landscaping: Per WMC 17.36.130 (O) parking lot landscaping shall be required in order to mitigate the visual impact of parking lots through landscape and/or architectural features that compliment overall site design and character of development.

Finding 43: Proposed parking lot is located behind and to the side of the proposed structure. Per WMC 17.36.130 (O) (2) (b), in cases in which the parking lot is to the side of the building and/or only partially abuts the public street, a minimum of one tree per every six parking spaces shall be provided.

Finding 44: Provided Site Plan indicates that the site will have a total of four parking spaces, including one handicapped space, and there is one proposed tree in the parking lot area. Tree is identified on preliminary plan as being an Acer Ginnala "Flame Amur Maple" measured at 1.5" Caliper within the provided project narrative. Per Woodland's general landscaping requirements within the Highway Commercial district, this is an appropriate planting.

Finding 45: Screening of trash and service areas: Trash area on site is identified as being fully screened by a pre-fabricated seven foot by 12 foot 4 inch enclosure, with a height of 6 foot and 6 inches per provided plans. This fulfills requirements outlined in WMC 17.36.130 (P), which states that all mechanical and communication equipment, including loading docks, garbage receptacles, and recycling containers shall be fully obscured from public view by either a decorative wall (i.e., masonry, wood, or similar quality material), evergreen hedge, and/or opaque fence shall be used for screening. The proposed enclosure meets these expectations. (*See Condition 17*)

Finding 46: Lighting: WMC 17.36.130 (Q) outlines established standards for lighting installed within highway commercial (C-2) zoning. The proposed development does not indicate any new lights to be installed as a part of the project. Any light fixtures added

must be adequately shielded from the sky, as well as other existing buildings and structures as required by WMC 17.36.130 (Q) (4), and appropriate plans must be included within Final/Civil engineering. (See Condition 18)

Finding 47: Screening Rooftop equipment: Mechanical equipment should be fully screened in a manner that is integrated with the overall architecture of the building in order to be fully in compliance with WMC 17.36.130 (I). (See Condition 19)

Finding 48: Signs: Signs will be permitted separately in compliance with WMC 17.52. Wall signs can be reviewed at the time the building permit is submitted. (See Condition 20)

Finding 49: All signs must comply with the requirements within WMC Chapter 17.52.070. Businesses within the Highway Commercial zoning designation are permitted one freestanding sign, three wall, window, and or roof signs on the primary frontage, and one on any secondary frontage. Total square footage allowed of wall and/or window signs shall be calculated at One SF per foot of primary frontage, or one half square foot per foot of secondary frontage. (See Condition 21)

Conclusion: As conditioned the proposal can comply with this standard.

Performance Standards | WMC 17.48

Finding 50: The requirements of this section cover hazards and nuisances including sound level, vibration, air emissions, smoke, dust, odors, industrial wastes, fire hazards, heat, glare, radioactivity, and radio transmitters.

The applicant will be responsible for ensuring that their operation is operating with all local, state, and federal nuisance laws. Nothing in the applicant's submittal show a need for concern over potential for high levels of these hazards or nuisances. Nothing has been raised to the attention of staff that indicates concerns that are not already covered by existing law that the applicant must comply with. (See Condition 22)

Conclusion: As conditioned the proposal can comply with this standard.

Off-Street Parking | WMC 17.56.030

Finding 51: One parking space is required for each three hundred square feet of gross floor area with a minimum of four customer parking spaces per use Proposed structure has an area of 1,173 SF. At 300 SF per parking space, the property is required to have a minimum of 4 parking spaces. Proposed development will have a total of four available

off-street parking spaces, including one handicap-accessible parking space. EV charging paces are discussed in Finding #55 below.

Conclusion: This proposal is compliant with the city's off-street parking standard.

Fire Safety

All buildings must be constructed in accordance with WA Building and Fire Codes. Plan revisions and building plans must be submitted directly to Clark-Cowlitz Fire Rescue (CCFR) for fire review.

Finding 52: Applicant has submitted the site plan to CCFR and is required to comply with all comments and/or conditions. (See *Condition 23*)

Finding 53: Building construction plans shall be submitted to CCFR separately, along with any fire alarm and/or fire sprinkler alterations. (See *Condition 24*)

Conclusion: As conditioned, the proposal can comply with Fire Code.

Building | WMC Title 14 & IBC

Finding 54: The site plan shows one ADA parking spaces. This meets building code requirements.

Finding 55: Per Washington State Code 51-50-0429 Section 429, electric vehicle charging infrastructure must be provided for at least ten percent of provided parking spaces. For the proposed 5 parking spaces, this would require 1 EV space be available and identified on final site plan and building plans. (See *Condition 25*)

Finding 56: Building permit will be required for modular placement, foundation, and attachment of modular structure to foundation, as well as the proposed ADA concrete ramp, awning, and trash enclosure. (See *Building Notes and condition 26*)

Finding 57: IBC Chapter 10 (Egress Requirements) requires verification of occupancy and occupant load. (See *Condition 27*)

Finding 58: If customers will be entering manufactured homes on display for sale on the lot, then those homes will also need to have a ramp with a paved accessible route from the ADA parking spaces.

Finding 58b: No on-site outdoor storage and/or sales area has been proposed with the current application. Any future addition of outdoor storage and/or sales

space will require further application(s) as outlined within the Woodland Municipal Code.

Conclusion: As conditioned, the proposal can comply with Building Code.

Engineering Comments

Finding 59: Applicant is responsible for taking appropriate action to address concerns expressed by the associated engineering memo prepared by Mark Nelson, P.E. with Gray & Osborne and dated 10/18/2021:

- All public improvements, utilities, and erosion control practices shall be designed and constructed in accordance with the most recent City Engineering Standards and best practice. City Engineering Standards can be found online on our Website: <https://www.ci.woodland.wa.us/publicworks/page/construction-standards>.
- Franklin Street half street improvements shall include the addition of sidewalks, curb, and gutter and driveway along the frontage that shall meet the most recent City Engineering Standards.
- Erosion control plan should show location of nearby wetland(s) and buffer areas.
- The Applicant shall prepare and submit a stormwater design and TIR with their Civil Review submission that is consistent with WMC 15.12 and the DOE "Puget Sound Manual" as adopted by the City of Woodland.
- Connection to the 18-inch storm drain located in/along Franklin Street shall be made directly and the storm drain manhole, or a new manhole should be installed in the sidewalk for the proposed connection to the 12-inch stub.

Conditions have been added that the applicant must adhere to provided engineering comments, and that the applicant shall provide responses acknowledging the submitted comments. (See *Conditions 28 and 29*)

Preliminary Site Plan Approval | WMC 19.10.070

Finding 60: The applicant submitted a preliminary site plan. Per WMC 19.10.070, the applicant is required to submit for final civil plan approval and submit a final site plan application. (See *Condition 30 and 31*)

Conclusion: The preliminary site plan can be approved with conditions.

III. COMPREHENSIVE PLAN REVIEW

Land Use: Under the City of Woodland Comprehensive Plan, as established in 2016, the purpose and primary goal of our established Comprehensive Plan Land Use Map is to protect and enhance the character and long-term stability of the city through current standards for land development and subdivision utilizing proper and clear zoning policy.

Finding 61: The proposed development is located within the Highway Commercial district as defined by the Comprehensive Plan, the purpose of which is to designate areas primarily for commercial uses primarily aimed at providing motor-vehicle access and/or convenience.

Conclusion: Proposed development under consideration is proposed as a 1,173 sf modular office building, which is consistent with its highway commercial (C-2) zoning designation within the Comprehensive Plan Land Use Map.

Transportation: Under the Comprehensive Plan's Transportation outline, the primary goal of the established transportation planning process is to facilitate the implementation and expansion of a convenient, safe, and efficient transportation system that promotes the mobility of people and goods within and through the city.

Finding 62: The proposed development would offer road access as well as promote existing commercial transportation routes within the City of Woodland through bringing in new customers and promoting shared use of existing 'Belmont Loop' business park per goal T1.

Finding 63: Proposed development is located in an established 'Business Park' located approximately half a mile from Exit 22 off of Interstate 5, providing easy access to the property from customers entering Woodland off of I5 as intended within 'Highway Commercial' zoning districts, as well as minimize present and future strain on Woodland Public Roadways by utilizing T1.4 to consolidate access to properties along State highways and arterial roads in order to maximize capacity and better direct traffic patterns.

Conclusion: Proposed development under consideration is consistent with the goals and policies outlined within the Comprehensive Plan's Transportation outline.

Economic Development: Under the Comprehensive Plan's Economic Development Outline, the primary goal of the established economic development planning process is to continue to foster economic growth within those industries that have sustained the community and to foster re-investment in the city center, with the intention of balanced economic growth.

Finding 64: Goal EC1 of the City of Woodland Comprehensive plan is to emphasize the diversification of the City's economy while providing a balanced commercial growth pattern.

Finding 65: Proposed development is intended to serve as office space for a modular home company, and is located within an existing commercial complex with a mix of commercial uses, including a fitness center, office center, Veterinary hospital, chiropractic office, and an automobile repair center. Other uses within the general area include a gas station, fast food restaurants, and an auto licensing center.

Finding 66: The proposed development is in line with providing a balanced economy, as it would promote diversification of our economic balance following recent major residential and industrial developments while also attracting more business to the local economy through its proximity to the I-5 corridor.

Conclusion: Proposed development under consideration is consistent with the goals and policies of the Comprehensive Plan's Economic Development outline.

Environment: The primary goal of the Comprehensive plan's Environmental outline is to ensure that the City of Woodland remains an effective steward of the environment, protects critical areas, and conserves land, air, water, cultural, and energy resources.

Finding 67: The proposed development has been submitted for a SEPA review, as well as generally providing required environmental protection documentation as outlined in the Woodland Municipal Code.

Conclusion: Proposed development under consideration is consistent with the goals and policies of the Comprehensive Plan's Environmental outline.

IV. ENVIRONMENTAL REVIEW

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request. This Determination of Non-significance (DNS) is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS.

V. DECISION

Per WMC 19.08.030, the above application for the preliminary Site Plan Review has been **APPROVED WITH CONDITIONS** by the City of Woodland's Development Review Committee (DRC) based on the criteria and standards outlined in Woodland Municipal Code (WMC). See *Section IV for conditions of approval.*

VII. CONDITIONS OF APPROVAL

1. The following impact fees have been estimated based on the first phase of the preliminary application and will be due at time of building permit issuance:
 - a. Fire Impact Fees:
 - i. Commercial: \$612 (\$.51 per square foot of commercial space).
 - b. Transportation Impact Fees:
 - i. Commercial – 1.79 peak hour trips X \$838 per trip = \$1500.02.
2. All impact fees are charged with building permit issuance. All provided calculations are estimated and subject to change.
3. Half street improvements will be required to be designed and installed consistent with city engineering standards. Construction standards may be found: <https://www.ci.woodland.wa.us/publicworks/page/construction-standards>.
4. Final landscaping plan provided for review must identify at least one proposed street tree to be planted within the Right of Way (RoW) alongside the sidewalk.
5. All proposed street trees within the development must be of an approved street tree. A list of acceptable street trees can be found online: <https://www.ci.woodland.wa.us/publicworks/page/construction-standards>.
6. A final utility plan is required with civil plan submittal. Final utility plans must show proposed location, size, connection points to existing public systems and terminus points for sanitary sewer, water, and stormwater drainage. Public and private easements for all utilities shall be indicated.
7. Water and sewer connection fees must be paid prior to connection to the City's public sewer and water systems.
8. Any future expansion of development will require an active critical area permit and mitigation report and will require buffer modification measures per WMC 15.08.400. Buffer reduction required for proposed office building has been deferred to such a time the applicant wishes to pursue full development.
9. A final erosion control plan will be required with final engineering plans. The applicant is required to install and maintain erosion control measures per the best management practices as outlined in WMC 15.10.
10. A Stormwater Technical Information Report (TIR) is required that complies with WMC 15.12 and the 1992 Stormwater Management Manual for the Puget Sound Basin as adopted by the City of Woodland.
11. Proposed building height must meet the minimum height of 15 feet within the Highway Commercial district, as measured from grade to the average height of the highest gable. Such revisions shall be submitted alongside civil plans for review.

12. A canopy and/or awning covering a minimum of 60% of any façade that provides an entrance is required, and dimensions should be shown on all relevant plans.
13. Applicant shall provide relevant detail and dimensions of all proposed windows.
14. Any curb cuts, road improvements, and/or other work to be done in the Right-of-Way will require an approved Right-of-Way permit.
15. Bicycle parking infrastructure shall be added to the plan in accordance with WMC 17.36.130(M)(4).
16. A separate landscaping plan meeting the standards of WMC 17.36.130(N) must be submitted with civil plan submission, prior to building permit submittal, and landscaping proposed must be installed prior to occupancy.
17. All trash and service area must be fully screened from public view per WMC 17.36.130 (P).
18. A final photometric lighting plan is required with Civil Engineering submission. Lighting must be directed or shielded so as not to cast glare onto adjacent properties or roadways.
19. All roof mounted mechanical equipment must be screened from view per WMC 17.36.130(H).
20. Proposed signs require a separate sign permit.
21. All proposed signs must comply with the standards of WMC 17.52.070 governing signage in commercial districts.
22. The applicant will be responsible for ensuring that their operation is complying with all performance standards of WMC 17.48 (hazards and nuisances including sound level, vibration, air emissions, smoke, dust, odors, industrial wastes, fire hazards, heat, glare, radioactivity and radio transmitters).
23. It is the applicant's responsibility to ensure site plan(s) have been submitted to and approved by CCFR. Include any revisions required by CCFR with the civil engineering submission. All work subject to field inspection and correction as identified at the time of the on-site inspection; all work shall be compliant with the applicable standards and codes; to include the adopted edition of the International Fire Code and the City's Municipal Code.
24. Building/construction plans must be submitted to CCFR separately, along with fire alarm and/or fire sprinkler alterations. It is the responsibility of the applicant to comply with any and all conditions placed upon the development by CCFR as the City of Woodland will not approve any building occupancy without CCFR approval.
25. Per Washington State Code, at least ten percent of the development's parking spaces (rounded up) must consist of spaces with EV charging infrastructure. Proposed development will require one EV parking space to be indicated on final plan submission, and to be installed.
26. Building permit(s) will be required, including for placement of modular office, foundation, and attachment of the modular office to the foundation.
27. Applicant is responsible for verification of occupancy and occupant load at the time of building permit application.

28. It is the applicant's responsibility to make any relevant revisions based on provided engineering comments. Refusal to address concerns brought up within the provided engineering notes, as well as further feedback provided as a part of the Civil review process, may lead to delay of approval as well as increased financial costs. If the applicant believes any comments were made in error, these concerns should be brought up so they can be addressed.
29. Applicant shall provide responses acknowledging and responding to (if required) the submitted engineering comments with their submission for Civil Review, and any subsequent review.
30. Applicant is responsible for submitting a revised site plan alongside proposed final civil engineering plan(s) at Civil Review. Civil review packet should include all documents required to document the applicant's compliance with listed conditions of approval, as well as all revised engineering plans reflecting provided engineering comments. The civil review application can be found: <https://www.ci.woodland.wa.us/planning/page/civil-review-submission>.

Following final, civil review and engineering approval, submit two (2) copies of full sized and one (1) copy of reduced size (11" x 17") of the approved civil plans (including the final site plan and landscaping plan). In addition, submit an electronic version of the approved plans including AutoCAD and .pdf formats.

VI. APPEAL PROCEDURE

As per WMC 19.08.020 and 19.08.030, this Notice of Decision may be appealed to the Hearing Examiner within 14 days of the date this decision is issued. The appeal with grounds for appeal in writing shall be submitted to the Community Development Department **by 5:00 p.m., June 15th, 2022.**

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Woodland, WA 98661
lukaczerd@ci.woodland.wa.us

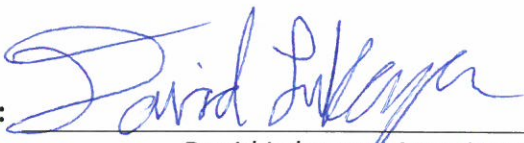
VII. NEXT STEPS

If there is no appeal to the decision, the applicant may move forward to develop the site.

- Submit final civil plans addressing the conditions above. Include Woodland standard details for water, sewer, erosion control, etc. as required to support the civil design when you submit drawings for final civil approval.

- a. The details can be found at www.ci.woodland.wa.us/departments/public-works/standards.php.
 - b. Submit final civil plans to: https://woodlandwa.seamlessdocs.com/f/civil_review
- Once civil plans are approved:
 - a. Upload approved plans to Clark County Fire and Rescue for electronic signature: www.clarkfr.org. Print the plans once signed.
 - b. Contact Public Works to arrange for signature: 360-225-7999. Then, bring plans signed by Clark County Fire and Rescue to Public Works for signature.
 - c. Provide a .pdf to Public Works of signed plan set.
- Submit building, grading, and sign permits online: www.ci.woodland.wa.us/documents/
 - a. Contact Janice Fisher, Permit Technician, for assistance: 360-225-7299.
 - b. Pay any outstanding professional consulting services per Woodland Municipal Code, Ordinance 1097.
- Schedule a pre-construction meeting before beginning any construction activities. Contact Public Works at 360-225-7999 to schedule.
- Install all required landscaping and irrigation prior to applying for final occupancy.
- Submit one full-sized and one copy of reduced size (11" x 17") as-built drawings. In addition, submit a CD/thumb drive containing the as-built drawings in AutoCAD and pdf formats prior to applying for final occupancy.

Date: 6/1/2022

Signature: 
 David Lukaczer, Associate Planner

cc: Applicant
 Parties of Record
 File
 Website
 Mayor
 City Administrator

Planning Commission

ATTACHMENTS
 A. Site Plan

Attachment A
Site Plan

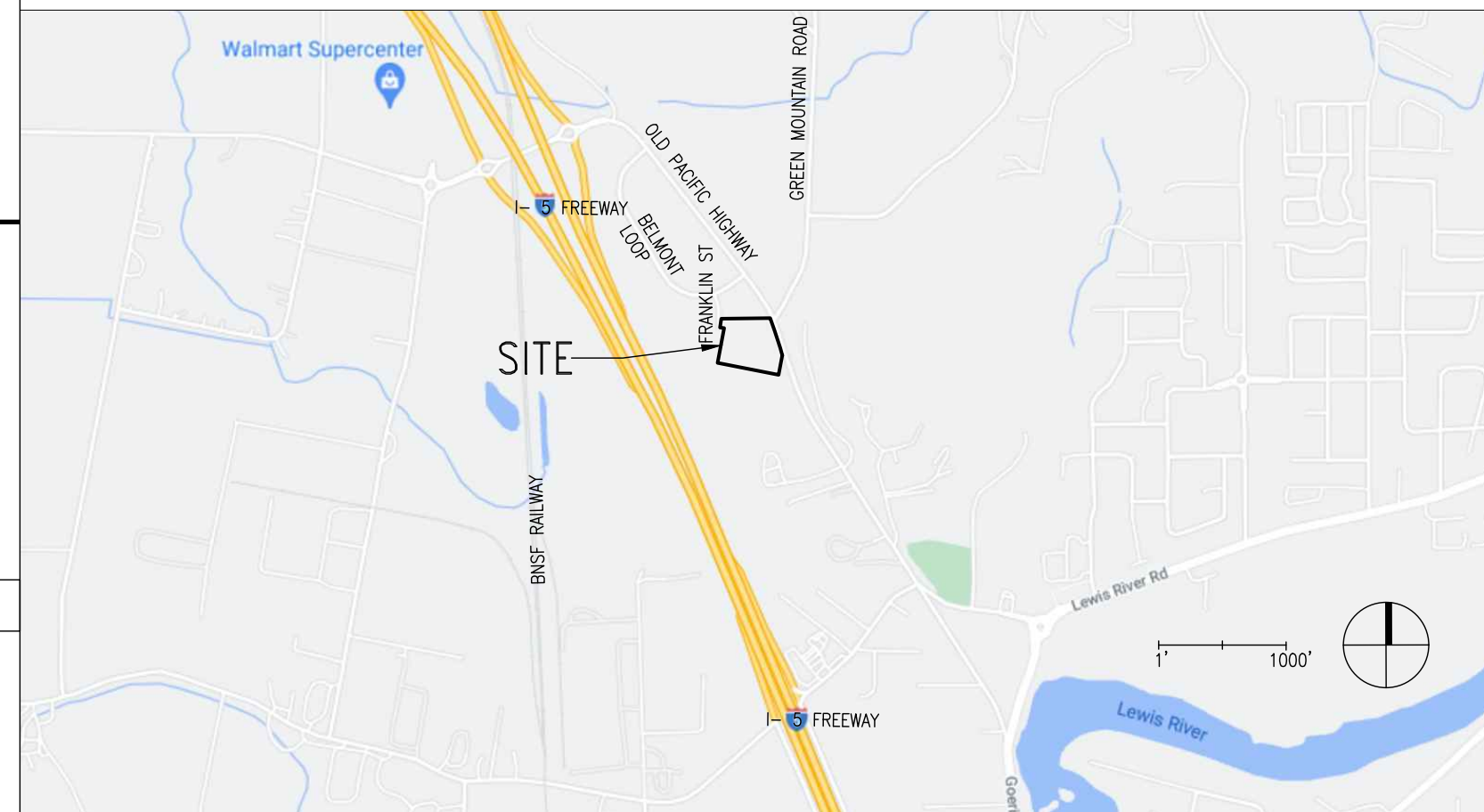
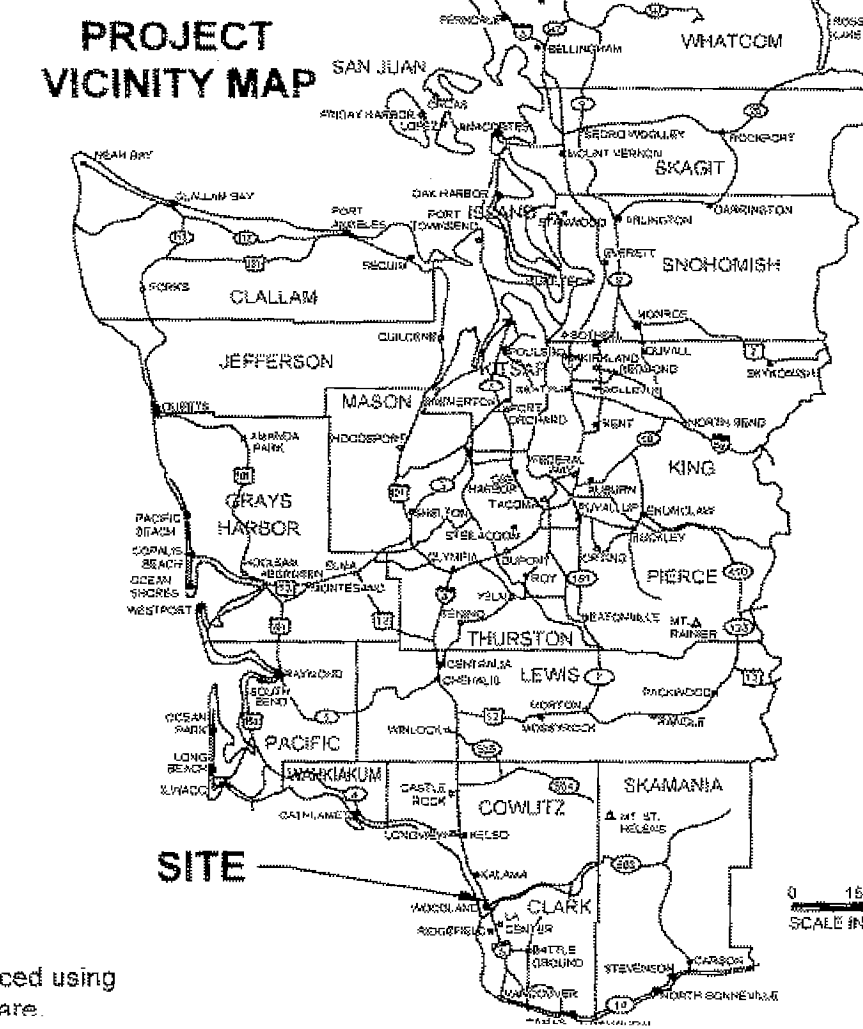
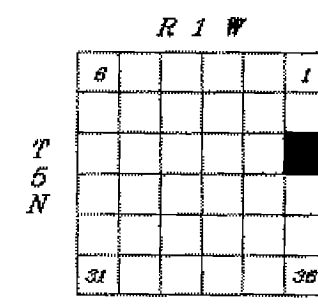
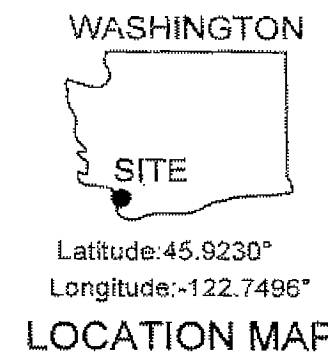
Belmont Loop

BELMONT LOOP
1838 FRANKLIN ST
WOODLAND, WA 98674

RENDERING



VICINITY MAP



PROJECT INFORMATION

ARCHITECT
MCGUIRL DESIGNS AND ARCHITECTURE LLC
811 E BURNSIDE, SUITE 211
PORTLAND, OREGON 97214
INFO@MCGUIRDESIGNS.COM
(503) 512.0522

OWNER INFORMATION
PACIFIC HOMES DIRECT LLC - JEFF RAUTH
500 GRADE ST.
KELSO, WA 98626
JEFF.ERS@LIVE.COM

DRAWING LIST

Sheet Number	Sheet Title
G000	COVER SHEET
G011	PROJECT NOTES
A061	SITE PLAN
A063	TOPOGRAPHIC MAP
A101	FLOOR PLAN
A201	BUILDING ELEVATIONS

SITE INFORMATION

ADDRESS
1838 FRANKLIN ST.
WOODLAND, WA 98674

LEGAL DESCRIPTION
SECTION 13, TN-5N, R1W, LOT 13, PARCEL
50728

PROPERTY ID
50728

LOT
7 & 8

BLOCK
3

SITE AREA
4.08 ACRES, 178,051 SQ. FT.

ZONING
C-2 HIGHWAY COMMERCIAL DISTRICT

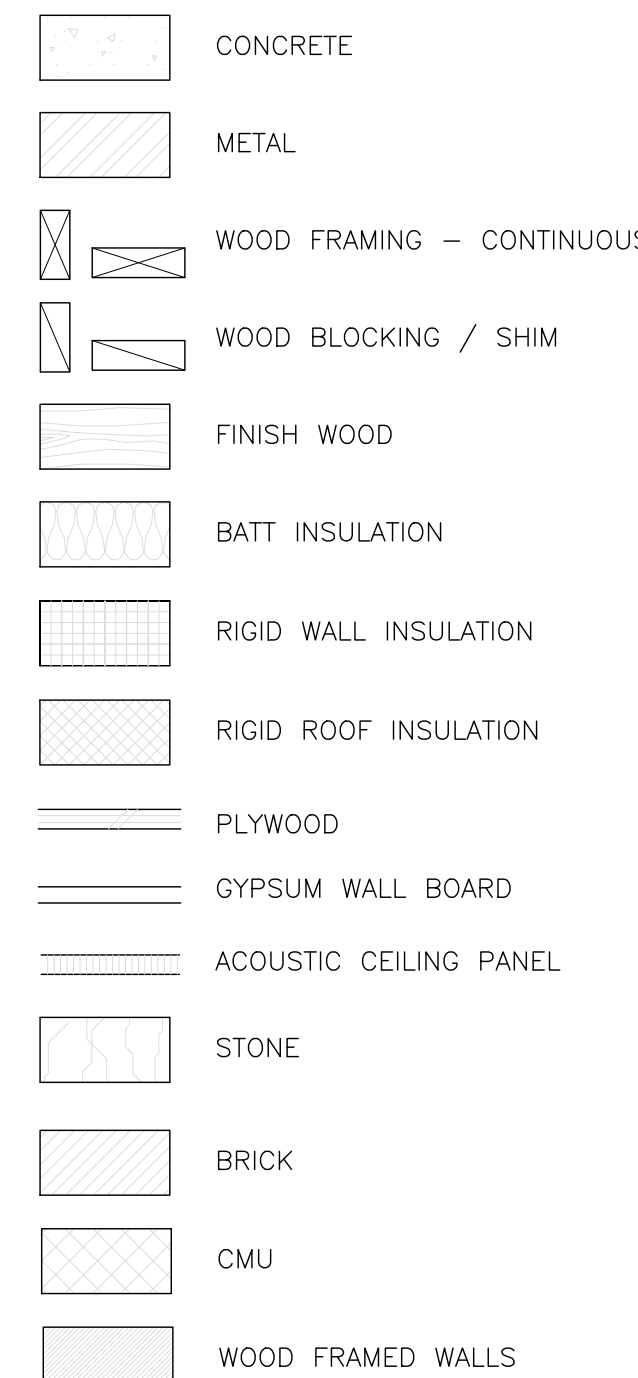
PROJECT DESCRIPTION

PLACE A 1,173 SF MODULAR OFFICE BUILDING AT THE FRONT CORNER OF THIS SITE.

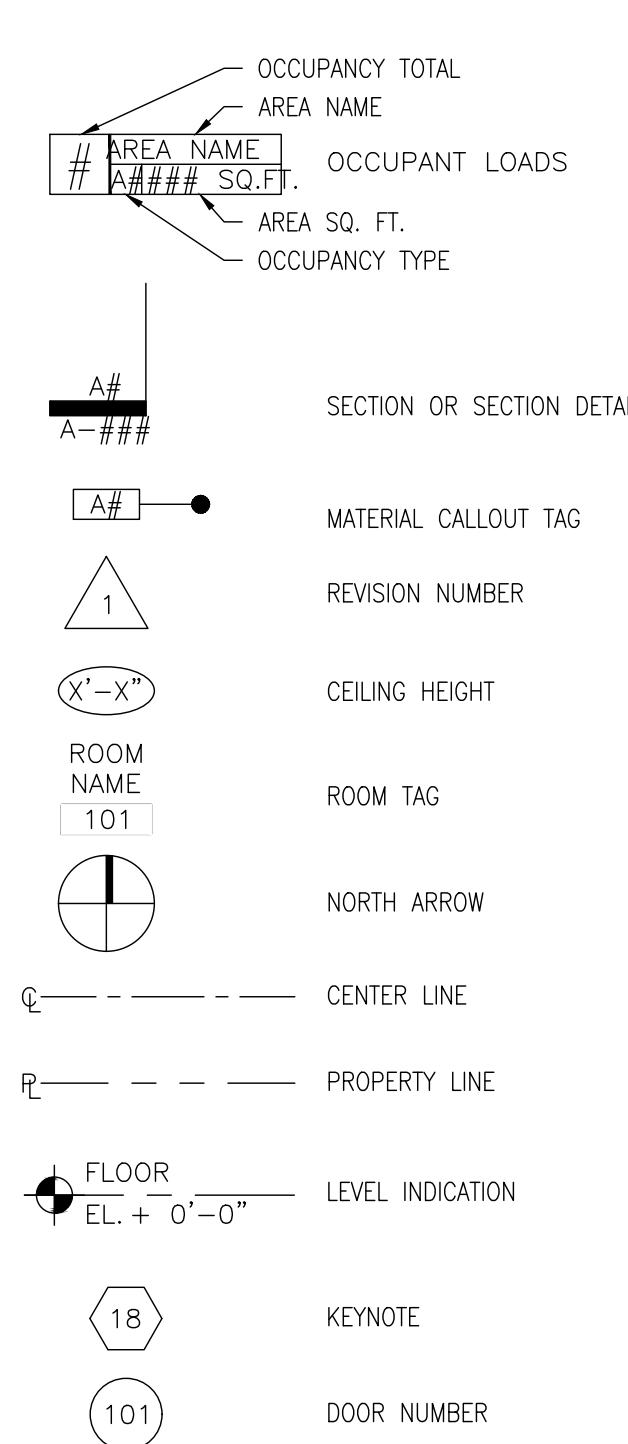
ABBREVIATIONS

A.B.	ANCHOR BOLT	CONTR.	CONTRACTOR	ELEVATION	HEATING/VENTILATING/COOLING	OUTSIDE DIAMETER	SC ALUM	SOLID CORNER	VEST.	VESTIBULE
ABV	ABOVE	CORR.	CORRIDOR	F.H.	FIRE HYDRANT; FULL	OFF.	OFFICE	ALUMINUM	VB	VINYL BASE
ACC	ACCESS	C.P.	CONCRETE PAPER	HEIGHT	FIRE HOSE CABINET	O.H.	OVERHEAD	SCHEDULE	VCT.	VINYL COMPOSITION
ACOUST.	ACOUSTICAL (ALSO ACST.)	CPT	CARPET; CARPETED	FHC	FLAT HEAD MACHINE	OPH	OPPOSITE HAND	SECT.	VT	VINYL TILE
A.C.P.	ASPHALT CONCRETE PAVEMENT	CRS	COURSE; COURSES	F.H.S.	FIRE HOSE STATION	I.D.	INSIDE DIAMETER	SECT.	VEST.	VESTIBULE
ACT	ACoustICAL TILE	CTS.	COUNTERSUNK	F.H.W.S.	FINISH TO FINISH	INT.	INCLUDE; INCLUDED;	S.G.	SHELF	VERIFY IN FIELD
A.D.	AREA DRAIN	CTR.	CERAMIC TILE	FIN.	FINISH	INSUL.	INCLUDING	SHR.	SHOWER	VENEER PLASTER
ADD	ADDITIVE	C.W.C.	CHILLED WATER	F/F	FACE OF FINISH	INT.	INTERIOR	SHTG	SHEATHING	W
ADJ.	ADJUSTABLE	CABINET	CUBIC FEET	FF	FACE OF FINISH	INV	INVERT	SIM.	SIMILAR	W/
AESS	ARCH. EXPOSED STRUCTURAL STL.	C.U.F.T.	CLEAR VERTICAL GRAIN	FL.FLR.	FLOOR; FLOORING	J.B.	JUNCTION BOX	SM	SHEET METAL	W.C.
AFF	ABOVE FINISHED FLOOR	C.V.G.	CEILING	FLASH	FLASHING	J.F.	JOINT FILLER	SMS	SHEET METAL	WD.
AGG	AGGREGATE	DBL.	DOUBLE	FLOOR.	FLUORESCENT	JF	JOINT FILLER	WP	WIDE FLANGE	WG
A.I.B.	AIR AND MOISTURE BARRIERS	DEM.	DEMOLITION	F.O.C.	FACE OF CONCRETE	JT	JOINT	WG	WIRED GLASS	WL
ALT	ALTERNATE	DET	DETAIL	F.O.F.	FACE OF FRAMING	KIT.	KITCHEN	S.P.M.	SINGLE-PLY MEMBRANE	W/O
ALUM.	ALUMINUM	D.F.	DOUGLAS FIR	F.O.I.S.	FURNISH BY OWNER KIT.	K.O.	KNOCK-OUT	P.LAM.	PLASTER	WP
AP	ACCESS PANEL	DIA.	DIMETER	CONTR.	CONTRACTOR			PLAS.	PLASTER	WR
APPROX.	APPROXIMATE	D.M.	DIMENSION	F.O.M.	FACE OF MASONRY	LAM.	LAMINATE,	PLYWD.	PLYWOOD	WS
ARCH(T)	ARCHITECTURAL	DISP.	DISPENSER	F.O.S.	FACE OF STUDS	LAV.	LAVATORY	P.NL	PANEL	W
A.S.L.	ABOVE SEA LEVEL	DL	DEAD LOAD	FRFP.	FIREPROOF	L.F.	LINEAL FEET	PR.	PAIR	SS.
ASPH.	ASPHALT	DN.	DOWN	FRPL.	FIREPLACE	L.F.	LIVE LOAD	PSF	POUNDS PER SQUARE FOOT	ST.
AUTO	AUTOMATIC	D.O.	DOOR OPENING	FR.	FRAME	LL	LOW POINT	PSI	POUNDS PER SQUARE INCH	STD.
BD	BOARD	D.P.	DAMP-PROOFING	FT.	FOOT OR FEET	LOC.	LOCATION	PT.	POINT	STL.
BD.	BITUMINOUS	DR.	DRY STANDPIPE	FTS.	FOOTING	LT.	LIGHT	PTN.	PARTITION	STRUC.
BLDG.	BUILDING	DS.	DOWNSPOUT	FUR.	FURRING	MAS.	MASONRY	PVC	POLYVINYL CHLORIDE	SUSP.
BLK.	BLOCK	D.S.P.	DRAIN TILE	FUT.	FUTURE	MAX.	MAXIMUM	P.WD	PAINTED WOOD	SYM.
BLKG.	BLOCKING	DT.	DISHWASHER	DWG.	DRAWING	F.V.	FIELD VERIFY	M.B.	MACHINE BOLT	Q.T.
BM.	BEAM	E.	EAST	GA.	GAUGE	M.C.	MEDIUM DENSITY	MDO	MEDIUM DENSITY OVERLAY	QTY.
BOT.	BOTTOM	EA.	EACH	GAL.	GALLON	MECH.	MECHANICAL	R	RISER	RA
B/B.O.	BOTTOM OF...	EB	EXPANSION BOLT	G.C.	GENERAL CONTRACTOR	MEMB.	MEMBRANE	RAD.	RADIUS	R.B.
BSMT	BASEMENT	E.J.	EXPANSION JOINT	G.L.	GLUE-LAMINATED	MEZZ	MEZZANINE	R.D.	RUBBER BASE	R.D.
BRG	BEARING	ELC.	ELEVATOR	G.S.	GLASS	MFR.	MANUFACTURER	REF.	REFERENCE	REF.
BUR	BUILT UP ROOFING	EMER.	EMERGENCY	GR.	GRADE	MIN.	MINIMUM	REFR.	REFRIGERATOR	REIN.
CAB.	CABINET	ENCL	ENCLOSURE	GWB	GYP	GYP.	GYP.	MISC.	MISCELLANEOUS	MNT
CB	CATCH BASIN	E.O.	EDGE OF	H.B.	HOSE BIBB	HDR	HEADER	HOO	HIGH DENSITY OVERLAY	N.
CC	CENTER TO CENTER	EQ.	EQUAL	H.C.	HOLLOW CORE	HDR	HEADER	HOO	HIGH DENSITY OVERLAY	N/A
CEM.	CEMENT	EQU.	EQUIPMENT	H.D.	HOLLOW CORE	HDR	HEADER	HOO	HIGH DENSITY OVERLAY	N.C.
CG	CERAMIC	EXP.	EXPANDED	HDR	HEADER	HOO	HOSE BIBB	HOO	HIGH DENSITY OVERLAY	N.O.
CONC.	CONCRETE	EXP.	EXPANDED	HDR	HEADER	HOO	HOSE BIBB	HOO	HIGH DENSITY OVERLAY	N.O.
CONSTR.	CONSTRUCTION	EXP.	EXPANDED	HDR	HEADER	HOO	HOSE BIBB	HOO	HIGH DENSITY OVERLAY	N.O.
CONT.	CONTINUOUS	EXP.	EXPANDED	HDR	HEADER	HOO	HOSE BIBB	HOO	HIGH DENSITY OVERLAY	N.O.

MATERIALS LEGEND



SYMBOL LEGEND



DESCRIPTION DATE
REVISIONS

CONSULTANT

210493 PROJECT NO.

MCGUIRL DESIGNS & ARCHITECTURE
www.mcguirldesigns.com
T: (503) 512.0522
info@mcguirldesigns.com

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05.27.2021 DATE

COVER SHEET

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DESIGN INTENT

THE DRAWINGS ARE INTENDED TO DEFINE AND ESTABLISH THE PHYSICAL REQUIREMENTS OF THE PROJECT, I.E., THE DESIGN, LOCATION AND DIMENSIONS OF THE WORK BASED ON RECOGNIZED STANDARDS EVEN IF NOT ACTUALLY SHOWN BUT ARE REASONABLY INFERRED. ALL WORK IS "NEW" UNLESS OTHERWISE NOTED "EXISTING."

GENERAL DOCUMENT NOTES

- 1. NOTIFY ARCHITECT IN WRITING, OF ANY DISCREPANCIES PRIOR TO PRECEDING WITH WORK.
2. DO NOT SCALE DRAWINGS.
3. ALL WORK SHALL CONFORM TO THE STANDARDS OF ALL APPLICABLE BUILDING CODES, ORDINANCES, REGULATIONS & BY-LAWS.

DIMENSIONING

- 1. CONTRACTOR RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON THE JOB AND INFORMING ARCHITECT OF ANY DISCREPANCIES.
2. DIMENSIONS SHOWN TAKE PRECEDENT.
3. CONTRACTOR TO COORDINATE DIMENSIONS WITH RELATED WORK SHOWN ON CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND ALL OTHER DRAWINGS AS APPLICABLE.

DEMOLITION NOTES

- 1. DEMOLITION MEANS AND METHODS TO CONFORM TO THE RULES AND REGULATIONS OF THE PRESIDING JURISDICTION.
2. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS.
3. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSING OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR.

GENERAL CONSTRUCTION NOTES

- 1. CONTRACTOR SHALL COORDINATE WORK AND SCHEDULE WITH OWNER.
2. CONTRACTOR SHALL PROVIDE TO OWNER PROOF OF ALL INSURANCE AND LICENSURE THAT IS REQUIRED TO PERFORM THE WORK BY CONTRACTOR AND SUBCONTRACTORS.
3. CONTRACTOR AND SUBCONTRACTORS SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF WORK.

MATERIAL NOTES

- 1. SPECIFIED MANUFACTURER'S NAMES AND PRODUCTS ARE USED AS A BASIS OF DESIGN. ANY SUBSTITUTIONS WILL REQUIRE APPROVAL FROM ARCHITECT, DESIGNER, ENGINEER, OR PRESIDING JURISDICTION.
2. ALL PRODUCTS AND MATERIALS SHALL BE STORED, ACCLIMATED, APPLIED, PLACED, ERECTED OR INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

SHOP DRAWINGS

- 1. METAL FLASHINGS
2. FABRICATED METAL WORK
3. CUSTOM WOOD WORK
4. CABINETRY

ENERGY REQUIREMENTS

- FENESTRATIONS
1. U-FACTORS OF FENESTRATION PRODUCTS (WINDOWS, DOORS AND SKYLIGHTS) ARE DETERMINED IN ACCORDANCE WITH NFRC 100 BY THE MANUFACTURER OR ARE DETERMINED USING THE COMMERCIAL SIZE CATEGORY VALUES LISTED IN CHAPTER 15 OF THE ASHRAE HANDBOOK OF FUNDAMENTALS, TABLE NO.4 AND SHALL INCLUDE THE EFFECTS OF THE WINDOW FRAME, THE TEMPORARY LABEL AFFIXED TO THE FENESTRATION PRODUCTS MUST NOT BE REMOVED PRIOR TO INSPECTION.
ENVELOPE
1. SEALING OF THE BUILDING ENVELOPE. OPENINGS AND PENETRATIONS IN THE BUILDING ENVELOPE ARE SEALED WITH CALKING MATERIALS OR CLOSED WITH GASKETING SYSTEMS COMPATIBLE WITH THE CONSTRUCTION MATERIALS AND LOCATION.

SOILS & SITE PREPARATION

- 1. CONTRACTOR TO COMPLY WITH PRESIDING JURISDICTION'S RULES AND REGULATIONS REGARDING UTILITY LOCATIONS AND GROUND WORK
2. CONTRACTOR TO IMPLEMENT WORK SPECIFIED WITHIN GEOTECHNICAL REPORT ASSOCIATED WITH THIS PROJECT
3. OBTAIN AND BECOME THOROUGHLY FAMILIAR WITH THE CONDITIONS AND RECOMMENDATIONS DESCRIBED IN THE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING REPORT.

LANDSCAPING

- 1. CONTRACTOR TO REVIEW SOILS & SITE PREPARTION STANDARDS PRIOR TO COMMENCEMENT OF WORK.
2. INSTALLATION OF PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE AMERICAN NURSERY AND LANDSCAPING ASSOCIATION STANDARDS AND THE FOLLOWING STANDARDS:
3. PLANT MATERIALS SHALL BE NURSERY STOCK OR THE EQUIVALENT QUALITY AND INSTALLED TO INDUSTRY STANDARDS OR BETTER; AND

ROUGH CARPENTRY

- 1. ALL WALLS TO BE PLUMB AND FLOORS TO BE LEVEL U.O.N.
2. ANY ABNORMAL WARPING IN WOOD ASSEMBLIES THAT WILL AFFECT FINISHED PRODUCT SHALL BE CORRECTED AT NO ADDITIONAL COST
3. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SQUARE. U.O.N. ANY CORRECTIONS REQUIRED WILL BE DONE AT NO ADDITIONAL COST.

PLUMBING

- 1. SCOPE
A. SUPPLY ALL LABOR, TRANSPORTATION, MATERIALS, ETC. FOR INSTALLATION OF COMPLETE PLUMBING SYSTEM TO OPERATE ACCORDING TO THE BEST PRACTICES OF THE TRADE AND INCLUDING BUT NOT LIMITED TO: FIXTURES, HOT AND COLD WATER PIPING, EXHAUST FLUES, COMBUSTION GAS PIPING, LOG LIGHTERS, DRAINS, SOIL AND VENT PIPING, HOT WATER HEATERS, PIPE INSULATION, METERS, VALVES, VAULTS, ETC. ALL MATERIALS, WORK, ETC. TO COMPLY WITH ALL REQUIREMENTS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION INCLUDING ALL COUNTY AND STATE ORDINANCES.
B. PROVIDE RUBBERIZED ASPHALTIC MEMBRANE MATERIALS AT ALL PENETRATIONS OF THE WATER - RESISTIVE MEMBRANE AT EXTERIOR WALLS.

MECHANICAL

- 1. SIZE AND LOCATION OF ALL PIPING AND OTHER MECHANICAL EQUIPMENT IS APPROXIMATE. CONTRACTOR SHALL SITE VERIFY THE EXACT LOCATION OF EXISTING AND CONSTRUCT ALL WORK FROM FIELD DIMENSION. CONTRACTOR SHALL MAKE ADJUSTMENTS NECESSARY TO ACCOMMODATE MINOR DEVIATION AT NO COST TO THE OWNER.
2. FINE (LIGHT) LINE WORK INDICATES EXISTING PIPING AND OTHER MECHANICAL EQUIPMENT. BOLD (HEAVY) LINE WORK INDICATES NEW PIPING AND OTHER MECHANICAL EQUIPMENT.

ELECTRICAL

- 1. SCOPE
A. SUPPLY ALL LABOR, TRANSPORTATION, MATERIALS, ETC. FOR INSTALLATION OF COMPLETE ELECTRICAL SYSTEM TO OPERATE ACCORDING TO THE BEST PRACTICES OF THE TRADE AND INCLUDING BUT NOT LIMITED TO: FIXTURES, APPLIANCES, WIRING, SWITCHES, OUTLETS, TELEVISION JACKS, SERVICES, GROUNDS, PERMITS PRIOR TO COMMENCEMENT OF WORK.
2. INSTALLATION:
A. ELECTRICAL SYSTEM INSTALLED ACCORDING TO LATEST VERSION OF N.E.C., LOCAL CODE, AND ENGINEER, WHICHEVER IS MORE STRINGENT.

FIRE SUPPRESSION

- 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE AND ADOPTED REGULATIONS INCLUDING BUT NOT LIMITED TO NFPA REQUIREMENTS, NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL FIRE PROTECTION MATERIALS, INSTALLATION PROCEDURES AND SYSTEM LAYOUTS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION. THE FIRE PROTECTION CONTRACTOR SHALL OBTAIN FIRE SPRINKLER PERMIT/FILE THE SHOP DRAWINGS AND HYDRAULIC CALCULATIONS WITH THE LOCAL AUTHORITY HAVING JURISDICTION AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THIS INSTALLATION.
2. FITTING AND HANGING DOORS:
2.1. EACH DOOR SHALL BE ACCURATELY CUT, TRIMMED, AND FITTED TO ITS RESPECTIVE FRAME AND HARDWARE WITH DUE ALLOWANCE FOR PAINTER'S FINISHES.

FINISH CARPENTRY

- 1. WORKMANSHIP:
1.1. ALL JOINTS SHALL BE TIGHT AND TRUE AND SECURELY FASTENED. CORNERS SHALL BE NEATLY MITERED, BUTTED, OR COPED, WITH NAILS SET AND SURFACES FREE OF TOOL MARKS.
1.2. WOOD WORK SHALL BE ACCURATELY SCRIBED TO FIT ADJOINING SURFACES.
1.3. ALL WORK SHALL BE MACHINED OR HAND SANDED, SHARP EDGES AND SPLINTERS REMOVED, AND COMPLETELY PREPARED FOR FINISH.

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BELMONT LOOP
1838 FRANKLIN ST
WOODLAND, WA 98674

Table with 2 columns: DESCRIPTION, DATE. Includes a REVISIONS section.

CONSULTANT

2104093 PROJECT NO.

MCGUIR DESIGNS & ARCHITECTURE
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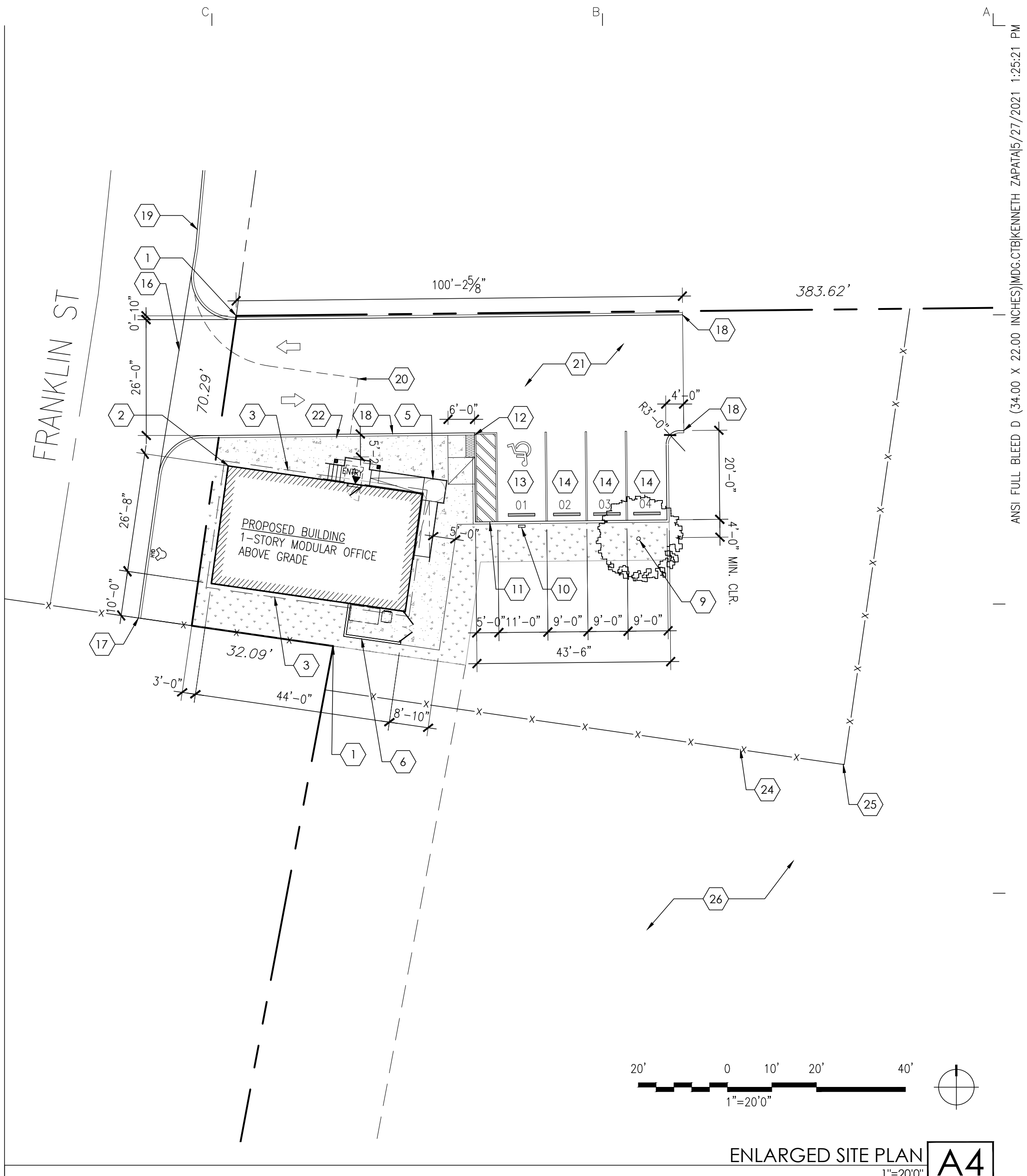
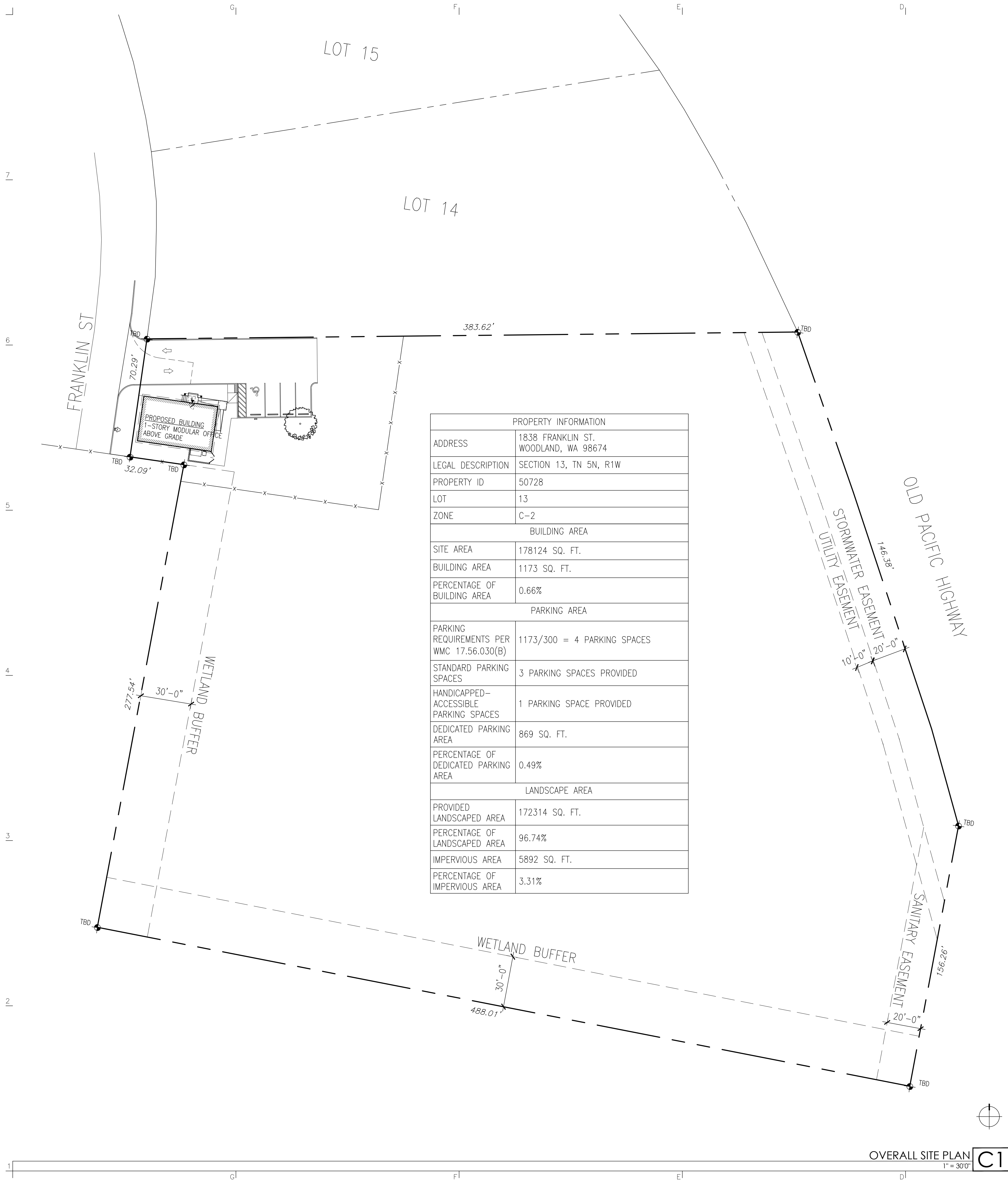
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PROJECT NOTES

G011

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LEGEND

FIRE HYDRANT	WATER METER / GATE VALVE	UNDERGROUND GAS
(E) POWER POLE	FIRE DEPARTMENT CONNECTION	(E) UNDERGROUND GAS
(E) SIGN	DOUBLE CHECK VALVE ASSEMBLY	UNDERGROUND POWER
(E) BOLLARD	SILT TRAP	POWER OVERHEAD
(E) TRAFFIC SIGNAL POLE		(E) POWER OVERHEAD
(E) LIGHT POLE		UNDERGROUND WATER
HOSE BIB		(E) UNDERGROUND WATER
		SANITARY SEWER
		(E) SANITARY SEWER
		STORM DRAIN

- KEYNOTES**
- PROPERTY LINE
 - LINE OF PROPOSED BUILDING AT GROUND LEVEL
 - ROOF OVERHANG
 - ENTRY AWNING
 - CONCRETE ADA RAMP PER 2009 IBC/WAC 51-50
 - ENCLOSURE AROUND TRASH AREA. WMC 17.36.130(P)(1)
 - (E) FENCE TO REMAIN
 - *NOT USED*
 - ONE PARKING AREA TREE PER 5 PARKING SPACES. WMC 17.36.130(O)(2)(B); ACER GINNALA FLAME AMUR MAPLE. 1.5" CALIPER.
 - ADA VAN PARKING STALL SIGN
 - ADA LOADING ZONE
 - ADA RAMP WITH DETECTABLE WARNING PATTERN
 - ADA VAN PARKING STALL
 - STANDARD PARKING STALL
 - (N) SIDEWALK PER CITY OF WOODLAND PUBLIC WORKS DETAILS
 - (N) COMMERCIAL DRIVEWAY PER CITY OF WOODLAND PUBLIC WORKS DETAILS
 - (N) 6" CURB PER CITY OF WOODLAND PUBLIC WORKS DETAILS
 - (N) 6" CURB ON PROPERTY
 - (E) 6" CURB
 - LINE OF (E) PAVEMENT
 - (N) PAVEMENT
 - CONCRETE WALKWAY
 - *NOT USED*
 - EROSION CONTROL HIGH VISIBILITY FENCE TO LIMIT OF DISTURBANCE LIMIT OF EXISTING GRAVEL
 - RE: LAWSON LAND SERVICES SURVEY 8/24/2004 PAGE 14 OF ESLR (ECOLOGICAL LAND SERVICES REPORT)
 - (E) LANDSCAPE TO REMAIN

- GENERAL NOTES**
- SITE:**
- THE PROPOSED WATER SERVICE SHALL:
 - BE LOCATED AT THE STANDARD LOCATION BEHIND CURB IN THE FURNISHING ZONE AND AT A MINIMUM 18" FROM THE PROPERTY LINE.
 - BE AT THE MINIMUM OF 3 FEET HORIZONTAL CLEARANCE (SKIN TO SKIN) TO OTHER EXISTING OR PROPOSED WATER SERVICE, CATCH BASINS, MANHOLES, UTILITY VAULTS AND ANY OTHER UTILITIES.
 - MEET THE HORIZONTAL CLEARANCE PER PWB STANDARD PLAN P-845.
 - NOT BE LOCATED IN ANY TYPES OF STORM SEWER FACILITIES LIKE SWALE, PLANTER BOX, ETC.
 - BE AT A MINIMUM OF 5 FEET HORIZONTAL CLEARANCE (SKIN TO SKIN) TO EXISTING/PROPOSED SANITARY SEWER LINE, POWER POLE, STREET LIGHT, SWALE, PLANTER BOX, DRIVEWAYS, EXISTING/PROPOSED JUNCTION BOX OR UTILITY VAULTS AND ANY ABOVE GROUND STRUCTURES.
 - WORK WITHIN THE RIGHT-OF-WAY TO BE DONE UNDER SEPARATE PERMITS
 - IF CONTRACTOR REQUIRES ADDITIONAL SITE ACCESS WHERE AN EXISTING CURB EXISTS, BUILT CURB RAMP PER DETAIL B5/A061
- REMOVALS:**
PERFORMED UNDER SEPARATE PERMITS
- LIGHTING:**
L1. WALL SCONCE LIGHT

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BELMONT LOOP
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DESCRIPTION	DATE

2104093 PROJECT NO.

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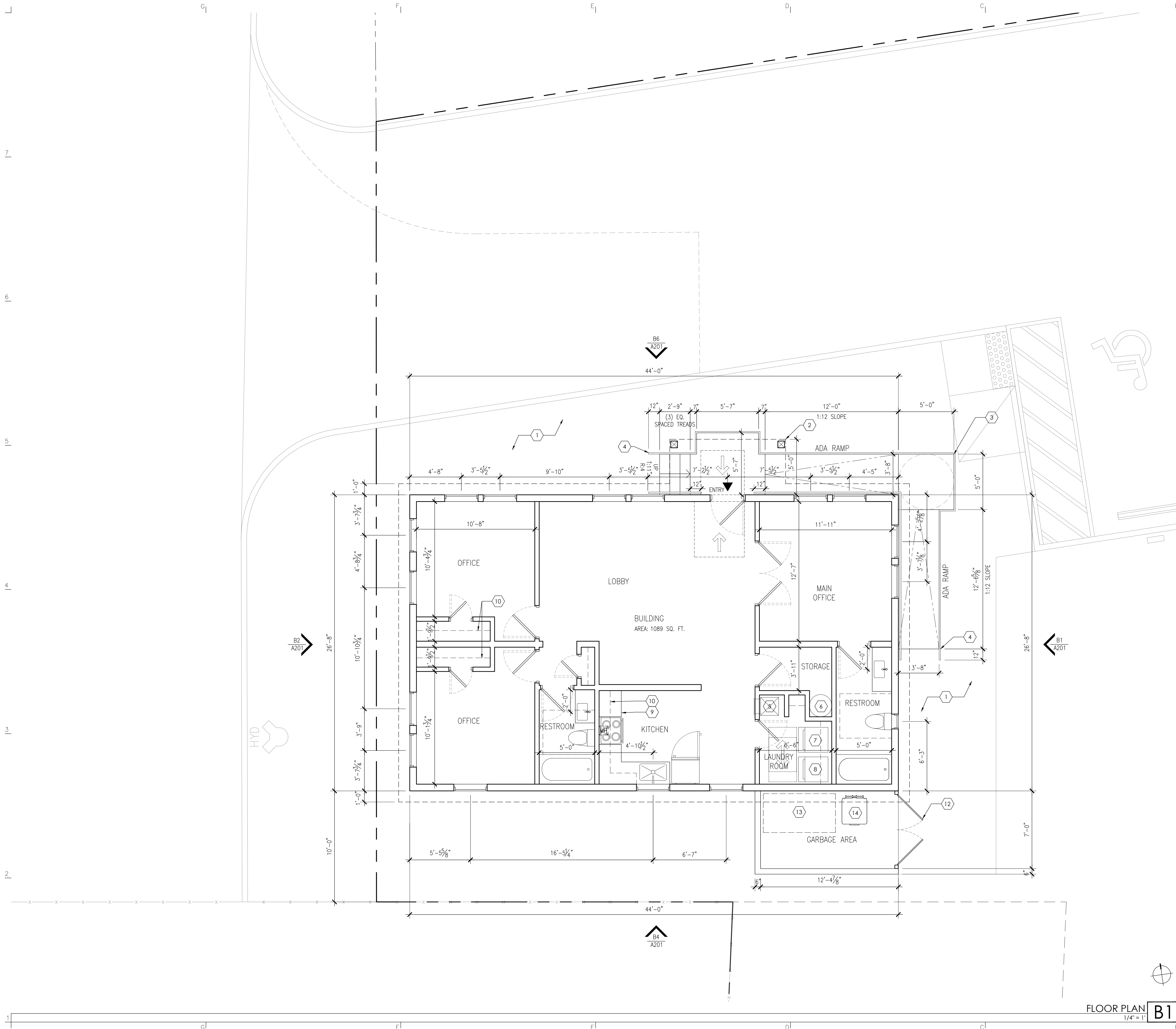
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05.27.2021 DATE

SITE PLAN

A061

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LEGEND

- WINDOW TAG
- DOOR TAG
- KEYNOTE TAG
- DOWNSPOUT

KEYNOTES

1. CONCRETE WALKWAY
2. ENTRY AWNING PER WMC 17.36.130(G)(2)
3. CONCRETE ADA RAMP PER 2009 IBC/WAC 51-50
4. HAND RAIL
5. FURNACE
6. WATER HEATER
7. WASHER
8. DRYER
9. COUNTER 36" A.F.F.
10. UPPER SHELF
11. ROOF ABOVE
12. PREFABRICATED GARBAGE ENCLOSURE
13. STANDARD GARBAGE DUMPSTER
14. STANDARD RECYCLING BIN

GENERAL NOTES

1. ALL EXTERIOR WALLS AND DEMISING WALL SHALL BE 2x6 FRAMING. REFER TO STRUCTURAL DRAWINGS.
2. ALL INTERIOR PARTITIONS SHALL BE 2x4 FRAMING @ 16" O.C.
3. SMOKE DETECTORS TO BE HARDWIRED W/ BATTERY BACKUP
4. VENT COOKTOP/RANGEHOOD DIRECT TO THE OUTSIDE
5. DRYER EXHAUST LENGTH TO BE 25' MAX FROM DRYER TO TERMINATION. REDUCE 2.5' FOR 45DEG BEND AND 5' FOR 90DEG BEND
6. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN EACH BEDROOM OR WITHIN 15 FEET OF EACH BEDROOM DOOR. BEDROOMS ON SEPARATE FLOOR LEVELS IN A STRUCTURE CONSISTING OF TWO OR MORE STORIES SHALL HAVE SEPARATE CARBON MONOXIDE ALARMS SERVING EACH STORY.
7. SMOKE ALARMS SHALL BE INSTALLED 1) ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM, 2) IN EACH ROOM USED FOR SLEEPING PURPOSES AND THAT THEY SHALL BE INTERCONNECTED.
8. ANY INSTALLATION DETAILS FOR FIRE AND LIFE SAFETY SYSTEMS (FIRE SPRINKLERS, FIRE ALARM SYSTEMS, FIRE PUMPS, UNDERGROUND FIRE LINES, FIXED EXTINGUISHING SYSTEMS, IN-BUILDING RADIO ENHANCEMENT SYSTEMS (IBAS), STATIONARY GENERATORS AND HAZARDOUS MATERIAL TANKS AND RELATED EQUIPMENT) ARE FOR REFERENCE ONLY, WITH FINAL INSTALLATION REQUIREMENTS TO BE DETERMINED DURING THE TRADE PLAN REVIEW PROCESS AT THE FIRE MARSHAL'S OFFICE.

FLOOR PLAN **B1**
1/4" = 1'

ANSI FULL BLEED D (34.00 X 22.00 INCHES)MCGUIR\KENNETH_ZAPARA\B/21/2021 1:25:27 PM

BELMONT LOOP
1838 FRANKLIN ST
WOODLAND, WA 98674

DESCRIPTION	DATE	REVISIONS

CONSULTANT

2104093 PROJECT NO.

MCGUIR DESIGNS & ARCHITECTURE
www.mcguirdesigns.com
T: (503)512.0522
info@mcguirdesigns.com

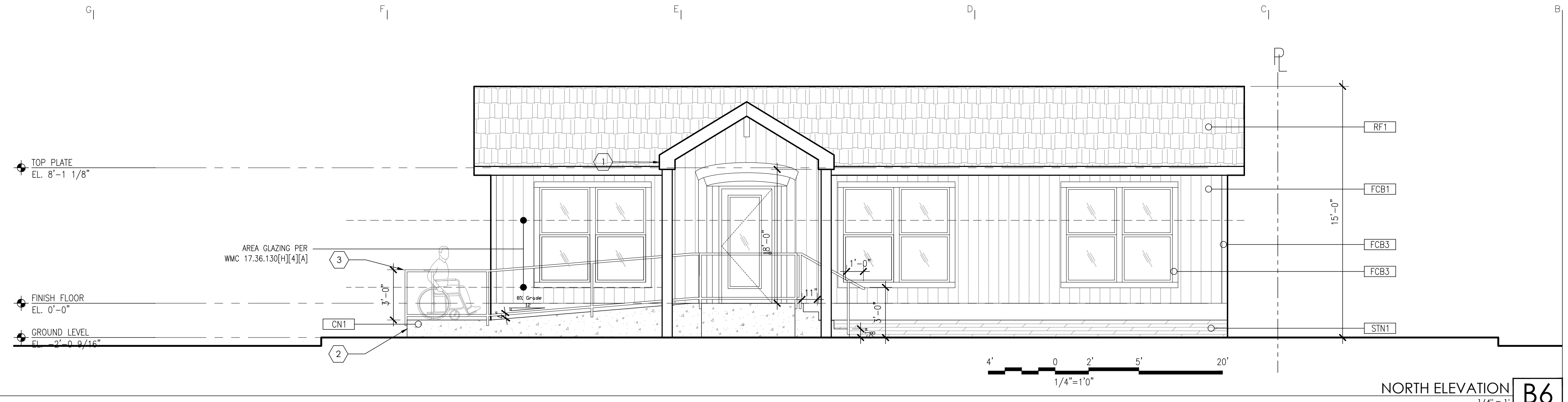
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05.27.2021 DATE

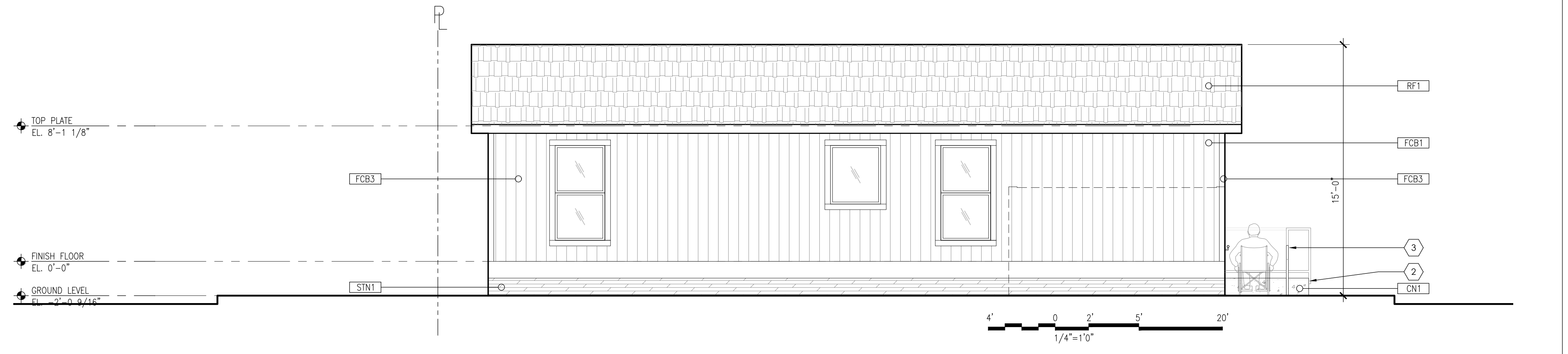
FLOOR PLAN

A101

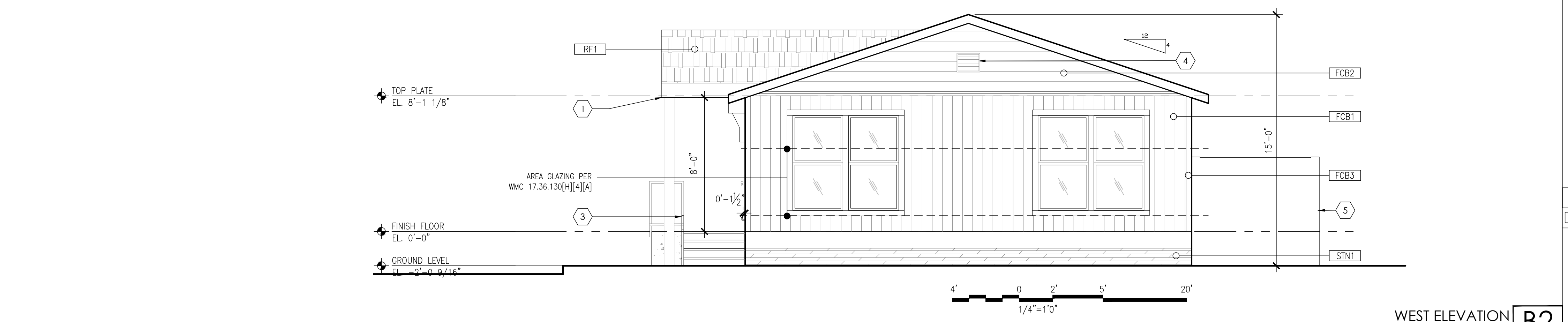
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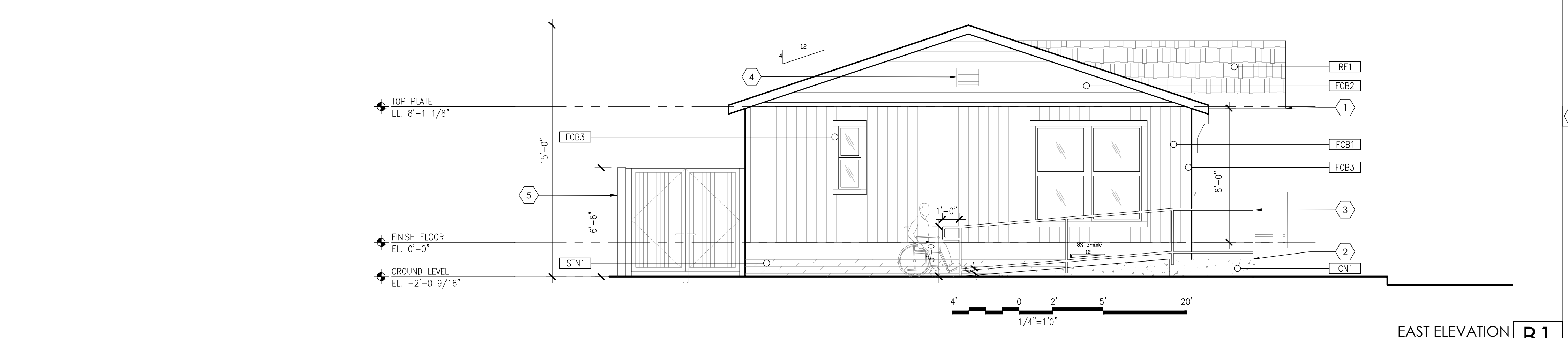
NORTH ELEVATION **B6**
1/4"=1'



SOUTH ELEVATION **B4**
1/4"=1'



WEST ELEVATION **B2**
1/4"=1'



EAST ELEVATION **B1**
1/4"=1'

MATERIALS LEGEND

AA##	DESCRIPTION
RF1	-CLASS C COMPOSITE SHAKE ROOF SHINGLES
WD1	-WOOD TRIM
CN1	-EXPOSED POURED IN PLACE CONCRETE
FCB1	-FIBER CEMENT BOARD VERTICAL SIDING
FCB2	-FIBER CEMENT BOARD HORIZONTAL
FCB3	-FIBER CEMENT BOARD TRIM
STN1	-GEN STONE VENEER SIDING

KEYNOTES

1. ENTRY AWNING PER WMC 17.36.130(G)(2)
2. CONCRETE ADA RAMP PER 2009 IBC/WAC 51-50
3. HAND RAIL: 1 1/2" DIA. RAIL
4. CABLE VENT
5. TRASH ENCLOSURE

DESCRIPTION	DATE
REVISIONS	

CONSULTANT

2104093 PROJECT NO.

MCGUIRL DESIGNS & ARCHITECTURE
www.mcguirldesigns.com
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05.27.2021 DATE

BUILDING ELEVATIONS

A201

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BELMONT LOOP
1838 FRANKLIN ST
WOODLAND, WA 98674

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PLANS FOR PROPOSED BELMONT LOOP

1838 FRANKLIN STREET
WOODLAND, WA 98632

SURVEY DATUM INFORMATION

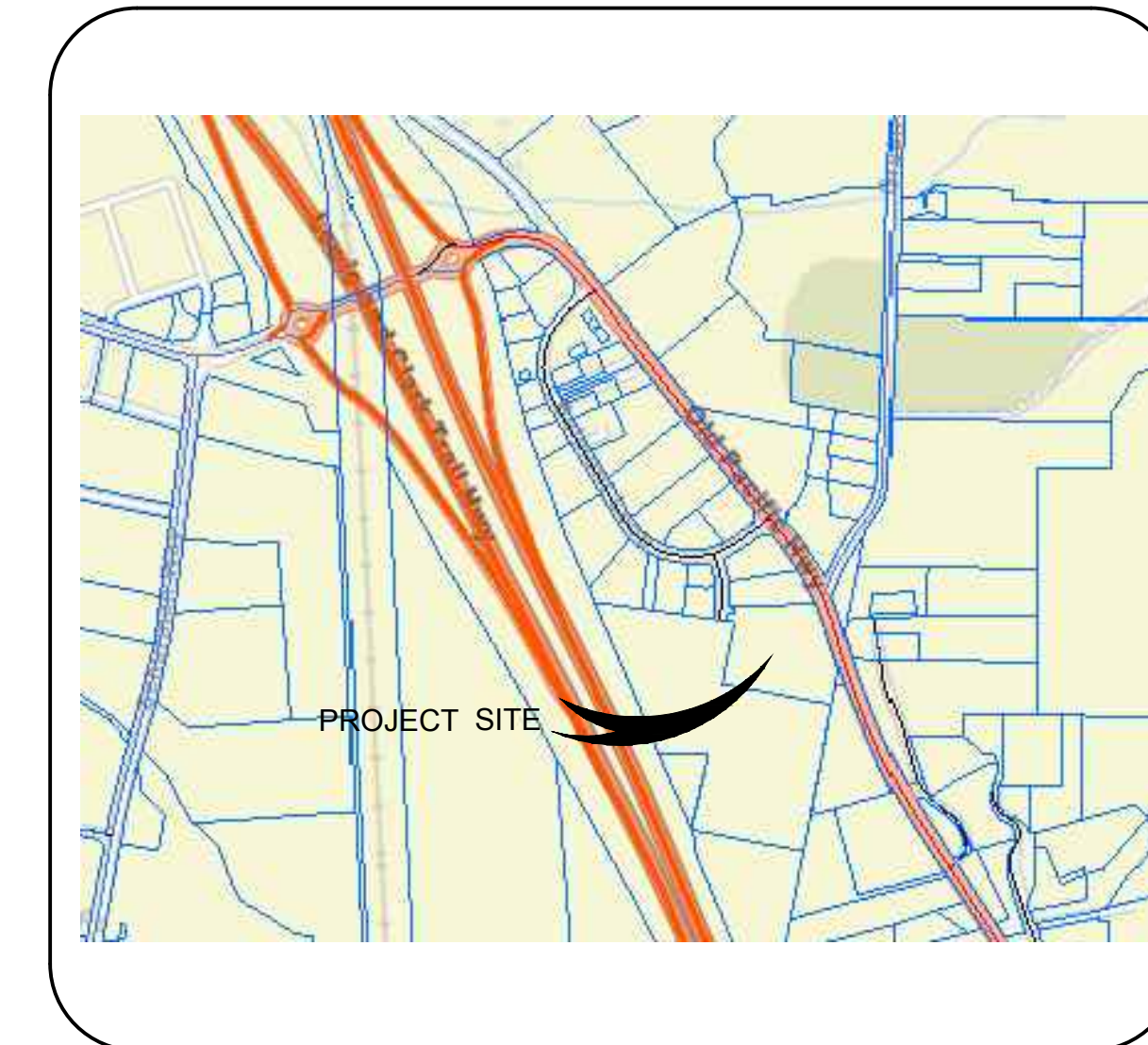
BASIS OF BEARING: IS ESTABLISHED BETWEEN POINT "A", BEING THE CENTERLINE MONUMENT AT THE END OF CURVE ON FRANKLIN STREET AND POINT "B" RECORD OF SURVEY FILED IN VOLUME 20, PAGE 190, RECORDS OF COWLITZ COUNTY, WASHINGTON.

HORIZONTAL DATUM: NAD83(2011) WA. SOUTH ZONE FROM OCCUPATION OF CENTERLINE MONUMENT AT END OF CURVE ON FRANKLIN STREET WITH EMLID RS2 GPS RECEIVER.

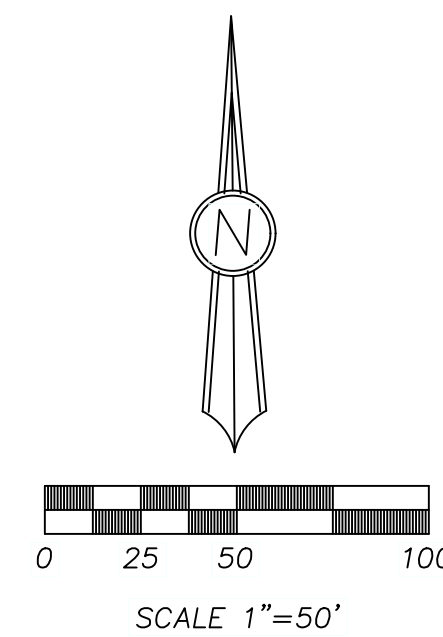
VERTICAL DATUM: NAVD 88, XXXXXXXXXX

HELD WSDOT MON. ID # 5919 9-16-14 FND. BRASS MON. DATED 1941, 2003.

EXISTING SURVEY DATA PROVIDED BY GRANT & ASSOCIATES SURVEYING LLC, JOB 2021.052, DATED 07/20/2021

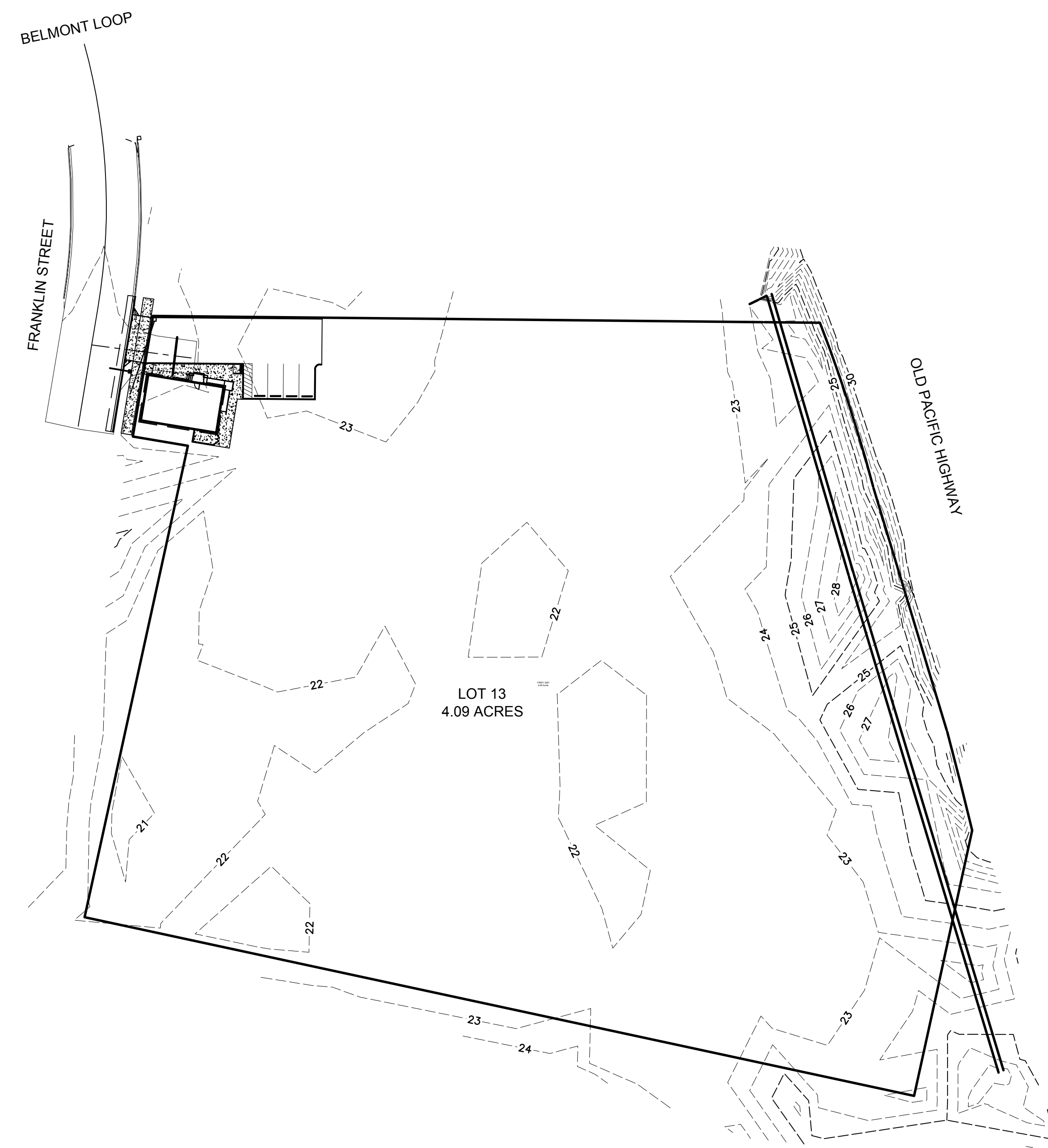


VICINITY MAP
NOT TO SCALE



LEGEND

- EXISTING BOUNDARY
- ⊗—xsd EXISTING STORM DRAIN MANHOLE, CATCH BASIN & LINE
- ⊗—xw—⊗ EXISTING VALVE, FIRE HYDRANT & WATER LINE
- 280 --- EXISTING CONTOUR MINOR
- 280 --- EXISTING CONTOUR MAJOR
- EXISTING CHAINLINK FENCE
- ☆ EXISTING LIGHT POLE
- ⊠ EXISTING UTILITY VAULT
- PROPOSED WATER MAIN
- PROPOSED CURB & SIDEWALK
- PROPOSED EASEMENT
- PROPOSED RIGHT-OF-WAY
- DIRECTION OF SURFACE FLOW
- X—X— PROPOSED EROSION CONTROL FENCE
- ⊠ PROPOSED CATCH BASIN PROTECTION



SHEET INDEX

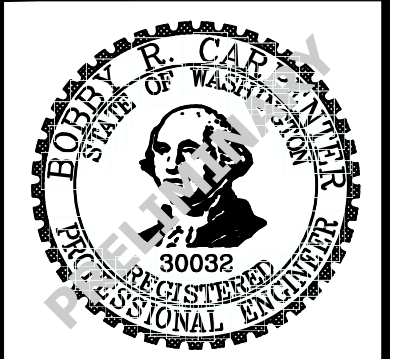
- 1 COVER SHEET
- 2 EXISTING CONDITIONS PLAN
- 3 EROSION CONTROL PLAN
- 4 GRADING PLAN
- 5 TRANSPORTATION AND SURFACING PLAN
- 6 STORMWATER, SEWER & WATER UTILITY PLAN

OWNER/DEVELOPER:
PACIFIC HOMES DIRECT LLC. — JEFF RAUTH
500 GRADE ST.
KELSO WA 98626
JEFF.ERS@LIVE.COM



PRELIMINARY PLANS
(NOT FOR CONSTRUCTION)

REV	DATE	REVISION DESCRIPTION	DESIGNER	REVIEWER



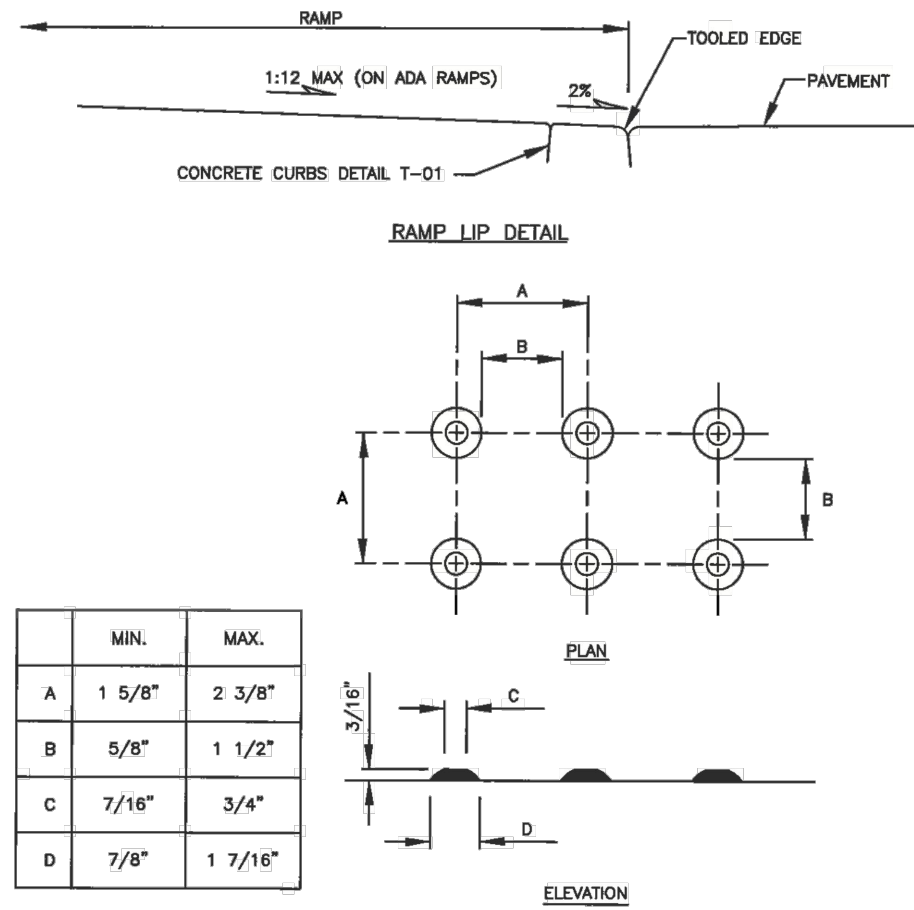
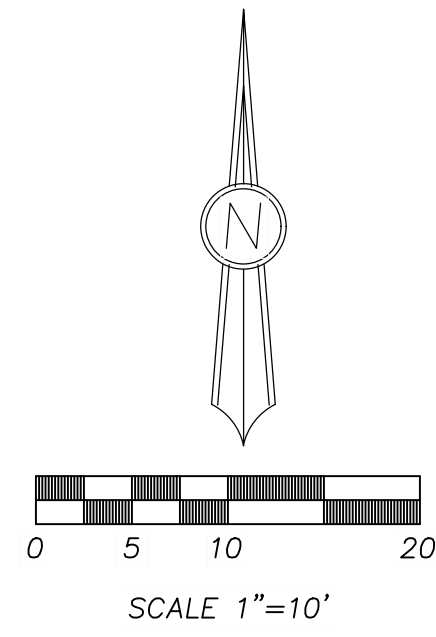
RC CARPENTER
ENGINEERING, INC.
Civil Engineering & Consulting
1. (360) 574-6888 | e. carper@comcast.net
CEI PROJECT NO: 21-001
CONTRACT NO: --

BELMONT LOOP
COVER SHEET
1838 FRANKLIN STREET
WOODLAND, WA 98674

0 REVISION

1

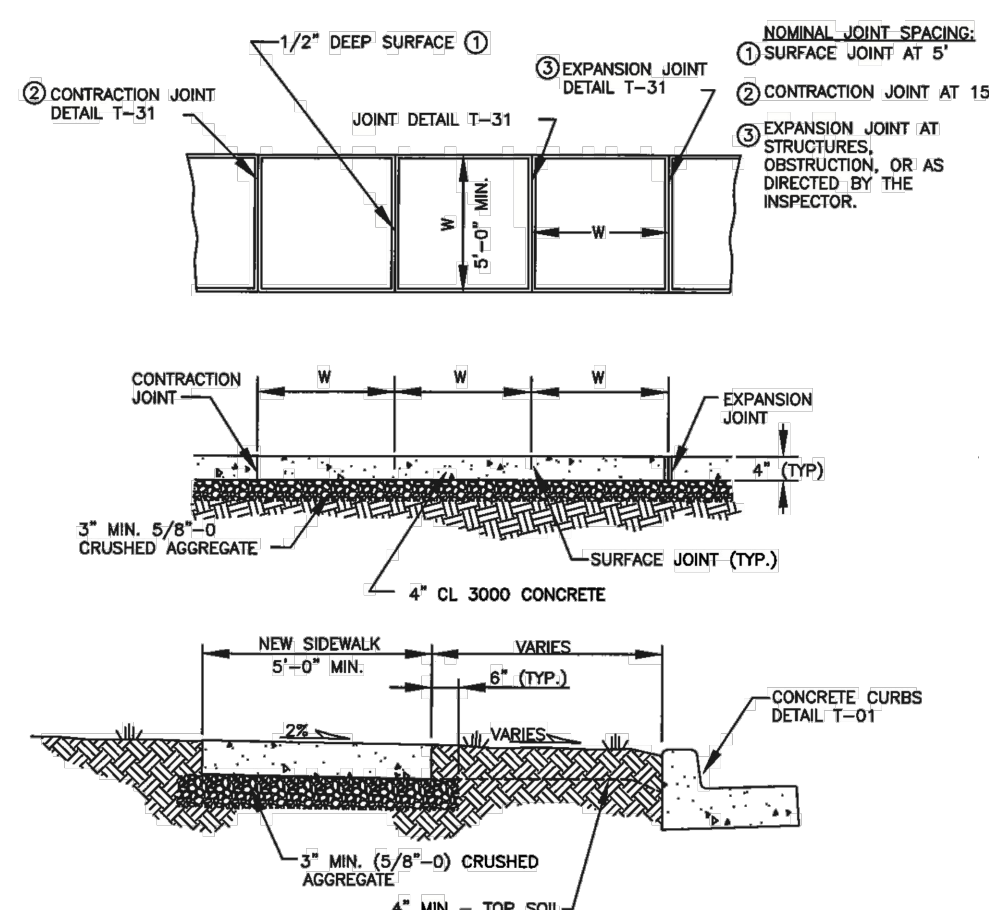
1 / 6



- NOTES:
1. DETECTABLE WARNINGS SHALL BE MANUFACTURED USING THE MATERIALS SPECIFIED ON THE PLAN SHEETS WITH THE SAME DIMENSIONS AND SPACING SHOWN AND INSTALLED PER THE MANUFACTURER'S RECOMMENDED PROCEDURES.
 2. DETECTABLE WARNINGS SHALL BE INSET INTO NEW CONCRETE WITH NO AIR TRAPPED UNDERNEATH. GLUED ON OR WAILED DOWN PRODUCTS ARE NOT ACCEPTABLE FOR NEW CONSTRUCTION.
 3. SAFETY YELLOW TRUNCATED DOMES ARE REQUIRED UNLESS OTHERWISE APPROVED BY THE PUBLIC WORKS DIRECTOR.

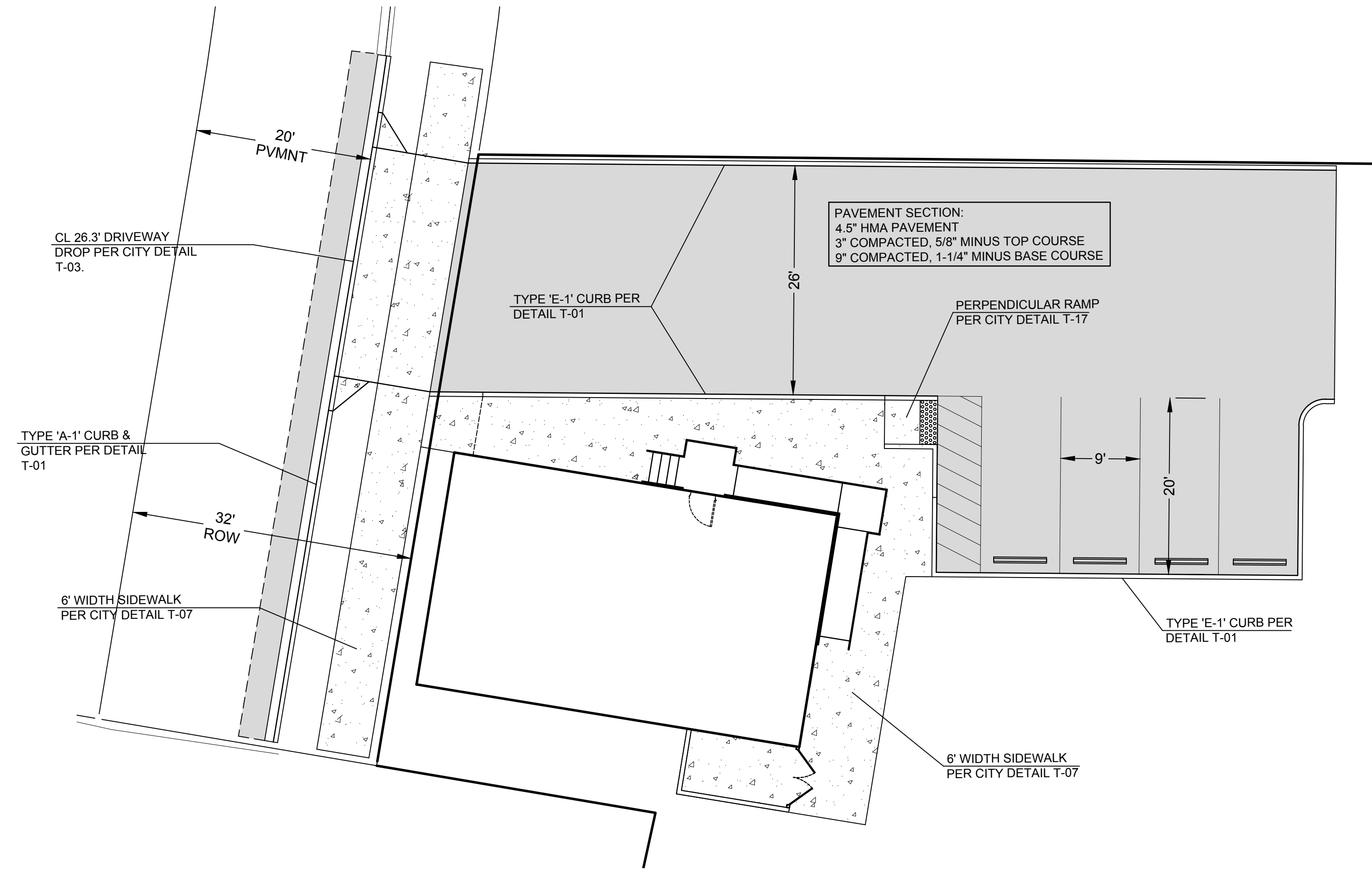
DETECTABLE WARNING PATTERN DETAIL

APPROVED	REVISIONS	DATE	DRAWN	DESIGNED	T-21
<i>Bart Stapp</i>		5/8/19			

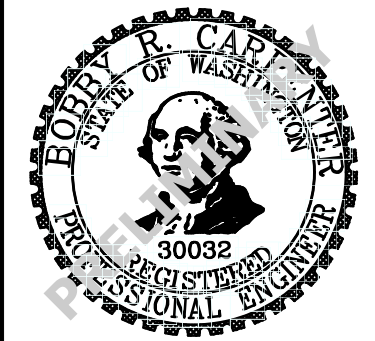


- NOTES:
1. CONCRETE SHALL BE 3000 PSI MIN. (CL 3000), 3 1/2" SLUMP (MAX).
 2. COMPACT SUBGRADE AND AGGREGATE TO 95% OF MAXIMUM DRY DENSITY (3" MIN).
 3. FINISH SHALL BE MEDIUM BROOM PERPENDICULAR TO PEDESTRIAN TRAFFIC UNLESS OTHERWISE DIRECTED.
 4. MATCH EXISTING BORDER.
 5. SEE CONCRETE JOINTS DETAIL T-31 FOR SURFACE, CONTRACTION, AND EXPANSION JOINTS.
 6. ALL EXISTING EDGES SHALL BE SAWCUT.
 7. CROSS SLOPE OF PLANTER STRIP SHALL BE 2% (TYP.) AND 4:1 (MAX).

APPROVED	REVISIONS	DATE	DRAWN	DESIGNED	T-07
<i>Bart Stapp</i>		5/8/19			



PRELIMINARY PLANS
(NOT FOR CONSTRUCTION)



Robert Carpenter
ENGINEERING, INC.
Civil Engineering & Consulting
1. (206) 574-6888 | e. carpenter@comcast.net
CEI PROJECT NO: 21-001
CONTRACT NO: -----

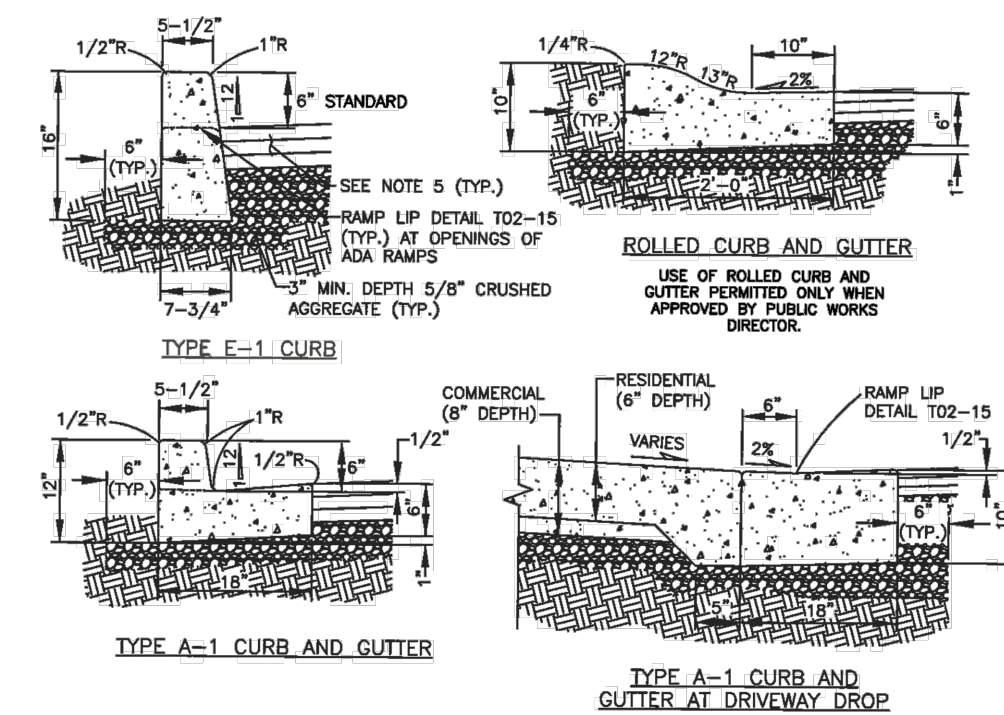
THIS LINE IS 1" LONG AT THE CORRECT SCALE

BELMONT LOOP
TRANSPORTATION AND SURFACING PLAN
1838 FRANKLIN STREET
WOODLAND WA 98674

REVISION

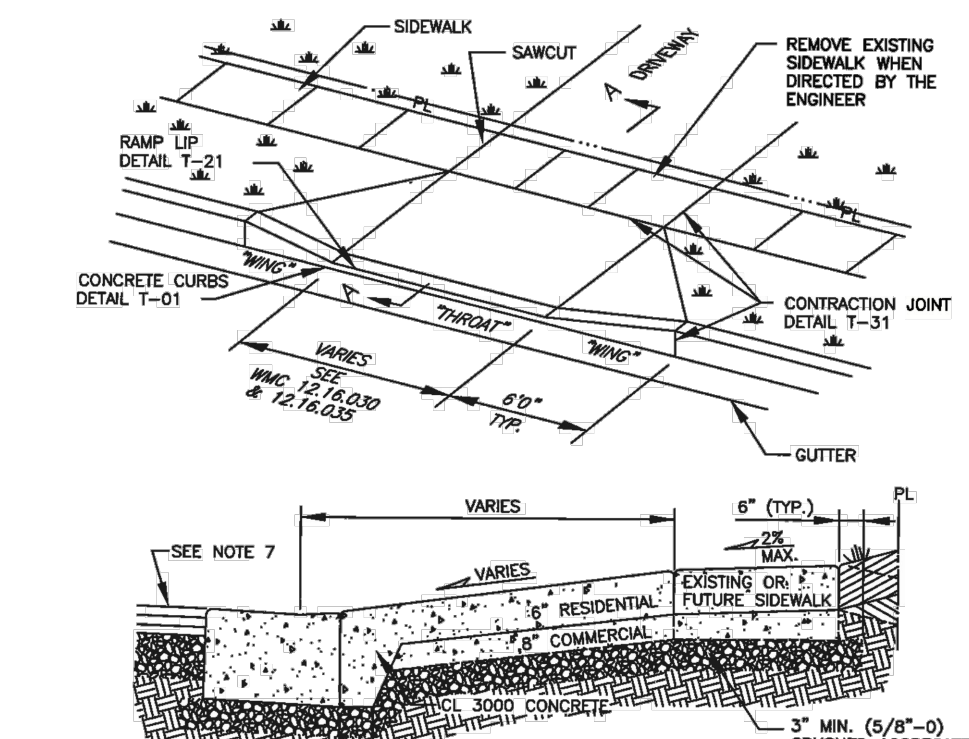
5

5 / 6



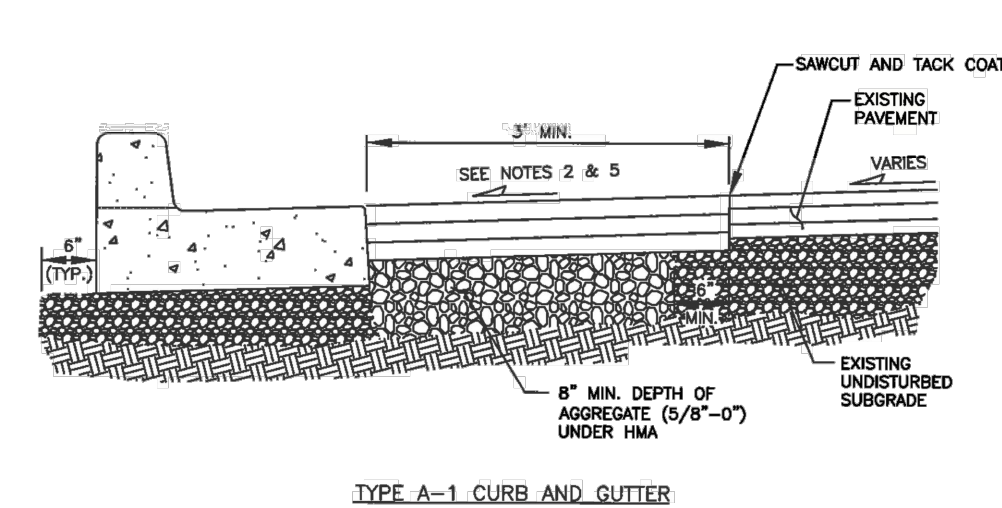
- NOTES:
1. CONCRETE SHALL BE 3000 PSI MIN. (CL 3000), 3-1/2" SLUMP (MAX).
 2. CURBS ADJACENT TO PAVEMENT OR SIDEWALK SHALL HAVE CONSTRUCTION JOINTS TO MATCH EXISTING PATTERNS. 3/8" EXPANSION JOINTS SHALL BE PLACED ON BOTH SIDES OF CATCH BASINS. AT TOPS OF DRIVEWAYS, ALL CHANGES IN DIRECTION AND AS DIRECTED BY THE INSPECTOR. CONTRACTION JOINTS TO BE PLACED AT 15' MAXIMUM SPACING.
 3. FOR CURB DROPS AT ADA RAMP, SEE RAMP LIP DETAIL T-21.
 4. COMPACT SUBGRADE AND AGGREGATE TO 95% MAXIMUM DRY DENSITY (3" MIN. DEPTH).
 5. SEE PAVEMENT RESTORATION/WIDENING AT CURBS DETAIL T-30.
 6. CURB TO BE MEDIUM BROOM FINISHED, PARALLEL TO GUTTER LINE.
 7. WHERE MATCHING EXISTING CURBS, ALL EXISTING EDGES SHALL BE SAWCUT.
 8. WHEN ATTACHED SIDEWALKS ARE USED WITH ROLLED CURB AND GUTTER, THICKENED SIDEWALKS (6" MIN) SHALL BE CONSTRUCTED UNDER THE SAME CONSTRUCTION CONTRACT.

APPROVED	REVISIONS	DATE	DRAWN	DESIGNED	T-01
<i>Bart Stapp</i>		5/8/19			



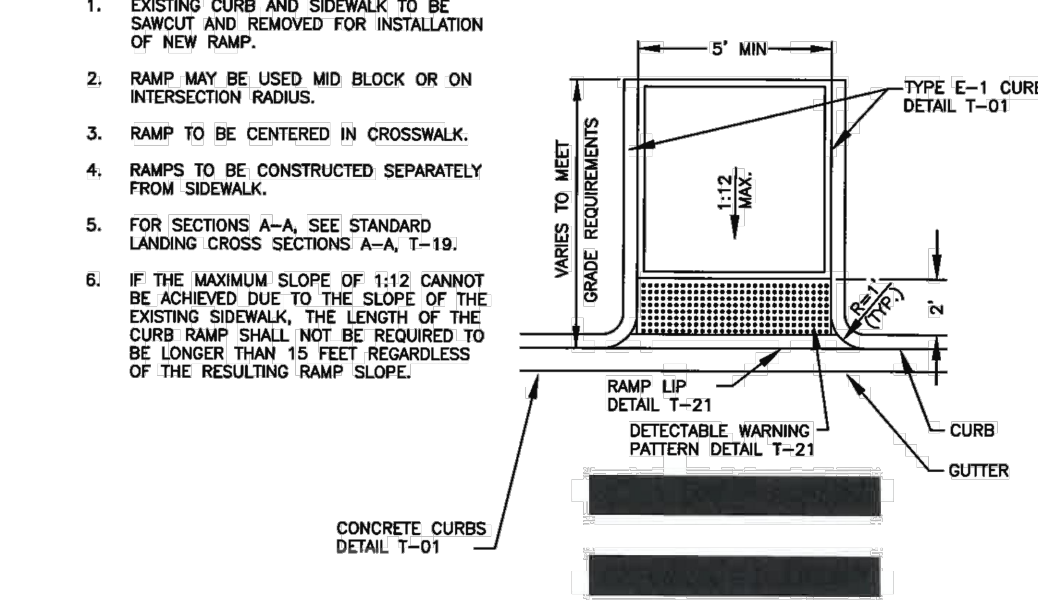
- NOTES:
1. CONCRETE SHALL BE 3000 PSI MIN. (CL 3000), 3-1/2" SLUMP (MAX), MEDIUM BROOM FINISH PARALLEL TO DRIVEWAY CENTERLINE.
 2. TO BE USED WHERE CURB AND SIDEWALK ARE SEPARATED BY A PLANTER STRIP.
 3. COMMERCIAL DRIVEWAYS REQUIRE 6" CONCRETE WITH REINFORCING STEEL (E6 - W2.9x2.9 WWF, MIN.) 1/2" COVER FROM BOTTOM OF SLAB. RESIDENTIAL DRIVEWAYS REQUIRE 6" CONCRETE.
 4. COMPACT SUBGRADE AND AGGREGATE TO 95% OF MAXIMUM DRY DENSITY (3" MIN. DEPTH).
 5. DRIVEWAYS EXCEEDING 15' IN TOTAL WIDTH SHALL HAVE ADDITIONAL LONGITUDINAL JOINTS AS DIRECTED. JOINT SPACING SHALL NOT EXCEED 15'. SEE CONCRETE JOINTS DETAIL T-31.
 6. EXISTING CURB SHALL BE REMOVED TO EXISTING JOINT OR SAWCUT SUCH THAT 3" MIN. OF NEW CURB IS CONSTRUCTED ADJACENT TO NEW DRIVEWAY. HORIZONTAL CUTTING OF EXISTING CONCRETE ALLOWED SUBJECT TO PUBLIC WORKS DIRECTOR APPROVAL.
 7. SEE PAVEMENT RESTORATION/WIDENING AT CURB DETAIL T-30 WHEN CUTTING EXISTING CURB.
 8. ALL EXISTING EDGES SHALL BE SAWCUT.
 9. STRUCTURAL SECTION OF DRIVEWAY TO BE EXTENDED THROUGH SIDEWALK AREA.
 10. 3" WING MIN. FOR RESIDENTIAL STREET.
 11. 40° ANGLE FOR WINGS ON ARTERIAL STREETS.
 12. NO WATER METERS IN DRIVEWAY APPROACH OR WING.

APPROVED	REVISIONS	DATE	DRAWN	DESIGNED	T-03
<i>Bart Stapp</i>		5/8/19			



- NOTES:
1. SEE CONCRETE CURBS DETAIL T-01 FOR CURBS.
 2. PAVEMENT SECTION SHALL BE APPROVED IN ADVANCE AND COMPLETED TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR.
 3. THE EDGES OF ALL EXISTING ASPHALT SURFACES SHALL BE CLEANED AND A TACK COAT SHALL BE APPLIED PER THE STANDARD SPECIFICATIONS. ALL JOINTS SHALL BE SEALED WITH CRS-1 AND SANDED.
 4. COMPACT SUBGRADE, CRUSHED AGGREGATE AND PAVEMENT TO 95% OF MAXIMUM DRY DENSITY.
 5. HOT MIX ASPHALT SHALL BE (DMA) CLASS 3" PG 64-22 3 TO 30 ESAL MIX DESIGN. MINIMUM LIFT THICKNESS IS 0.15" MAXIMUM LIFT THICKNESS IS 0.30" FOR BASE COURSE AND 0.25" FOR SURFACE COURSE.
 6. MATCH EXISTING PAVEMENT SLOPE. NO STEEPER THAN 4% WITHOUT SPECIFIC CITY APPROVAL.
 7. SAWCUT AND REMOVE EXISTING FAILING ASPHALT PAVEMENT.
 8. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT. MINIMUM 6" WIDTH, MAXIMUM HALF STREET WIDTH.
 9. 3" MIN. PAVEMENT RESTORATION AROUND MANHOLE.

APPROVED	REVISIONS	DATE	DRAWN	DESIGNED	T-30
<i>Bart Stapp</i>		5/8/19			



- NOTES:
1. EXISTING CURB AND SIDEWALK TO BE SAWCUT AND REMOVED FOR INSTALLATION OF NEW RAMP.
 2. RAMP MAY BE USED MD BLOCK OR ON INTERSECTION MADJIS.
 3. RAMP TO BE CENTERED IN CROSSWALK.
 4. RAMP TO BE CONSTRUCTED SEPARATELY FROM SIDEWALK.
 5. FOR SECTIONS A-A SEE STANDARD LANDING CROSS SECTIONS A-A, T-18.
 6. IF THE MAXIMUM SLOPE OF 1:12 CANNOT BE ACHIEVED DUE TO THE SLOPE OF THE EXISTING SIDEWALK, THE LENGTH OF THE CURB RAMP SHALL NOT BE REQUIRED TO BE LONGER THAN 15 FEET REGARDLESS OF THE RESULTING RAMP SLOPE.

APPROVED	REVISIONS	DATE	DRAWN	DESIGNED	T-17
<i>Bart Stapp</i>		5/8/19			

SET DATE: 9/29/2021

