



Community Development Department

Building | Planning | Code Enforcement

(360) 225-7299

www.ci.woodland.wa.us

NOTICE OF APPLICATION

Belmont Loop Modular Office

Boundary Line Adjustment, Site Plan Review, Variance & SEPA DNS

Land Use Application Nos.:	SPR-21-001/SEP-21-001
Applicant and Owner:	Jeff Rauth 500 Grade Street Kelso, WA 98626
Parcel:	50728
Zoning Designation:	Highway Commercial (C-2)
Date Application Received:	March 16 th , 2021
Fully Complete:	Last submittal on October 4 th , 2021
Notice of Application & Likely DNS issued:	April 15 th , 2022
Publish:	April 20 th , 2022, Battle Ground Reflector
Comment Due Date:	April 29 th , 2022

I. DESCRIPTION OF PROPOSAL

Applicant proposes to place a 1,200 SF modular office building on a fixed foundation with an ADA ramp on a vacant parcel off Franklin Street and Belmont Loop. Project will include the installation of a 150 foot by 20-foot driveway with sidewalk and 4 parking spaces and a new trash enclosure.

II. LOCATION OF PROPOSED DEVELOPMENT

The development is proposed at parcel #50728 which is between Old Pacific Highway and Franklin Street off of Belmont Loop in Woodland Washington. The lot is 4.08 acres in size.

III. ENVIRONMENTAL REVIEW

The City of Woodland has reviewed the proposed project for probable adverse environmental impacts and expects to issue a determination of non-significance (DNS) for this project. The optional DNS process in WAC 197-11-355 is being used. This may be your only opportunity to comment on the environmental impacts of the proposed project. The proposal may include mitigation measures under applicable codes, and the project review process may incorporate or require mitigation measures regardless of whether an Environmental Impact Statement is prepared. A copy of the subsequent threshold determination for the proposal may be obtained upon request.

Agencies, tribes, and the public are encouraged to review and comment on the proposed project and its probable environmental impacts. **Comments must be submitted by 5 p.m. on April 29th, 2022 to:**

City of Woodland
Community Development Department
c/o David Lukaczer
PO Box 9, 230 Davidson Avenue
Woodland, WA 98674

Email: lukaczerd@ci.woodland.wa.us
Phone: 360-225-7299
Fax: 360-225-7336

IV. EXISTING ENVIRONMENTAL DOCUMENTS

1. SEPA Checklist
2. Critical Areas Checklist

Application materials including the document listed above can be reviewed by contacting the SEPA responsible official (see contact information in Section III above).

V. REVIEW AUTHORITY

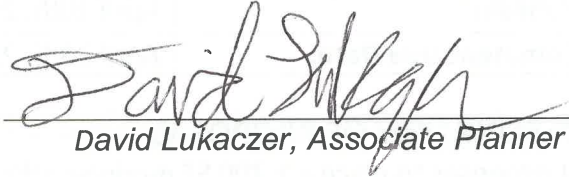
Per WMC 19.08.030, site plan reviews and minor variances shall be reviewed by the Development Review Committee. After the close of the comment period, the City will review any comments on the impacts of the project and decide whether to proceed with issuing a decision on the project.

This may be your only opportunity to comment on the impacts of the proposed project.

Date:

4/15/22

Signature:


David Lukaczer, Associate Planner

Published in the Reflector: April 20th, 2022

Cc: Applicant
Owner
Mayor
City Engineer, Gray and Osborne
Planning Commission
City Administrator

Building Official
Fire Marshal
City of Woodland Website
Counter Copy
Department Heads
File