



Community Development Department

Building | Planning | Code Enforcement

P.O. Box 9, 230 Davidson Avenue

(360) 225-7299, www.ci.woodland.wa.us

NOTICE OF DECISION

T-Mobile - Equipment

Land Use Application Nos.:	SPR 21-009 (Site Plan Review – Type 1)
Applicant:	SBA 2012 TC Assets, LLC 15349 SW Mallard DR, Unit 102 Beaverton, OR 9707
Property Owner:	Columbia River Carbonates 300 N. Pekin Road Woodland, WA 98674
Site Location:	295 North Pekin Road Woodland, WA 98674
Parcel & Size:	507350118, 9.95
Zoning Designation:	Heavy Industrial, I-2
Date Application Received:	August 31, 2021
Notice of Application & Likely DNS issued:	N/A
Comment Period & SEPA Appeal Period Ended:	N/A
Notice of Decision Issued:	September 8, 2021
DRC Decision:	Approve with Conditions

I. DESCRIPTION OF PROPOSAL

T-Mobile is proposing to install a 48-inch diameter microwave (MW) and associated outdoor unit (ODU) at 130 feet above ground level on an existing 150-foot monopole.

II. LOCATION OF PROPOSED DEVELOPMENT

The site is located at 295 North Pekin Road in Woodland, WA.

III. REVIEW AUTHORITY

Per Woodland Municipal Code (WMC) 19.08.010, department staff as assigned by the director or the Development Review Committee shall have the authority to review and approve, deny, modify, or conditionally approve, land use or environmental permits or licenses required from the city for a project action, including, but not limited to, site plan review, boundary line adjustments, administrative temporary and conditional use permits, building permits and other construction permits, SEPA procedural and substantive determinations, short plats, binding site plans, minor variances, minor modifications to approved administrative conditional use permits and conditional use permits, phasing and expiration extensions of subdivision preliminary plats, sign permits, certificates of occupancy, critical area permits, floodplain development permits, and shoreline exemptions, and to provide interpretations of codes and regulations applicable to such projects.

Per WMC 19.08.030, site plan reviews shall be approved, approved with conditions, or denied by the Development Review Committee and decisions shall be issued by the Community Development Department.

Per WMC 17.71.195 (F), wireless communication facility applications are subject to WMC 19.10 (site plan review) and WMC 19.08 (approval, review and appeal authority).

IV. FINDINGS

Permitted Uses | WMC 17.46.030

Finding 1: Wireless Communication Facilities are a permitted use if the proposal is consistent with WMC 17.71.195.

Conclusion: As conditioned, the project can comply with this standard.

Special Uses – Wireless Communication Facilities | WMC 17.71.195

Finding 2: Per WMC 17.71.195 (A), the addition of antennae and associated equipment are not exempt activities. Per WMC 17.71.195 (F), a site plan 1 application is required.

Finding 3: Per WMC 17.71.195 (C), it is the City's preference to collocate wireless communication facilities with existing facilities.

Finding 4: No changes are proposed to the existing tower's height. The existing tower meets the height standards per WMC 17.71.195 (E)(1).

Finding 5: Setbacks for auxiliary support equipment shall be those of the underlying zoning district per WMC 17.71.195 (E)(2)(b).

Finding 6: Per WMC 17.46.070, setbacks for the heavy industrial zoning district (I-2) are:

- Front: 30 ft.
- Side: 10 ft. If
- Rear: 10 ft.

Finding 7: The proposal for new equipment meets the setback requirements per WMC 17.71.195 (E)(2)(b) and WMC 17.46.070.

Finding 8: A landscaping and screening plan shall be submitted with all new support tower applications.

Finding 9: A new support tower is not proposed. A landscaping plan is not required.

Finding 10: The existing tower is screened by trees along the property line and by landscaping around the middle tower. A condition is added to include a note on the site plan that changes to the existing landscaping are not allowed. *See Condition #1.*

Conclusion: As conditioned, the proposal can comply with these requirements.

Development Impact Fees – Fire | WMC 3.41

Finding 11: The City of Woodland assesses Fire Impact Fees on new development. The Fire Impact Fee is \$0.51 per square foot of building space. No fire impact fees are due for this proposal.

Conclusion: The project can comply with this standard.

Development Impact Fees – Transportation | WMC 3.42

Finding 12: Transportation Impact Fees (TIF) will not be assessed to this application.

Conclusion: The project can comply with this standard.

Streets and Sidewalks | WMC 17.44.210 & WMC 12

Finding 13: Street and frontage improvements are not applicable to this proposal.

Conclusion: The proposal can comply with the development standards.

Water and Sewage | WMC 13

- **Finding 14:** This proposal does not include service connections for water and sewer. Water and sewer connection fees will not be required.

Conclusion: The proposal can comply with the development standards.

Erosion Control Ordinance | WMC 15.10

Finding 15: Applicants are required to install and maintain erosion control measures per the Best Management Practices as outlined in the current version of the Stormwater Management Manual for Western Washington during site excavations and grading. An NPDES permit from the Department of Ecology is required where more than one acre is being disturbed.

Finding 16: A preliminary erosion control plan was not included as part of the site plan submittal. It is anticipated the plan may at minimum require use of a construction entrance and sediment fencing in accordance with City standards. The disturbed area shown in the plan is less than one acre, thus coverage under the statewide NPDES permit will not be required. A condition of approval is added to meet all erosion control requirements of WMC 15.10 and follow the Woodland Design Standards for the erosion control plan. *See Condition #2.*

Conclusion: As conditioned, the project can comply with this standard.

Stormwater Management | WMC 15.12

Finding 17: No changes to the existing stormwater management on the site are anticipated as part of the proposal.

Conclusion: The proposal can comply with these standards.

Building and Yard maintenance | WMC 17.46.160

Finding 18: All buildings and yards shall be maintained in a neat and orderly manner. Landscaping shall be maintained in a healthy, presentable state. *See Condition #3.*

Finding 19: All structures, buildings, fences, and walls shall be kept free of rust, corrosion, peeling paint, and other surface deterioration. *See Condition #4.*

Conclusion: As conditioned, the proposal can comply with these standards.

Performance Standards | WMC 17.48

Finding 20: The requirements of this section cover hazards and nuisances including sound level, vibration, air emissions, smoke, dust, odors, industrial wastes, fire hazards, heat, glare, radioactivity and radio transmitters. The applicant is responsible for ensuring their operation is complying with all performance standards. *See Condition #5.*

Conclusion: As conditioned, the proposal can comply with this standard.

Fire Safety

All buildings must be constructed in accordance with WA Building and Fire Codes.

Finding 21: Obtain approval from Clark-Cowlitz Fire Rescue for site plan and building plans. *See Condition #6.*

Conclusion: As conditioned, the proposal can comply with Fire Code.

Building | WMC 14

Finding 22: A building permit and stamped structural analysis is required. *See Condition #7.*

Conclusion: As conditioned, the proposal can comply with this standard.

Preliminary Site Plan Approval | WMC 19.10.070

Finding 23: The applicant submitted a preliminary site plan. Per WMC 19.10.070, the applicant is required to submit for final civil plan approval and submit a final site plan application. *See Condition #8.*

Conclusion: The preliminary site plan can be approved with conditions.

V. DECISION

Per WMC 19.08.030, the above application for the preliminary Site Plan Review has been **APPROVED WITH CONDITIONS** by the City of Woodland's Development Review Committee (DRC) based on the criteria and standards outlined in Woodland Municipal Code (WMC). *See Section VI for conditions of approval.*

VI. CONDITIONS OF APPROVAL

1. Include a note on the site plan that changes to the existing landscaping are not allowed.
2. Meet all erosion control requirements of WMC 15.10 and follow the Woodland Design Standards for the erosion control plan.
3. All buildings and yards shall be maintained in a neat and orderly manner. Landscaping shall be maintained in a healthy, presentable state per WMC 17.44.160.
4. All structures, buildings, fences, and walls shall be kept free of rust, corrosion, peeling paint, and other surface deterioration per WMC 17.44.160.
5. The applicant will be responsible for ensuring that their operation is complying with all performance standards of WMC 17.48 (hazards and nuisances including sound level, vibration, air emissions, smoke, dust, odors, industrial wastes, fire hazards, heat, glare,
6. Apply for site plan and building review through Clark-Cowlitz Fire Rescue (CCFR) and comply with all CCFR requirements and conditions of approval. Apply online: www.clarkfr.org.
7. Include stamped structural analysis with the building permit application.
8. Per WMC 19.10.070, the applicant is required to submit for final civil plan approval and submit a final site plan application.

VII. APPEAL PROCEDURE

As per WMC 19.08.020 and 19.08.030, this Notice of Decision may be appealed to the Hearing Examiner within 14 days of the date this decision is issued. The appeal with grounds for appeal in writing shall be submitted to the Community Development Department **by 5:00 p.m., September 22, 2020.**


Staff Contact: Melissa Johnston, Associate Planner
City of Woodland
P.O. Box 9
230 Davidson Ave
Woodland, WA 98661
johnstonm@ci.woodland.wa.us

VIII. NEXT STEPS

If there is no appeal to the decision, the applicant may move forward to develop the site.

- Submit final civil plans addressing the conditions above. Include Woodland standard details for water, sewer, erosion control, etc. as required to support the civil design when you submit drawings for final civil approval.
 - a. The details can be found at www.ci.woodland.wa.us/departments/public-works/standards.php.
 - b. Submit final civil plans to: https://woodlandwa.seamlessdocs.com/f/civil_review
- Once civil plans are approved:
 - a. Upload approved plans to Clark County Fire and Rescue for electronic signature: www.clarkfr.org. Print the plans once signed.
 - b. Contact Public Works to arrange for signature: 360-225-7999. Then, bring plans signed by Clark County Fire and Rescue to Public Works for signature.
 - c. Provide a .pdf to Public Works of signed plan set.
- Submit building, grading, and sign permits online: www.ci.woodland.wa.us/documents/
 - a. Contact Janice Fisher, Permit Technician, for assistance: 360-225-7299.
 - b. Pay any outstanding professional consulting services per Woodland Municipal Code, Ordinance 1097.
- Schedule a pre-construction meeting before beginning any construction activities. Contact Public Works at 360-225-7999 to schedule.
- Install all required landscaping and irrigation prior to applying for final occupancy.
- Submit one full-sized and one copy of reduced size (11" x 17") as-built drawings. In addition, submit a CD/thumb drive containing the as-built drawings in AutoCAD and pdf formats prior to applying for final occupancy.

Date: 9/8/2020

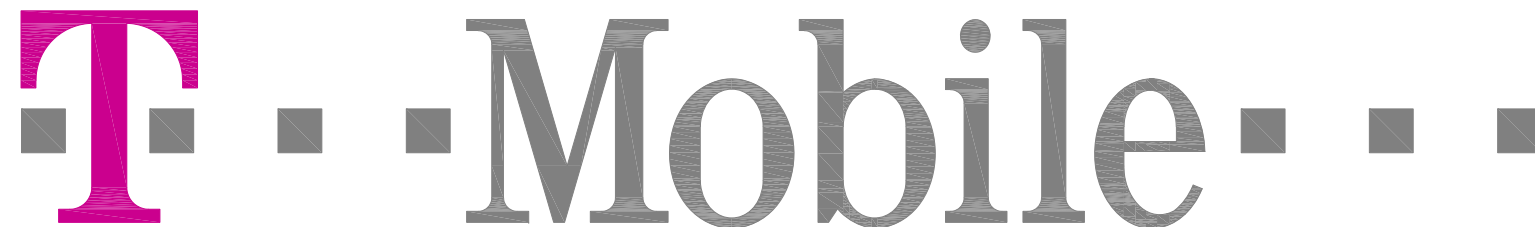
Signature: 

Melissa Johnston, Associate Planner

cc: Applicant
Parties of Record
File
Website
Mayor
City Administrator

ATTACHMENTS
A. Site Plan

Attachment A
Site Plan



T-MOBILE SITE ID: PO01625E

MW LINK: PO01625E TO PO01635A

PROJECT: MW ADD

SITE NAME: WOODLAND DOWNTOWN

SBA SITE ID: WA48195-A

SITE TYPE: MONOPOLE

SITE ADDRESS: 271 NORTH PEKIN ROAD,, WOODLAND, WA 98674



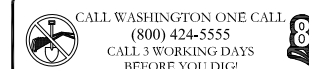
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REV	DATE	DESCRIPTION	BY
B	08/24/2021	100% CD'S FOR SUBMITTAL	DGM
A	07/28/2021	90% CD'S FOR REVIEW	MBP

SITE INFORMATION	
PROPERTY OWNER:	COLUMBIA RIVER CARBONATES P.O. BOX 2350, 300 N PEKIN ROAD WOODLAND, WA 98674
APPLICANT:	T-MOBILE WEST CORPORATION
ADDRESS:	830 NE HOLLADAY ST. PORTLAND, OR 97232
LAT/LONG TYPE:	NAD-83
LATITUDE:	45.905721°
LONGITUDE:	-122.760214°
ZONING JURISDICTION:	CITY OF WOODLAND
ZONING CLASSIFICATION:	I-2 HEAVY INDUSTRIAL
CURRENT USE:	UNMANNED TELECOMMUNICATIONS FACILITY
ASSESSOR'S PARCEL NO.:	507350118
PROPOSED USE:	UNMANNED TELECOMMUNICATIONS FACILITY
TYPE OF CONSTRUCTION:	V-B
OCCUPANCY GROUP:	U



PROJECT DESCRIPTION	
T-MOBILE PROPOSES TO MODIFY AN EXISTING UNMANNED TELECOMMUNICATIONS FACILITY. THE SCOPE WILL CONSIST OF THE FOLLOWING:	
• INSTALL	(1) NEW T-MOBILE ANDREW VHLPX4-180 MW ANTENNA @ TOWER LEVEL
• INSTALL	(2) NEW T-MOBILE CERAGON ODU @ TOWER LEVEL
• INSTALL	(2) NEW 1/2" COAX CABLES LINES TO FOLLOW EXISTING CABLE ROUTE
• INSTALL	(2) NEW IDU WITHIN EXISTING CABINET
• INSTALL	(2) NEW M1236-3 UNIVERSAL RING MOUNT
• INSTALL	(2) NEW M3016-8 8" STAND-OFFS
• INSTALL	(1) NEW P45-72 6'-0" LONG PIPE
• INSTALL	(4) NEW UB12X4-5/8X6G U-BOLTS

DRAWING INDEX	
SHEET NO:	SHEET TITLE
T-1.0	TITLE SHEET
GN-1.0	GENERAL NOTES
A-1.0	SITE PLAN & ENLARGED SITE PLAN
A-2.0	EQUIPMENT LAYOUT
A-3.0	ANTENNA LAYOUTS
A-4.0	ELEVATIONS
D-1.0	DETAILS
D-2.0	DETAILS
G-1.0	GROUNDING DETAILS

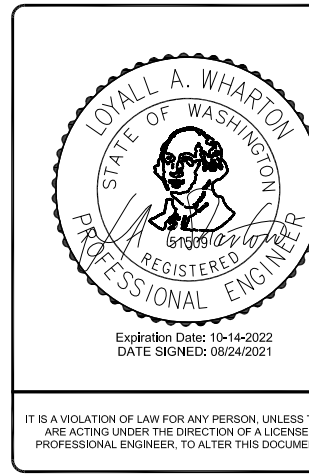
PROJECT TEAM	
CLIENT REPRESENTATIVE: T-MOBILE WEST CORPORATION 830 NE HOLLADAY ST. PORTLAND, OR 97232	CONSTRUCTION MANAGER: T-MOBILE WEST CORPORATION 830 NE HOLLADAY ST. PORTLAND, OR 97232
SITE DEVELOPMENT SPECIALIST: THOMAS McAULIFFE SBA COMMUNICATIONS 959 SOUTH COAST DR, SUITE 200 COSTA MESA, CA 92626	RF ENGINEER: T-MOBILE WEST CORPORATION 830 NE HOLLADAY ST. PORTLAND, OR 97232
A&E FIRM: M SQUARED WIRELESS 1387 CALLE AVANZADO SAN CLEMENTE, CA 92673 PH: (949) 391-6824	

GENERAL NOTES
THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2021 INTERNATIONAL BUILDING CODE. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS NEW.

DRIVING DIRECTIONS
DIRECTIONS FROM 830 NE HOLLADAY ST:
1. HEAD NORTH TOWARD NE ALDERWOOD RD
2. TURN RIGHT TOWARD NE ALDERWOOD RD
3. TURN RIGHT ONTO NE ALDERWOOD RD
4. TURN LEFT ONTO NE HOLMAN ST
5. TURN LEFT ONTO NE AIRPORT WAY
6. TURN RIGHT TO MERGE ONTO I-205 N TOWARD SEATTLE
7. MERGE ONTO I-205 N
8. TAKE EXIT 21 FOR WA-503 E TOWARD WOODLAND/COUGAR
9. TURN LEFT ONTO WA-503 N/LEWIS RIVER RD
10. SLIGHT LEFT ONTO GOERING ST
11. TURN RIGHT ONTO DAVIDSON AVENUE
12. TURN RIGHT ONTO N PEKIN RD
13. TURN LEFT - DESTINATION WILL BE ON THE LEFT

ENGINEERING
ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES.
• 2012 INTERNATIONAL BUILDING CODE
• 2012 INTERNATIONAL ENERGY CONSERVATION CODE
• 2012 INTERNATIONAL FIRE CODE
• 2012 INTERNATIONAL FUEL GAS CODE
• 2012 INTERNATIONAL MECHANICAL CODE
• 2012 UNIFORM PLUMBING CODE
• 2012 INTERNATIONAL RESIDENTIAL CODE
• 2009 INTERNATIONAL WILDLAND-URBAN CODE
• CITY/COUNTY ORDINANCES
• LOCAL BUILDING CODE

APPROVALS	
THE FOLLOWING PARTIES HEREBY APPROVE AND ACCEPT THESE DOCUMENTS & AUTHORIZE THE SUBCONTRACTOR TO PROCEED WITH THE CONSTRUCTION DESCRIBED HEREIN. ALL DOCUMENTS ARE SUBJECT TO REVIEW BY THE LOCAL BUILDING DEPARTMENT & MAY IMPOSE CHANGES OR MODIFICATIONS.	
T-MOBILE RF ENGINEER: _____	DATE: _____
T-MOBILE OPERATIONS: _____	DATE: _____
SITE ACQUISITION: _____	DATE: _____
CONSTRUCTION MANAGER: _____	DATE: _____
PROPERTY OWNER: _____	DATE: _____
ZONING: _____	DATE: _____
PROJECT MANAGER: _____	DATE: _____



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

T-MOBILE SITE ID: PO01625E
SITE NAME:
WOODLAND DOWNTOWN
ADDRESS: 271 NORTH PEKIN ROAD,
WOODLAND, WA 98674
SITE TYPE: MONOPOLE
SBA SITE ID: WA48195-A

DO NOT SCALE DRAWINGS
SUBCONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME. NOTE: IF USING 11"X17" PLOT, DRAWINGS WILL BE HALF SCALE.

SHEET TITLE
TITLE SHEET

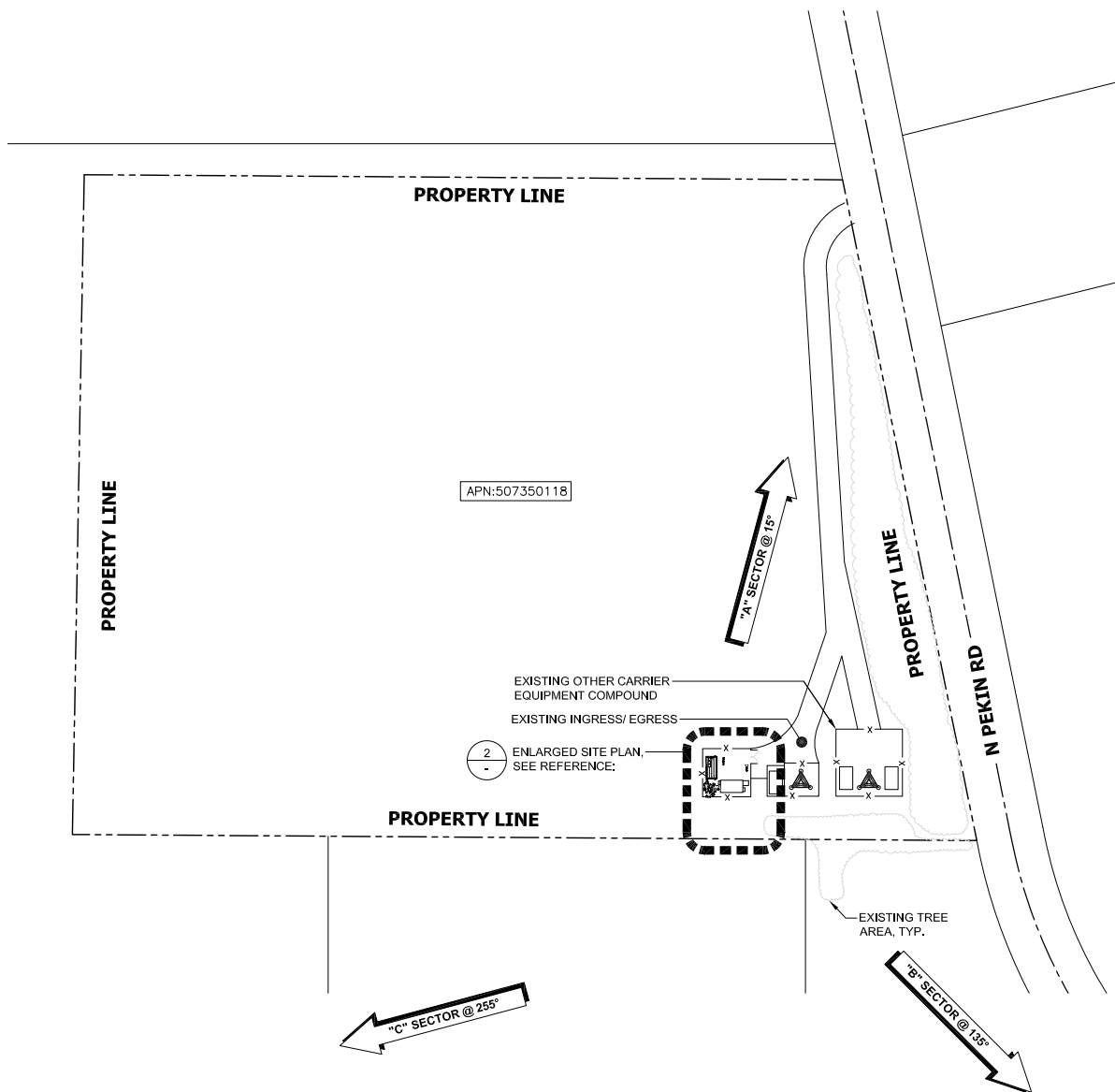
SHEET NUMBER
T-1.0

NOTES:

1. THE WIRELESS COMMUNICATION FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCY IN ACCORDANCE WITH THE TELECOMMUNICATION ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY STATE OR FEDERAL REGULATORY AGENCIES.
2. NO EXISTING PARKING STALLS ARE BEING ADDED OR REMOVED AS PART OF THE NEW INSTALLATION.
3. THESE DRAWINGS WERE PRODUCED WITHOUT THE BENEFIT OF A CURRENT LAND SURVEY. ALL PROPERTY LINES, EASEMENTS, SETBACKS, AND EXISTING CONDITIONS ARE APPROXIMATE AND SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION.

DISCLAIMER:

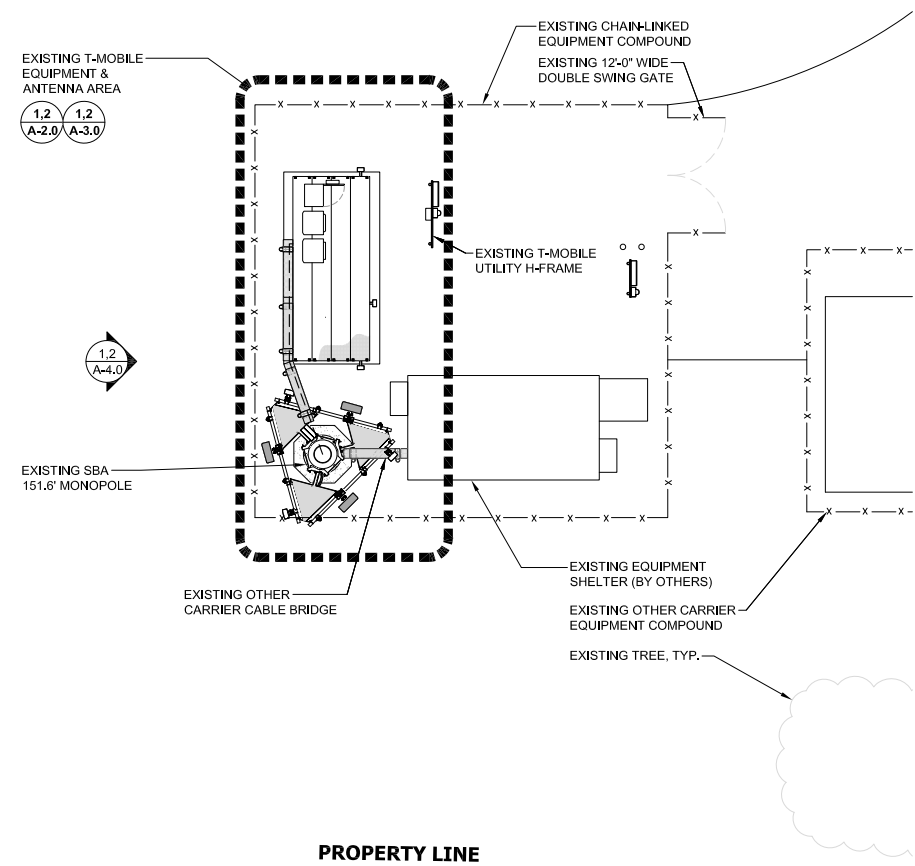
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SITE PLAN

24"x36" SCALE: 1" = 80'-0" 0' 40' 80' 160'
 11"x17" SCALE: 1" = 160'-0"

ENLARGED SITE PLAN



24"x36" SCALE: 1" = 10'-0" 0' 5' 10' 20'
 11"x17" SCALE: 1" = 20'-0"

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 PORTLAND, OR 97220

SBA
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 COSTA MESA, CA 92626

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A	07/28/2021	90% CD'S FOR REVIEW	MBP

LOYAL A. WHARTON
 STATE OF WASHINGTON
 REGISTERED PROFESSIONAL ENGINEER
 Expiration Date: 10-14-2022
 DATE SIGNED: 08/24/2021

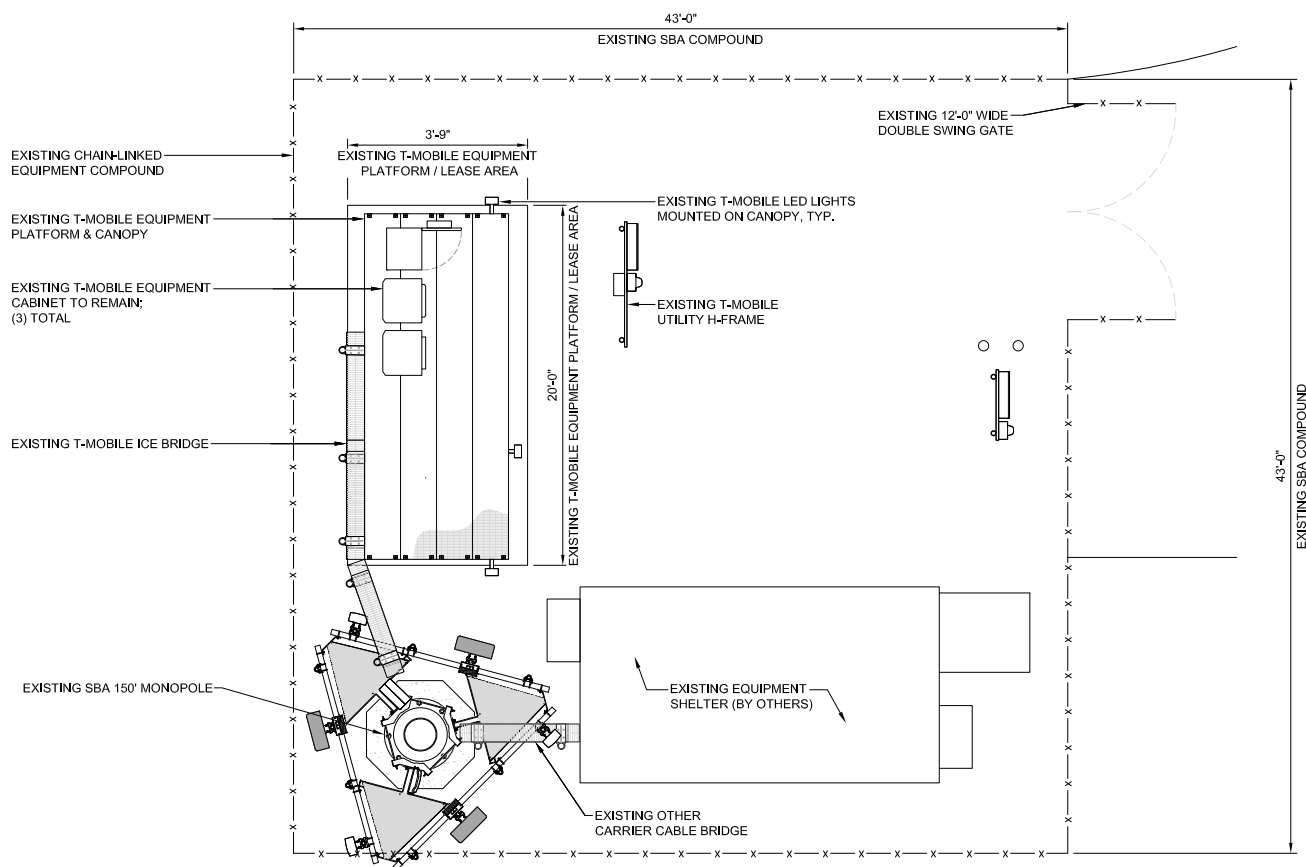
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SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
A-1.0

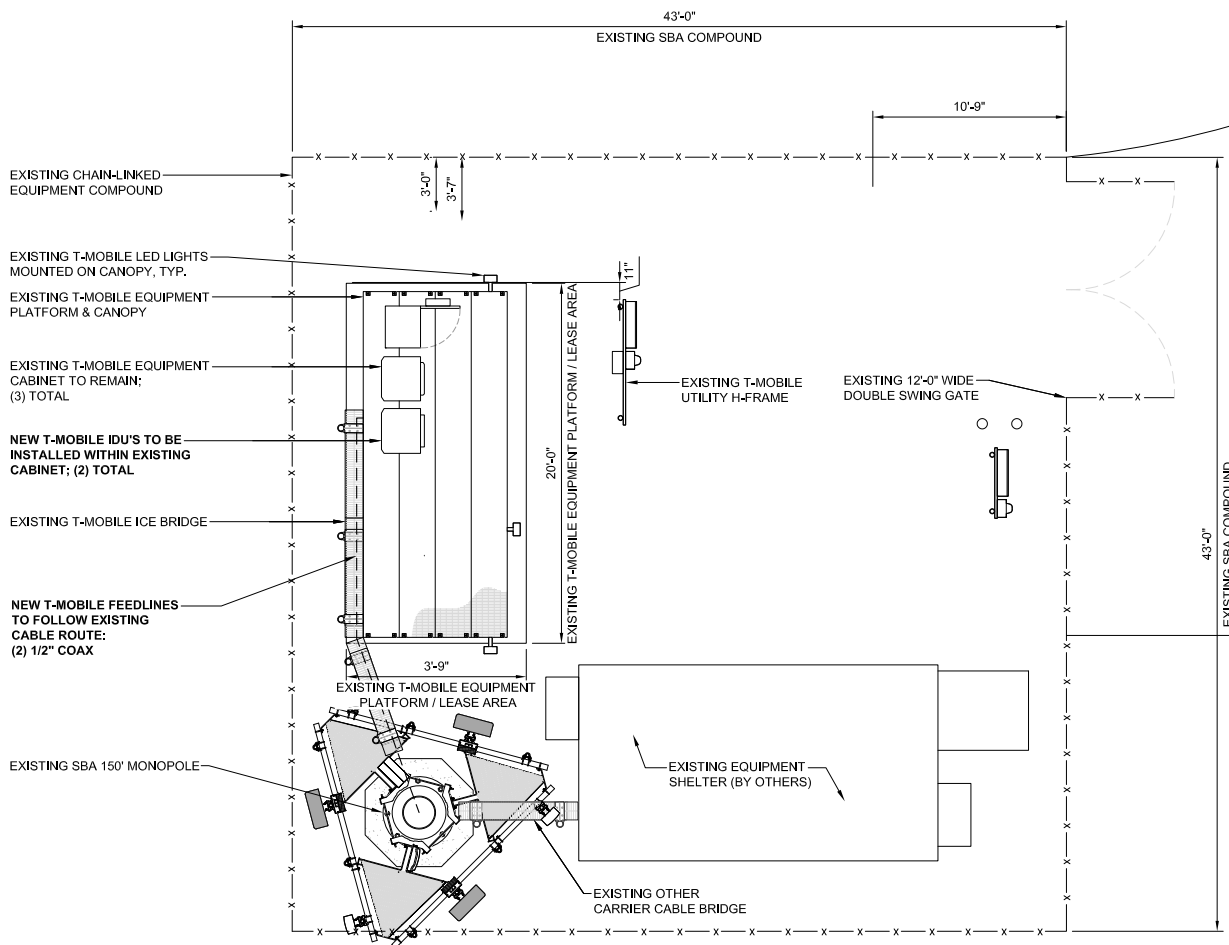
NOTE:
 1. NEW CABLE ROUTING TO FOLLOW EXISTING - SHOWN ON PLANS GENERICALLY (ROUTED) CONTRACTOR TO VERIFY EXISTING BEST ROUTE TO FOLLOW.
 2. OTHER CARRIER EQUIPMENT NOT SHOWN FOR CLARITY.



EXISTING EQUIPMENT LAYOUT

24"x36" SCALE: 3/16" = 1'-0"
 11"x17" SCALE: 3/32" = 1'-0"
 0" 2' 4' 8'

NOTE:
 1. NEW CABLE ROUTING TO FOLLOW EXISTING - SHOWN ON PLANS GENERICALLY (ROUTED) CONTRACTOR TO VERIFY EXISTING BEST ROUTE TO FOLLOW.
 2. OTHER CARRIER EQUIPMENT NOT SHOWN FOR CLARITY.



NEW EQUIPMENT LAYOUT

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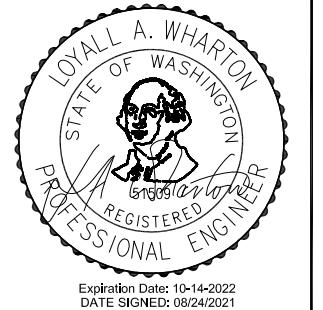
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SBA SITE ID: WA48195-A

SHEET TITLE
EQUIPMENT LAYOUT

SHEET NUMBER
A-2.0

	ANTENNA MAKE	RAD CENTER	AZIMUTH	RADIO MODEL	CABLE TYPE	CABLE LENGTH
< 1	ANDREW VHLPX4-180	48"0	130°-0'	305°	CERAGON ODU	(2) 1/2" COAX ±160'

- NOTES TO CONTRACTOR:**
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE GENERAL EQUIPMENT FIELD CONDITIONS AS SHOWN ON THESE PLANS. IF ANY DISCREPANCIES ARE FOUND, THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CARRIER, ARCHITECT/ENGINEER, AND ANY OTHERS LISTED ON T-1 PROJECT TEAM CONTACTS PROVIDED.
 - CONTRACTOR IS TO REFER TO CARRIER'S MOST CURRENT RADIO FREQUENCY DATA SHEET (RFDS) PRIOR TO CONSTRUCTION
 - CABLE LENGTHS WERE BASED OFF CARRIER PROVIDED RFDS. CONTRACTOR TO VERIFY LENGTH DURING PRE-CONSTRUCTION WALK.
 - CONTRACTOR TO VERIFY PORTS HAVE SUFFICIENT ROOM.
 - FINAL STRUCTURAL DESIGN, ANALYSIS AND APPROVAL PROVIDED BY OTHERS. CONTRACTOR TO VERIFY EQUIPMENT INSTALLED IS PER FINAL STRUCTURAL ANALYSIS :
BY: TBD
DATED: TBD
 - FINAL MOUNT DESIGN, ANALYSIS, AND APPROVAL PROVIDED BY OTHERS. CONTRACTOR TO VERIFY EQUIPMENT INSTALLED IS PER FINAL ANTENNA MOUNT ANALYSIS:
BY: TBD
DATED: TBD

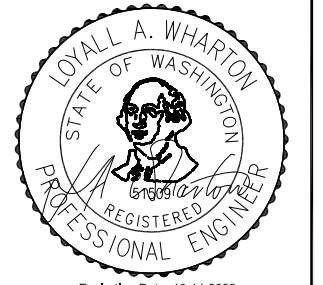
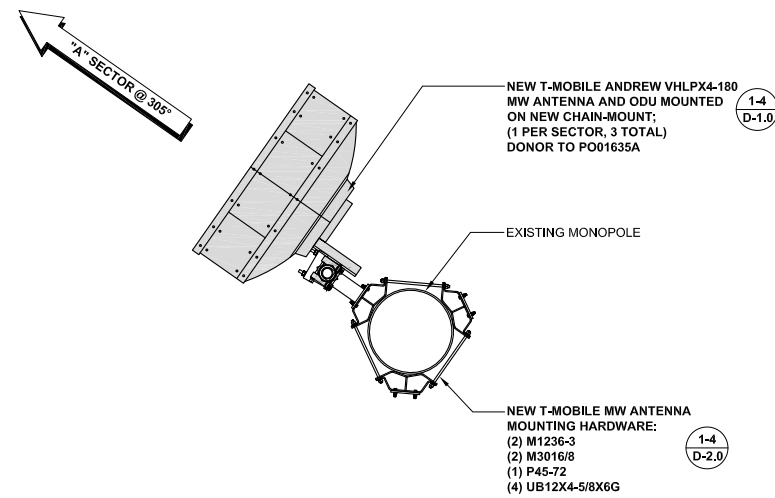
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Expiration Date: 10-14-2022
DATE SIGNED: 08/24/2021

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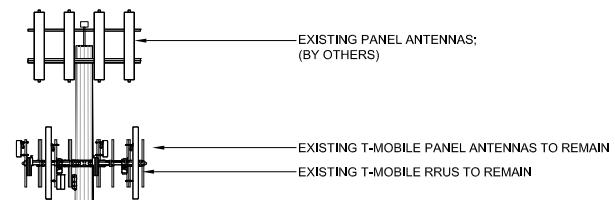
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SHEET TITLE
ANTENNA LAYOUT

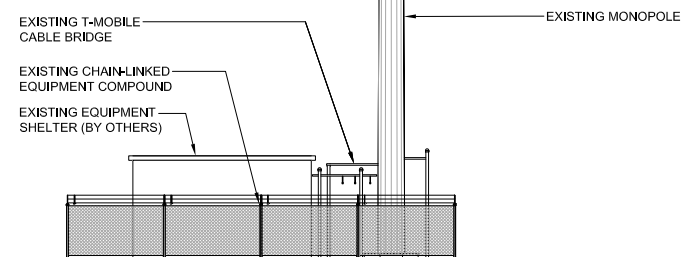
SHEET NUMBER
A-3.0



TOP OF EXISTING MONOPOLE
 ±150'-0" A.G.L.
 RAD CENTER OF EXISTING PANEL ANTENNAS (BY OTHERS)
 150'-0" A.G.L.
 RAD CENTER OF EXISTING T-MOBILE PANEL ANTENNAS
 137'-0" A.G.L.



FINISH GRADE
 ELEV. 0'-0" REF.



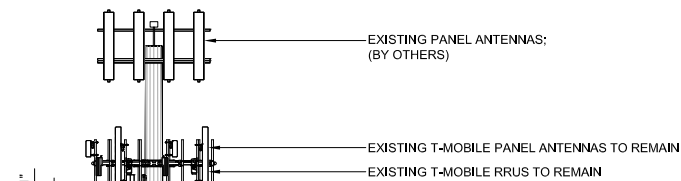
EXISTING WEST ELEVATION

24"x36" SCALE: 3/32" = 1'-0"
 11"x17" SCALE: 3/64" = 1'-0"



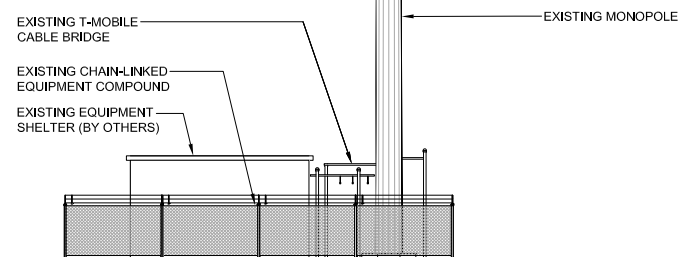
1

TOP OF EXISTING MONOPOLE
 ±150'-0" A.G.L.
 RAD CENTER OF EXISTING PANEL ANTENNAS (BY OTHERS)
 150'-0" A.G.L.
 RAD CENTER OF EXISTING T-MOBILE PANEL ANTENNAS
 137'-0" A.G.L.
 RAD CENTER OF NEW T-MOBILE MW ANTENNAS
 130'-0" A.G.L.



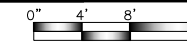
NEW T-MOBILE MW ANTENNA
 DONOR TO PO01635A
 NEW T-MOBILE MW ANTENNA
 MOUNTING HARDWARE:
 (2) M1236-3
 (2) M3016/8
 (1) P45-72
 (4) UB12X4-5/8X6G

FINISH GRADE
 ELEV. 0'-0" REF.



NEW WEST ELEVATION

24"x36" SCALE: 1/8" = 1'-0"
 11"x17" SCALE: 1/16" = 1'-0"



2



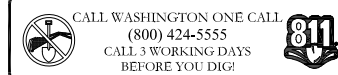
8960 ALDERWOOD ROAD
PORTLAND, OR 97220



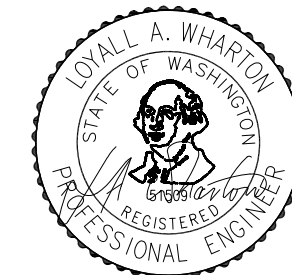
959 SOUTH COAST DR. SUITE 200
COSTA MESA, CA 92626



1387 CALLE AVANZADO
SAN CLEMENTE CA 92673 (949) 391-8924



REV	DATE	DESCRIPTION	BY
B	08/24/2021	100% CD'S FOR SUBMITTAL	DGM
A	07/28/2021	90% CD'S FOR REVIEW	MBP



Expiration Date: 10-14-2022
DATE SIGNED: 08/24/2021

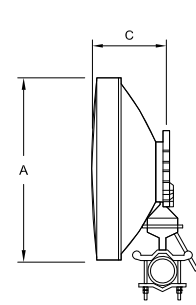
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

T-MOBILE SITE ID: PO01625E
SITE NAME:
WOODLAND DOWNTOWN
ADDRESS: 271 NORTH PEKIN ROAD,
WOODLAND, WA 98674
SITE TYPE: MONOPOLE
SBA SITE ID: WA48195-A

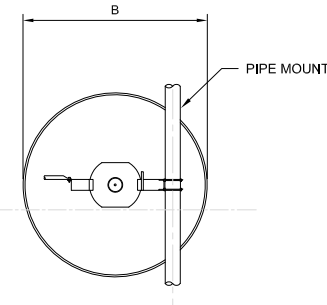
SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-4.0

MANUFACTURER:		COMMSCOPE
MODEL NO.:		VHLPX4-180
DIMENSIONS:		TOTAL WEIGHT :
A	48"Ø	126 LBS



TOP VIEW



BACK VIEW

COMMSCOPE / VHLPX4-180

24"x36" SCALE: NTS
11"x17" SCALE: NTS

1 NOT USED

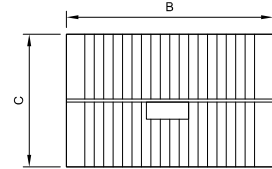
24"x36" SCALE: NTS
11"x17" SCALE: NTS

4 NOT USED

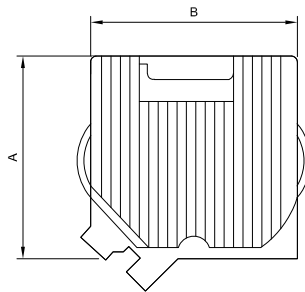
24"x36" SCALE: NTS
11"x17" SCALE: NTS

7

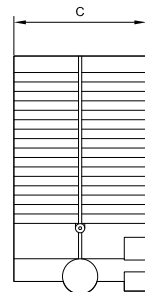
MANUFACTURER:		CERAGON
MODEL NO.:		IP20C-11-249-256
DIMENSIONS:		TOTAL WEIGHT :
A	9.05"	14.33 LBS
B	9.07"	
C	3.86"	



PLAN VIEW



FRONT VIEW



SIDE VIEW

ODU DETAIL

24"x36" SCALE: NTS
11"x17" SCALE: NTS

2 NOT USED

24"x36" SCALE: NTS
11"x17" SCALE: NTS

5 NOT USED

24"x36" SCALE: NTS
11"x17" SCALE: NTS

8

NOT USED

24"x36" SCALE: NTS
11"x17" SCALE: NTS

3 NOT USED

24"x36" SCALE: NTS
11"x17" SCALE: NTS

6 NOT USED

24"x36" SCALE: NTS
11"x17" SCALE: NTS

9

T-Mobile
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PORTLAND, OR 97220

SBA
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COSTA MESA, CA 92626

M SQUARE WIRELESS
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(800) 424-5555
CALL 3 WORKING DAYS
BEFORE YOU DIG!

REV	DATE	DESCRIPTION	BY
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A	07/28/2021	90% CD'S FOR REVIEW	MBP



Expiration Date: 10-14-2022
DATE SIGNED: 08/24/2021

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SITE NAME:
WOODLAND DOWNTOWN
ADDRESS: 271 NORTH PEKIN ROAD,
WOODLAND, WA 98674
SITE TYPE: MONOPOLE
SBA SITE ID: WA48195-A

SHEET TITLE
DETAILS

SHEET NUMBER
D-1.0

T-Mobile
 8960 ALDERWOOD ROAD
 PORTLAND, OR 97220

SBA
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 SAN CLEMENTE CA 92673 (949) 391-8824

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REV	DATE	DESCRIPTION	BY
B	08/24/2021	100% CD'S FOR SUBMITTAL	DGM
A	07/28/2021	90% CD'S FOR REVIEW	MBP



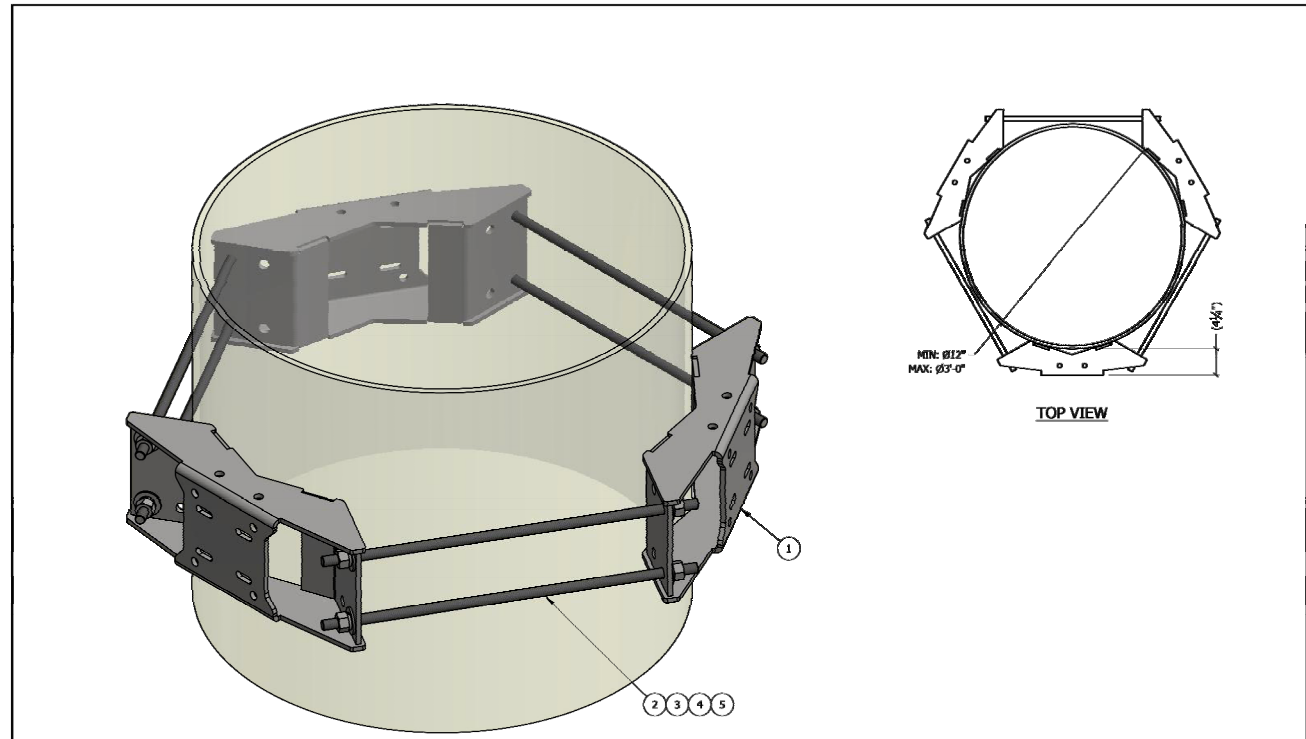
Expiration Date: 10-14-2022
 DATE SIGNED: 08/24/2021

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SITE NAME:
 WOODLAND DOWNTOWN
ADDRESS: 271 NORTH PEKIN ROAD,
 WOODLAND, WA 98674
SITE TYPE: MONOPOLE
SBA SITE ID: WA48195-A

SHEET TITLE
DETAILS

SHEET NUMBER
D-2.0



MIN: 6.12"
 MAX: 6.7"
 TOP VIEW

ITEM	PART #	QTY	DESCRIPTION	LENGTH	FINISH	UNIT WT
1	M1236-3.01	3	UNIV. 12" TO 36" OD RING MOUNT WELDMENT		HDG	38.96
2	27-5580-005	6	3/4" x 28" B7 HDG ALL-THREAD	2'-4"		3.51
3	27-5481-005	12	3/4" A36 HDG FLAT WASHER			0.11
4	27-5490-005	12	3/4" HDG LOCK WASHER			0.04
5	27-5500-005	12	3/4" HDG HEAVY HEX NUT			0.21

TOTAL WT: 142.3 LB

QTY: _____
 FINISH: _____
 JOB #: _____

TITLE: 3-SECTOR UNIVERSAL RING MOUNT
 FITS 12" TO 36" OD POLE

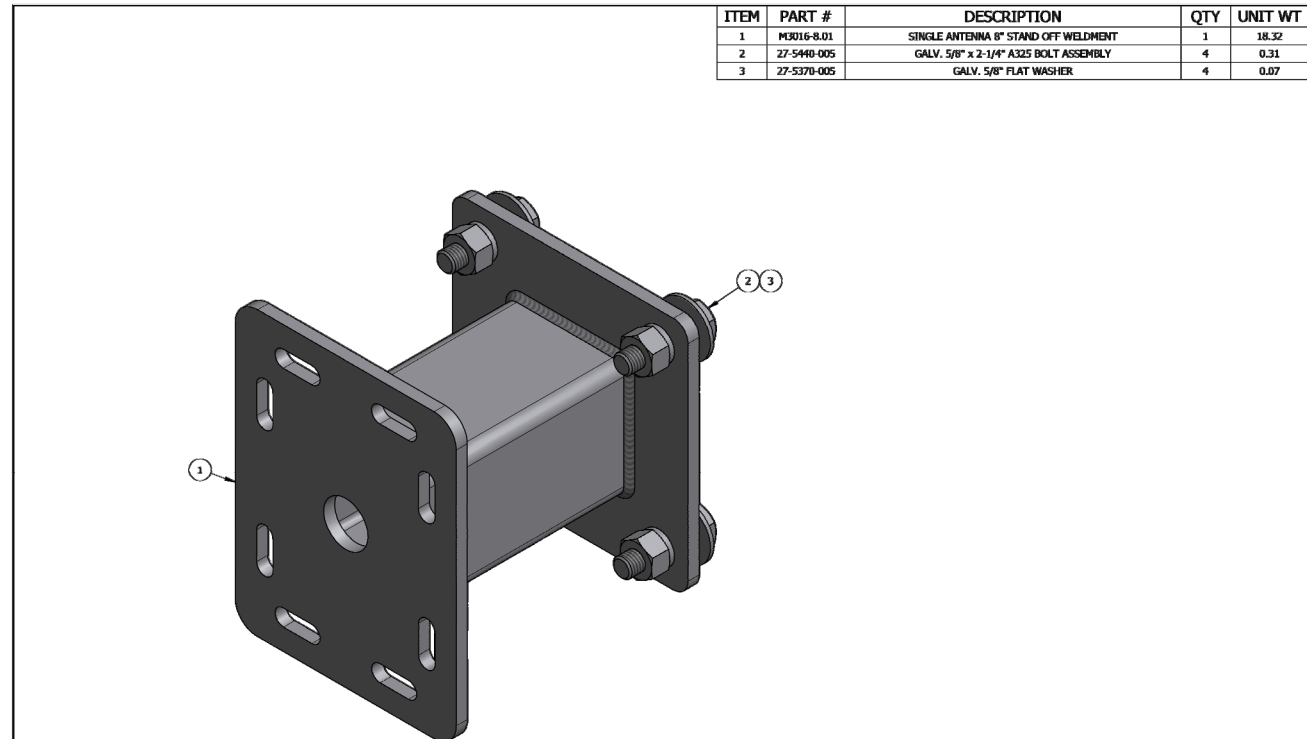
SERIES: MONOPOLE MOUNTING SHEET: 1 OF 1 DRAWING NO. M1236-3

DRAWN BY: KY DATE: 1/20/2020 CHKD BY: JG

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STANDARD TOLERANCES:
 (UNLESS OTHERWISE NOTED)
 FRACTIONS ±1/16"
 DECIMALS ±0.01"
 ANGLES ±0.5°

NEWAVE
 TOWER COMPONENTS, 503-792-3739
 10910 PORTLAND RD. BROOKS, OR 97305



ITEM	PART #	DESCRIPTION	QTY	UNIT WT
1	M3016-8.01	SINGLE ANTENNA 8" STAND OFF WELDMENT	1	18.32
2	27-5440-005	GALV. 5/8" x 2-1/4" A325 BOLT ASSEMBLY	4	0.31
3	27-5370-005	GALV. 5/8" FLAT WASHER	4	0.07

QTY: _____
 CHK: _____

STANDARD TOLERANCES:
 (UNLESS OTHERWISE NOTED)
 FRACTIONS ±1/16"
 DECIMALS ±.005"
 ANGLES ±.5°

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NEWAVE
 TOWER COMPONENTS, 503-792-3739
 10910 PORTLAND RD. BROOKS, OR 97305

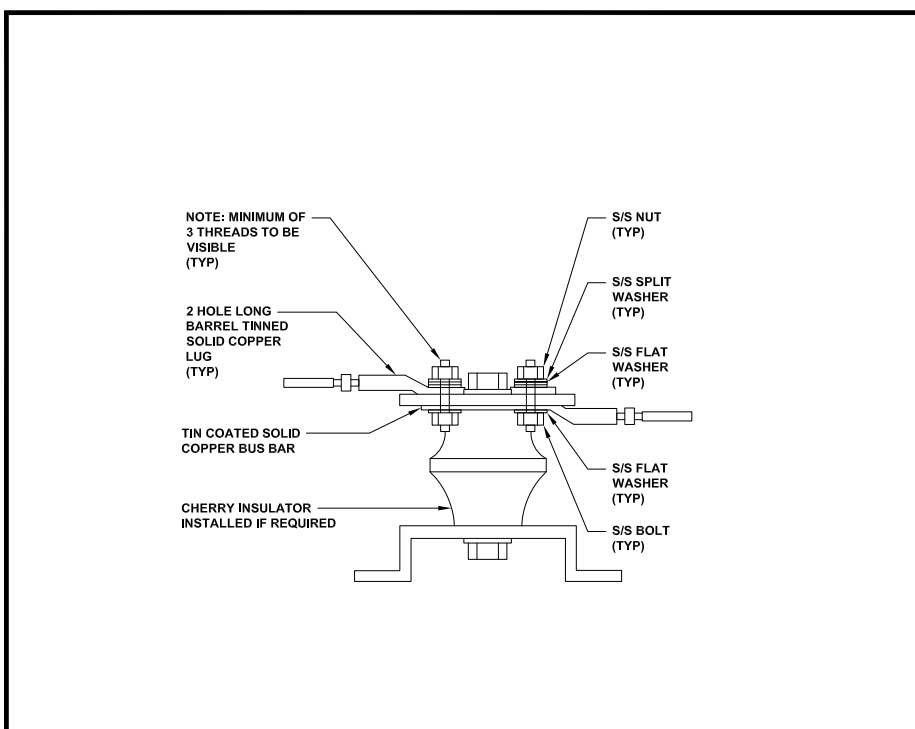
MATERIAL: AS SHOWN
 HOLES: AS SHOWN
 FINISH: HDG

DRAWN BY: _____
 CHECKED BY: KY
 DATE: 12/26/2013

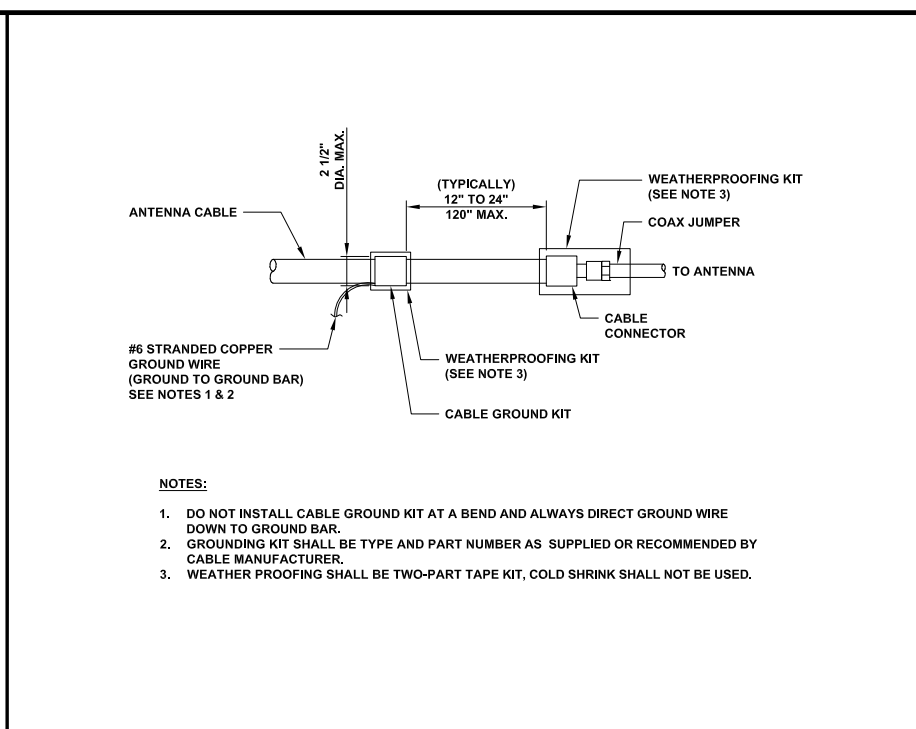
TITLE: 8" STAND OFF FOR RING MOUNT

SERIES: MONOPOLE MOUNTING

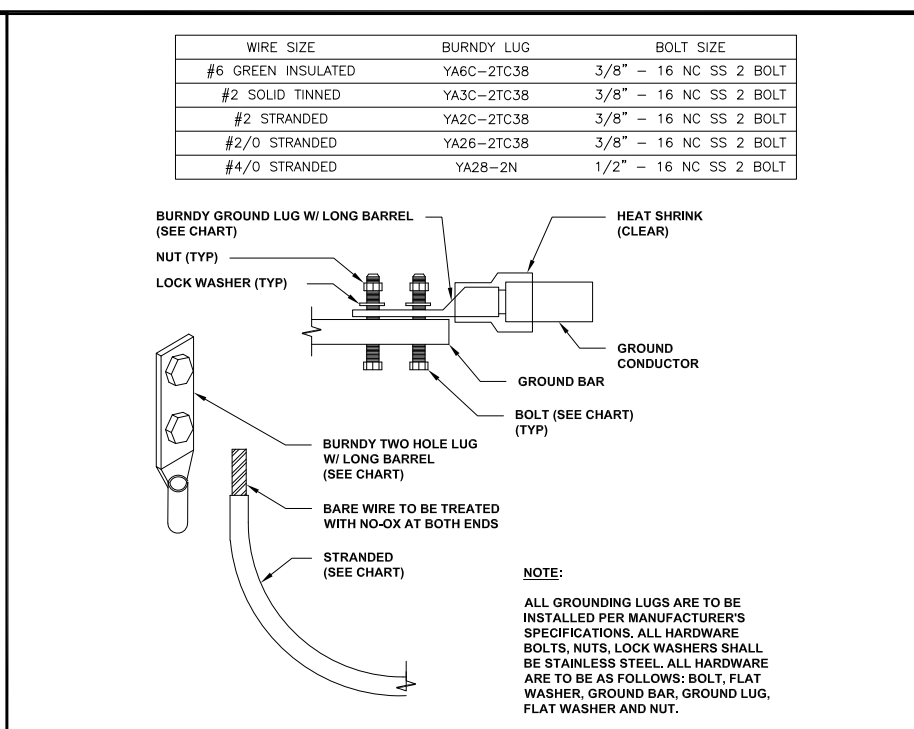
PART WT (BARE): 20.5 LB
 DRAWING NO. M3016-8
 SHEET: 1 OF 1



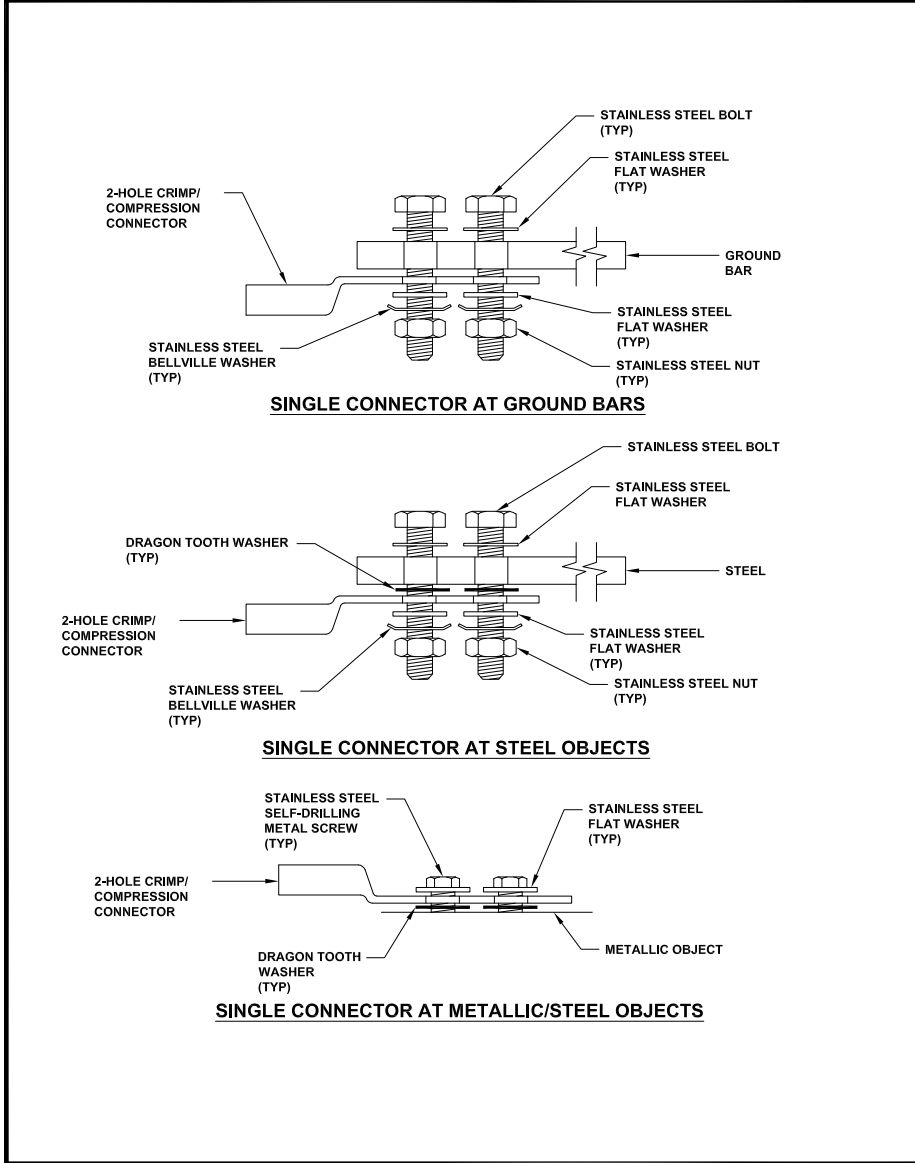
LUG DETAIL 24"x36" SCALE: NTS
11"x17" SCALE: NTS



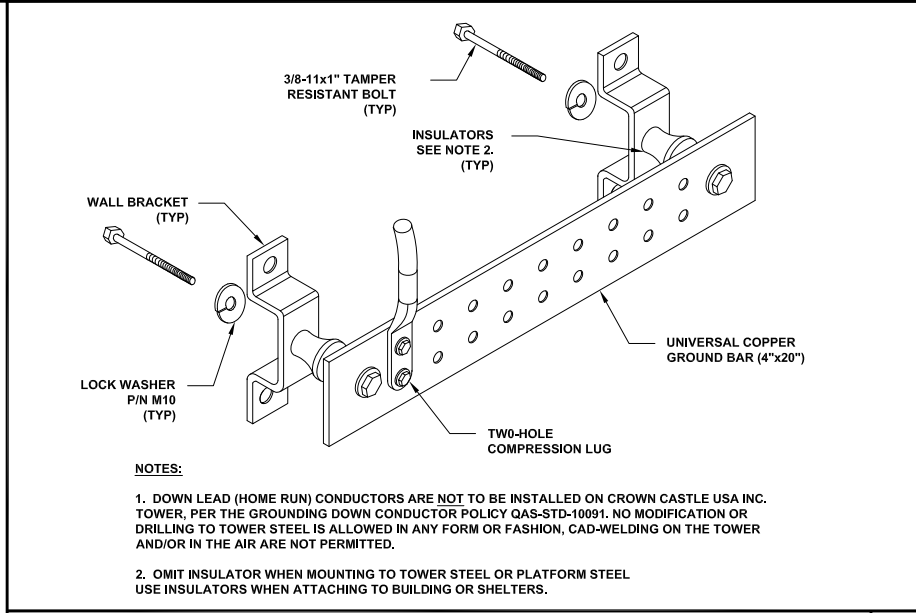
CABLE GROUND KIT CONNECTION 24"x36" SCALE: NTS
11"x17" SCALE: NTS



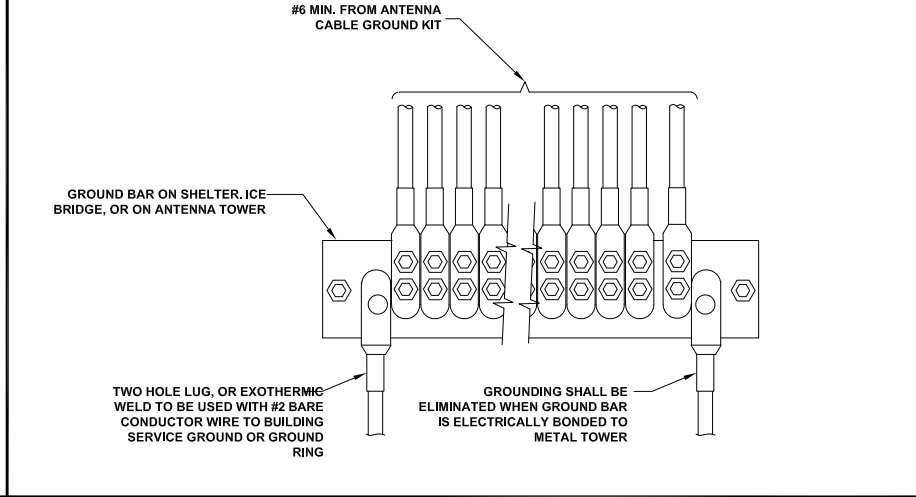
MECHANICAL LUG CONNECTION 24"x36" SCALE: NTS
11"x17" SCALE: NTS



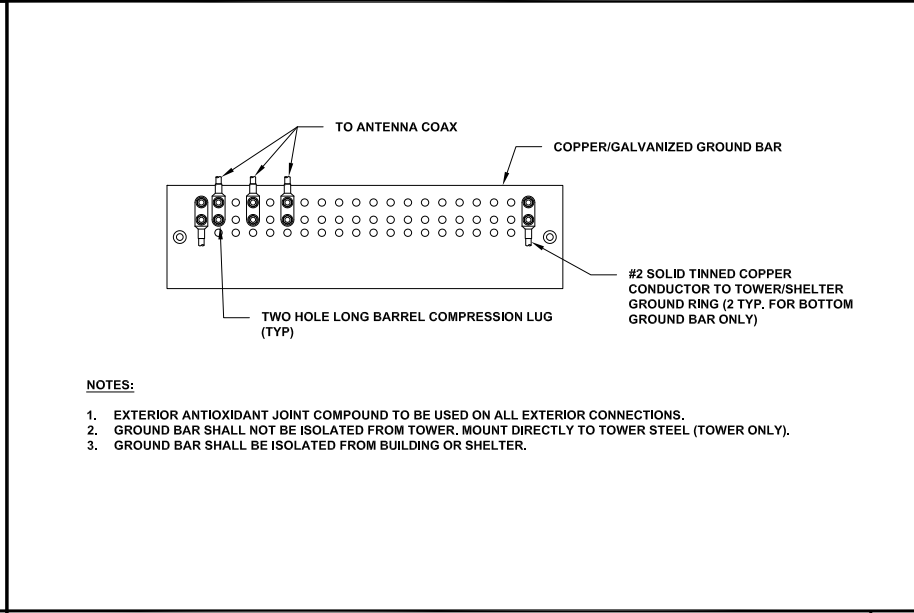
EXTERIOR CONNECTIONS DETAILS 24"x36" SCALE: NTS
11"x17" SCALE: NTS



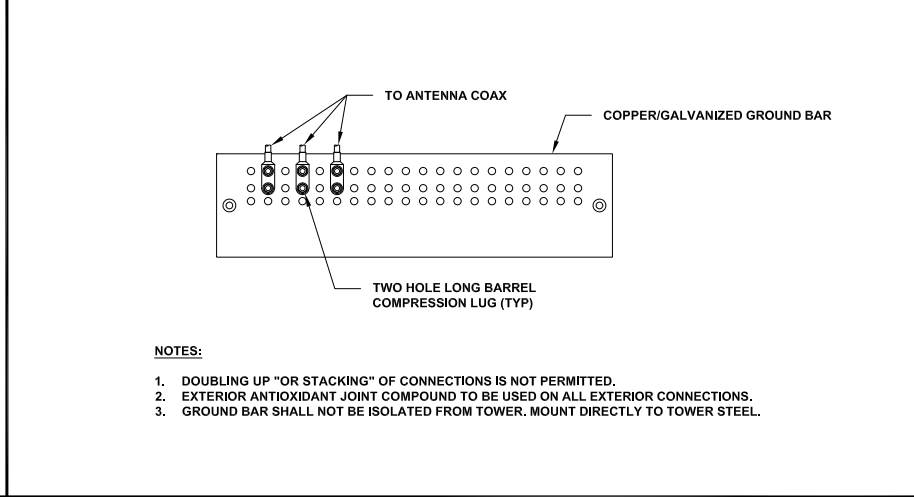
GROUND BAR DETAIL 24"x36" SCALE: NTS
11"x17" SCALE: NTS



GROUNDWIRE INSTALLATION 24"x36" SCALE: NTS
11"x17" SCALE: NTS



TOWER/SHELTER GROUND BAR DETAIL 24"x36" SCALE: NTS
11"x17" SCALE: NTS



ANTENNA GROUND BAR DETAIL 24"x36" SCALE: NTS
11"x17" SCALE: NTS

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REV	DATE	DESCRIPTION	BY
B	08/24/2021	100% CD'S FOR SUBMITTAL	DGM
A	07/28/2021	90% CD'S FOR REVIEW	MBP

LOYAL A. WHARTON
STATE OF WASHINGTON
REGISTERED PROFESSIONAL ENGINEER
Expiration Date: 10-14-2022
DATE SIGNED: 08/24/2021

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SITE NAME:
WOODLAND DOWNTOWN
ADDRESS: 271 NORTH PEKIN ROAD,
WOODLAND, WA 98674
SITE TYPE: MONOPOLE
SBA SITE ID: WA48195-A

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-1.0