



Community Development Department

Building | Planning | Code Enforcement
 P.O. Box 9, 230 Davidson Avenue
 (360) 225-7299, www.ci.woodland.wa.us

NOTICE OF DECISION
 Columbia River Carbonates – Storage and Loadout

Land Use Application Nos.:	SPR 21-008 (Site Plan Review – Type 1)
Applicant:	Columbia River Carbonates Braden Wale 300 North Pekin RD Woodland, WA 98674
Property Owner:	Columbia River Carbonates 300 North Pekin Road Woodland, WA 98674
Site Location:	289 North Pekin Road Woodland, WA 98674
Parcel & Size:	507350116, 10.06 acres
Zoning Designation:	Heavy Industrial, I-2
Date Application Received:	September 8, 2021
Notice of Application & Likely DNS issued:	N/A
Comment Period & SEPA Appeal Period Ended:	N/A
Notice of Decision Issued:	September 27, 2021
DRC Decision:	Approve with Conditions

I. DESCRIPTION OF PROPOSAL

A previous site plan was approved in 2016 (216-902.SPR.SEPA). This proposal modifies the previous approval. CRC proposes to expand the site improvements to include construction of a new pole building (30 ft. x 70 ft.) for storage, expansion of onsite paving and parking, and installation of landscaping.

II. LOCATION OF PROPOSED DEVELOPMENT

The site is located at 300 North Pekin RD, Woodland, WA. The parcel number of this proposal is 507350116.

III. REVIEW AUTHORITY

Per WMC 19.08.010, department staff as assigned by the director or the Development Review Committee shall have the authority to review and approve, deny, modify, or conditionally approve, land use or environmental permits or licenses required from the City for a project action, including, but not limited to, site plan review, boundary line adjustments, administrative temporary and conditional use permits, building permits and other construction permits, SEPA procedural and substantive determinations, short plats, binding site plans, minor variances, minor modifications to approved administrative conditional use permits and conditional use permits, phasing and expiration extensions of subdivision preliminary plats, sign permits, certificates of occupancy, critical area permits, floodplain development permits, and shoreline exemptions, and to provide interpretations of codes and regulations applicable to such projects.

IV. FINDINGS

Per Woodland Municipal Code (WMC) 19.08.030, site plan reviews shall be approved, approved with conditions, or denied by the Development Review Committee and decisions shall be issued by the Community Development Department.

Development Impact Fees – Fire | WMC 3.41

Finding 1: Fire Impact Fees are required for the proposed building addition. Fees are calculated based on \$.51 per sq ft of building. Fees are calculated and due at the time of building permit issuance. Fee is estimated to be $(2,100 \times \$0.51) = \$1,071$ for the project. A condition of approval has been added which requires the fees be calculated and paid at the time of building permit issuance. *See Conditions #1 and #2.*

Conclusion: As conditioned, the proposal can comply with this requirement.

Development Impact Fees – Transportation | WMC 3.42

Finding 2: Transportation Impact Fees (TIF) are required on new development to support future transportation improvements within the city per WMC 3.42. The TIF is calculated based on \$838 per PM peak hour trip (PMPHT) generated by the project

based on the project Traffic Study or where no study is prepared, based on trip generation in accordance with Institute of Transportation Engineers (ITE) published data.

Finding 3: For this proposal, trip generation was evaluated under the use classification “#140 – Manufacturing” from the ITE 10th Edition manual. The classification calls for 0.67 peak hour trips per 1,000 square feet.

Finding 4: The proposed pole building is 2,100 square feet. Peak hour trips are 0.67 x 2.1 or 1.407 trips. The number of peak hour trips results in an estimated Transportation Impact Fee of (1.407 X \$838) = \$1,179.07 for the project. Actual impact fee to be calculated and paid at the time of building permit issuance.
See Conditions #1 and #3.

Conclusion: As conditioned, the project can comply with this requirement.

Streets and Sidewalks | WMC 12

Finding 5: Street and frontage improvements were completed as part of a previous project phase and are not applicable to this proposal.

Finding 6: Street trees along the sidewalk in the right-of-way are required. The proposed landscaping plan includes trees selected from the Woodland Street Tree List that is appropriate for the location (Shademaster Honeylocust).

Conclusion: The proposal can comply with the development standards.

Water and Sewage | WMC 13

Finding 7: The proposal does not include service connections for water and sewer. Water and sewer connection fees will not be required.

Finding 8: Water and sewer main extensions are not applicable to this proposal.

Conclusion: The proposal can comply with the development standards.

Erosion Control Ordinance | WMC 15.10

Finding 9: Applicants are required to install and maintain erosion control measures per the Best Management Practices as outlined in the current version of the Stormwater Management Manual for Western Washington during site excavations and grading. An NPDES permit from the Department of Ecology is required where more than one acre is being disturbed. *See Condition #4.*

Finding 10: A preliminary erosion control plan was not included with the preliminary site plan submittal. A condition of approval is added to meet all erosion control requirements of WMC 15.10 and follow the Woodland Design Standards for the erosion control plan. *See Condition #5.*

Conclusion: As conditioned, the project can comply with this standard.

Stormwater Management | WMC 15.12

Finding 11: The applicant's submittal includes narrative indicating that stormwater management on the site has been adequately addressed by a stormwater Technical Information Report (TIR) and stormwater treatment and detention facilities completed as part of a previous project phase, and that no improvements to the existing conveyance, treatment or detention facilities on the site are required for the current phase of the work. This appears to be an accurate assessment; hence, a new TIR is not required. A condition of approval is added that all proposed site modifications must be consistent with the assumptions in the previous TIR and all proposed site drainage improvements must comply with WMC 15.12 and the City Engineering Standards. *See Condition #6.*

Conclusion: As conditioned, the proposal can comply with these standards.

Permitted Uses | WMC 17.46.020

Finding 12: No changes in use are proposed by the application.

Conclusion: As proposed, the project can comply with this standard.

Building Setbacks | WMC 17.46.070

Finding 13: The required setbacks in heavy industrial zones are:

- Front yard setback: 30 ft.
- Side yard setback: 10 ft. Where I-2 abuts a residential zone, the side yard setback shall be a minimum of 25 ft.
- Rear yard setback: 10 ft. Where I-2 abuts a residential zone, the rear yard setback shall be a minimum of 25 ft.

Finding 14: The existing building and proposal meet the setback requirements.

Conclusion: As proposed, the project can comply with this standard.

Landscape Design and Screening | WMC 17.46.133 – WMC 17.46.136

Finding 15: A landscaping plan guaranteeing the healthy growth of proposed landscaping in compliance with WMC 17.46 and signed by a certified landscaping professional is required prior to issuance of the preliminary site plan approval.

Finding 16: A landscaping plan was submitted with this preliminary site plan review application.

Finding 17: The proposed landscaping plan shall include tabulation showing the area and percentage of the following, per WMC 17.46.124:

- A. Entire site;
- B. Total landscaping areas;
- C. Areas covered by groundcover;
- D. Areas covered by nonplant materials;
- E. Areas covered by tree canopy and shrubs;
- F. Each required setback area;
- G. Total parking area;
- H. Parking landscaping; and
- I. Other landscaping areas.

Finding 18: The landscaping plan set includes the required calculations.

Finding 19: A combination of deciduous and evergreen trees, shrubs, and groundcovers shall be used for all planted areas, the selection of which shall be based on local climate, exposure, water availability, and drainage conditions per WMC 17.46.125 (C). All landscaped area, whether or not required, that is not planted with trees and shrubs or not covered with nonplant material, shall have groundcover plants that are designed to

achieve 50% coverage of the area not covered by tree canopy and shrubs per WMC 17.46.125 (D).

Finding 20: Proposed landscaping is appropriate for the Pacific Northwest and achieves at least 50% coverage in areas not covered by tree canopy.

Finding 21: Per WMC 17.46.125 (E), trees shall have a minimum diameter or caliper measured at four feet above grade of two inches or greater at time of planting and shall be densely planted as certified by a certified landscaping professional.

Finding 22: A majority the trees indicated on the landscaping plan meet the size requirement. Some trees listed are sized by gallon rather than caliper. Two of the proposed trees are only 1-in. caliper. However, staff acknowledges that available stock from nurseries can vary and strictly adhering to 2-in. caliper may be challenging. The proposed plant schedule is acceptable.

Finding 23: Per WMC 17.46.125 (F), shrubs shall be planted from a five-gallon container or larger at the recommended spacing as certified by a certified landscaping professional.

Finding 24: Many, but not all of the proposed shrubs are indicated to be 5-gallons or larger. However, there is a wide variety of shrubs proposed. Staff acknowledges that obtaining all plants in 5-gallon size may be challenging and may result in a more limited variety of plants if strictly required. The proposed plant schedule and shrub sizes are acceptable.

Finding 25: Per 17.46.125 (I), the use of drought-tolerant plant species is encouraged and shall be required when irrigation is not available. Irrigation will be provided according to the landscaping plan.

Finding 26: Per WMC 17.46.126 (B), in the front yard landscaping area, trees, shrubs, and plant ground cover should be planted along the entire road frontage area and meet the requirements of WMC 17.46.

Finding 27: The plantings in the front yard setback meet the requirements of WMC 17.46.125 (B).

Finding 28: Per WMC 17.46.126 (F), a minimum of ten percent of the total surface area of all proposed parking areas, as measured around the perimeter of all parking spaces and maneuvering areas, shall be landscaped. The proposed landscaping plan meets this minimum coverage requirement.

Finding 29: At a minimum, one tree per five parking spaces shall be planted to create a partial tree canopy over and around the parking area. All parking areas with more than twenty spaces shall include landscape islands with trees at both ends and in between to break up the parking area into rows of not more than ten contiguous parking spaces.

Finding 30: The proposed parking lot consists of 16 parking spaces and 10 trees.

Finding 31: Per 17.46.126 (G), all mechanical equipment, outdoor storage and manufacturing areas, service and delivery areas, garbage receptacles and recycling containers shall be fully screened from view from all public streets and adjacent nonindustrial zoning district(s) and/or use(s) in a manner which is architecturally integrated with the structure. Such screening shall be a minimum of six feet provided by a decorative wall (i.e., masonry or similar quality material), evergreen hedge, opaque fence complying with the standards of this section, or a similar feature that provides an opaque barrier.

Finding 32: Equipment is currently screened, and no additional equipment is proposed.

Conclusion: As proposed, the proposal can comply with these standards.

Lighting | WMC 17.46.140

Finding 33: The operator shall be responsible for ensuring that lighting is installed and arranged to ensure that no reflection or glare shall conflict with the readability of traffic signs or control signs. Lighting shall also not rotate, glitter, or flash per WMC 17.46.140. *See Condition #7.*

Conclusion: As conditioned, the proposal can comply with these standards.

Site Standards | WMC 17.46.160

Finding 34: All buildings and yards shall be maintained in a neat and orderly manner. Landscaping shall be maintained in a healthy, presentable state. *See Condition #8.*

Conclusion: As conditioned, the proposal can comply with these standards.

Performance Standards | WMC 17.48

Finding 35: The requirements of this section cover hazards and nuisances including sound level, vibration, air emissions, smoke, dust, odors, industrial wastes, fire hazards, heat, glare, radioactivity and radio transmitters.

The applicant will be responsible for ensuring that their operation is complying with all performance standards. See *Condition #9*.

Conclusion: As conditioned, the proposal can comply with this standard.

Fire Safety

All buildings must be constructed in accordance with WA Building and Fire Codes. Plan revisions and building plans must be submitted directly to Clark-Cowlitz Fire Rescue (CCFR) for fire review.

Finding 36: Applicant is required to submit site plan to CCFR and comply with all comments. See *Condition #10*.

Finding 37: Building construction plans shall be submitted separately, along with any fire alarm and/or fire sprinkler alterations. See *Condition #11*.

Conclusion: As conditioned, the proposal can comply with Fire Code.

Building

Finding 38: One ADA parking space as shown on the site plan meets building code requirements.

Finding 39: HVAC, storefront and plumbing are required to be included at plan submittal and are not deferrable items. A condition is added to meet these requirements. See *Condition #12*.

Finding 40: Project must comply with Washington State Energy Code (WSEC) Sections 501, 502, and 503. See *Condition #13*.

Conclusion: As conditioned, the proposal can comply with Building Code.

Preliminary Site Plan Approval | WMC 19.10.070

Finding 41: The applicant submitted a preliminary site plan. Per WMC 19.10.070, the applicant is required to submit for final civil plan approval and submit a final site plan application. *See Condition #14.*

Conclusion: The preliminary site plan can be approved with conditions

V. DECISION

Per WMC 19.08.030, the above application for the preliminary Site Plan Review has been **APPROVED WITH CONDITIONS** by the City of Woodland's Development Review Committee (DRC) based on the criteria and standards outlined in Woodland Municipal Code (WMC). *See Section IV for conditions of approval.*

V. CONDITIONS OF APPROVAL

1. Pay all impact fees when building permits are issued per WMC 3.41 and WMC 3.42.
2. Fire impact fees are calculated at the time of building permit issuance and are based on \$.51 per sq. ft. of structure. Fee is estimated to be \$1,071 (\$.51 per square foot of commercial space).
3. The number of peak hour trips results in a calculated Transportation Impact Fee of (.4745 trips X \$838) = \$1,179.07 for the project.
4. Obtain a NPDES permit from Department of Ecology if disturbing more than one acre of soil.
5. A final erosion control plan will be required with final engineering. Applicant is required to install and maintain erosion control measures per the Best Management Practices as outlined in WMC 15.10.
6. All proposed site modifications must be consistent with the assumptions in the previous TIR and all proposed site drainage improvements must comply with WMC 15.12 and the City Engineering Standards
7. The operator shall be responsible for ensuring that lighting is installed and arranged to ensure that no reflection or glare shall conflict with the readability of traffic signs or control signs. Lighting shall also not rotate, glitter, or flash per WMC 17.46.140.
8. All buildings and yards shall be maintained in a neat and orderly manner. Landscaping shall be maintained in a healthy, presentable state per WMC 17.46.160.
9. The applicant will be responsible for ensuring that their operation is complying with all performance standards of WMC 17.48 (hazards and nuisances including sound level, vibration, air emissions, smoke, dust, odors, industrial wastes, fire hazards, heat, glare, radioactivity and radio transmitters).

10. Submit site plan to CCFR for review. Include any required revisions with the civil engineering submission. All work subject to field inspection and correction as identified at the time of the on-site inspection; all work shall be compliant with the applicable standards and codes; to include the adopted edition of the International Fire Code and the City's Municipal Code.
11. Building construction plans shall be submitted separately, along with any fire alarm and/or fire sprinkler alterations.
12. HVAC, storefront and plumbing are required to be included at plan submittal and are not deferrable items.
13. Project must comply with Washington State Energy Code (WSEC) Sections 501, 502, and 503.
14. Per WMC 19.10.070, the applicant is required to submit for final civil plan approval and submit a final site plan application.

VI. APPEAL PROCEDURE

As per WMC 19.08.020 and 19.08.030, this Notice of Decision may be appealed to the Hearing Examiner within 14 days of the date this decision is issued. The appeal with grounds for appeal in writing shall be submitted to the Community Development Department **by 5:00 p.m., October 11, 2021.**

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Woodland, WA 98661
johnstonm@ci.woodland.wa.us

VII. NEXT STEPS

If there is no appeal to the decision, the applicant may move forward to develop the site.

- Submit final civil plans addressing the conditions above. Include Woodland standard details for water, sewer, erosion control, etc. as required to support the civil design when you submit drawings for final civil approval.
 - a. The details can be found at www.ci.woodland.wa.us/departments/public-works/standards.php.
 - b. Submit final civil plans to: https://woodlandwa.seamlessdocs.com/f/civil_review
- Once civil plans are approved:
 - a. Upload approved plans to Clark County Fire and Rescue for electronic signature: www.clarkfr.org. Print the plans once signed.

- b. Contact Public Works to arrange for signature: 360-225-7999. Then, bring plans signed by Clark County Fire and Rescue to Public Works for signature.
 - c. Provide a .pdf to Public Works of signed plan set.
- Submit building, grading, and sign permits online: www.ci.woodland.wa.us/documents/
 - a. Contact Janice Fisher, Permit Technician, for assistance: 360-225-7299.
 - b. Pay any outstanding professional consulting services per Woodland Municipal Code, Ordinance 1097.
- Schedule a pre-construction meeting before beginning any construction activities. Contact Public Works at 360-225-7999 to schedule.
- Install all required landscaping and irrigation prior to applying for final occupancy.
- Submit one full-sized and one copy of reduced size (11" x 17") as-built drawings. In addition, submit a CD/thumb drive containing the as-built drawings in AutoCAD and pdf formats prior to applying for final occupancy.

Date: 9/27/2021

Signature: _____

Melissa Johnston, Associate Planner

cc: Applicant
 Parties of Record
 File
 Website
 Mayor
 City Administrator

ATTACHMENTS

- A. Site Plan

Attachment A
Site Plan

Abbreviations

ADJ.	Adjust	MJ	Mechanical Joint
AC	Asphalt Concrete	(N)	North
ASPH.	Asphalt	(NE)	Northeast
ASS'Y	Assembly	(NW)	Northwest
AVE.	Avenue	N.T.S.	Not to Scale
BFV	Butterfly Valve	O.C.	On Center
BLKG	Blocking	O.D.	Outside Diameter
BLDG	Building	O/S	Offset
CB	Catch Basin	PERF.	Perforated
CI	Cast Iron	PVC	Polyvinyl Chloride
CL	Centerline	PVI	Point of Vertical Intersection
CMP	Corrugated Metal Pipe	PVIE	Point of Vertical Intersection Elevation
CO	Cleanout	PVIS	Point of Vertical Intersection Station
CONC	Concrete	PVMT	Pavement
CONST.	Construction	PRKG	Parking
CPLG	Coupling	PRV	Pressure Reducing Valve
CSCB	Crushed Surfacing Base Course	PROV.	Provisions
CSTC	Crushed Surfacing Top Course	R	Radius
DI	Ductile Iron	RBC	Rebar and Cap
DIA.	Diameter	REQ'D.	Required
DTL	Detail	RT.	Right
DWG	Drawing	R/W	Right-of-Way
DWY.	Driveway	S/W	Sidewalk
(E)	East	S	South
EC	Erosion Control	(S)	South
ELEV.	Elevation	SD	Storm Drain
EXIST.	Existing	SDCB	Storm Drain Catch Basin
EOP	Edge of Pavement	SDMH	Storm Drain Manhole
FLG	Flange	SHT.	Sheet
FND	Found	SS	Sanitary Sewer
FOC	Face of Curb	SSCO	Sanitary Sewer Cleanout
GV	Gate Valve	SSMH	Sanitary Sewer Manhole
H	Horizontal	SST	Stainless Steel
HDPE	High-density Polyethylene	ST	Street
HMA	Hot Mix Asphalt	STA.	Station
HORIZ.	Horizontal	STD.	Standard
ILLUM.	Illumination	STRUCT.	Structure
INV.	Invert	(SE)	Southeast
IE	Invert Elevation	(SW)	Southwest
INT.	Intersection	(TELE.	Telephone
IP	Iron Pipe	TEMP.	Temporary
JUNCT.	Junction	TESC	Temporary Erosion and Sediment Control
LT.	Left	TRANS.	Transition
LF	Lineal Feet	TYP.	Typical
MAX.	Maximum	U.N.O.	Unless Noted Otherwise
MD	Measure Down	V	Vertical
MGL/L	Milligrams per Liter	VERT.	Vertical
MIN.	Minimum	(W)	West
MH	Manhole	W/	With

Legends

Existing Line Types

Proposed Line Types

Existing Symbols

Proposed Symbols

Sheet Index	
Drawing No.	Sheet Title
General	
8001A	Cover Sheet
8002A	Notes, Legend, and Abbreviations
8003A	Existing Conditions & Property Boundary Plan
Civil	
8008A	Site, Grading & Storm Drainage Plan
8009A	Site, Grading, & Storm Drainage Plan Future Improvements
8012A	Roadway & Storm Drainage Details
Landscaping	
8022A	Landscaping Plan
8023A	Landscaping Plan
8024A	Landscaping Plan
8025A	Landscaping Plan
8026A	Plant Schedule & Detail

Fencing

- CHAIN LINK FENCE FABRIC SHALL BE HOT-DIP GALVANIZED WITH A MINIMUM OF 0.8 OUNCE PER SQUARE FOOT OF SURFACE AREA.
- CHAIN LINK FENCE MATERIALS SHALL BE SPECIFIED AS BELOW:
 - STEEL FENCING FABRIC: SHALL BE NO.9 GAUGE GALVANIZED STEEL WIRES, 2-INCH MESH, WITH BOTH TOP AND BOTTOM SELVAGES TWISTED AND BARBED. FURNISH ONE-PIECE FABRIC WIDTHS FOR ALL FENCING. FABRIC SHALL HAVE A GALVANIZED COATING PER ASTM A817 WITH A MINIMUM WEIGHT OF 1.0 OUNCE/SQUARE FOOT OF UNCOATED WIRE SURFACE.
 - STEEL FRAMEWORK: SHALL BE GALVANIZED STEEL PER ASTM F1083, WITH A MINIMUM OF 2.0 OUNCES OF ZINC PER SQUARE FOOT OF SURFACE AREA.
 - IRON AND ACCESSORIES: ALL FITTINGS AND MISCELLANEOUS HARDWARE SHALL BE PRESSED STEEL OR MALLEABLE IRON AND SHALL BE HOT DIP GALVANIZED IN ACCORDANCE WITH ASTM F 626. GALVANIZING OF MISCELLANEOUS FITTINGS NOT COVERED BY ASTM F 626 SHALL BE IN CONFORMANCE WITH ASTM A 153.
 - END, CORNER AND PULL POSTS: ALL TERMINAL POSTS SHALL BE TUBULAR 2-7/8" O.D. GALVANIZED STEEL PIPE, 5.79 POUNDS PER LINEAR FOOT.
 - LINE POSTS: ALL LINE POSTS SHALL BE SPACED AT AN EQUAL SPACING, WITH MAXIMUM SPACING OF 10-FEET, AND SHALL BE TUBULAR 2_3/8" O.D. GALVANIZED STEEL PIPE, 3.65 POUNDS PER LINEAR FOOT.
 - GATE POSTS: FURNISH POSTS REQUIRED FOR SUPPORTING NOMINAL GATE WIDTHS AS SHOWN ON DRAWINGS.
 - TOP AND BRACE RAILS: RAILS SHALL BE 1-5/8" O.D. GALVANIZED STEEL PIPE, 2.27 POUNDS PER LINEAR FOOT.
 - TENSION WIRE: 7-GAUGE, COIL SPRING WIRE, METAL AND FINISH TO MATCH FABRIC. LOCATE AT BOTTOM OF FABRIC.
 - WIRE TIES: 9-GAUGE WIRE, METAL AND FINISH TO MATCH FABRIC.
 - POST BRACE ASSEMBLY: MANUFACTURER'S STANDARD ADJUSTABLE BRACE AT END AND GATE POSTS AND AT BOTH SIDES OF CORNER AND PULL POSTS, WITH HORIZONTAL BRACE LOCATED AT MID-HEIGHT OF FABRIC. USE SAME MATERIAL AS TOP RAIL FOR BRACE, AND TRUSS TO LINE POSTS WITH 3/8-INCH DIAMETER ROD AND ADJUSTABLE TIGHTENER.
 - POST TOPS: PROVIDE WEATHER TIGHT CLOSURE CAP WITH LOOP TO RECEIVE TENSION WIRE OR TOP RAIL: ONE CAP FOR EACH POST.
 - STRETCHER BARS: ONE-PIECE LENGTHS EQUAL TO FULL HEIGHT OF FABRIC, WITH MINIMUM CROSS-SECTION OF 3/16" X 3/4". PROVIDE ONE STRETCHER BAR FOR EACH GATE AND END POST, AND TWO FOR EACH CORNER AND PULL POST.
 - STRETCHER BAR BANDS: MAXIMUM SPACING 15-INCHES O.C., TO SECURE STRETCHER BARS TO END, CORNER, PULL, AND GATE POSTS.
 - BARBED WIRE SUPPORTING ARMS: MANUFACTURER'S STANDARD BARBED WIRE SUPPORTING ARMS, METAL AND FINISH TO MATCH FENCE FRAMEWORK, WITH PROVISION FOR ANCHORAGE TO POSTS AND ATTACHING 3 ROWS OF BARBED WIRE TO EACH ARM. SUPPORTING ARMS MAY BE EITHER ATTACHED TO POSTS OR INTEGRAL WITH POST TOP WEATHER CAP AND MUST BE CAPABLE OF WITHSTANDING 250 LBS. DOWNWARD PULL AT OUTERMOST END. PROVIDE ONE SINGLE 45-DEGREE ARM FOR 3 STRANDS OF BARBED WIRE FOR EACH POST.
 - BARBED WIRE: DOUBLE STRAND, 12-1/2 GAUGE WIRE WITH 14-GAUGE, 4-POINT BARBS SPACED NOT MORE THAN 5" O.C. AND FINISH TO MATCH FABRIC.
- CHAIN LINK FENCE INSTALLATION:
 - SETTING POSTS: CENTER AND ALIGN POSTS TO REQUIRED HEIGHT DURING ASSOCIATED WORK OF PLACING CONCRETE. ALL POSTS SHALL BE SET IN 3,000 PSI (MINIMUM) CONCRETE. POSTS SHALL HAVE A MAXIMUM SPACING OF 10 FEET. ALL CONCRETE POST FOOTINGS SHALL BE 10-INCH MINIMUM DIAMETER, A MINIMUM OF 3 FEET DEEP, AND SHALL BE CROWNED AT THE TOP. PLACE CONCRETE AROUND POSTS AND VIBRATE OR TAMP FOR CONSOLIDATION. CHECK EACH POST FOR VERTICAL AND TOP ALIGNMENT, AND HOLD IN POSITION DURING PLACEMENT AND FINISHING OPERATIONS.
 - TOP RAILS: RUN RAIL CONTINUOUSLY THROUGH POST CAPS. PROVIDE EXPANSION COUPLINGS AS PREVIOUSLY SPECIFIED.
 - CENTER RAILS: PROVIDE CENTER RAILS WHERE RECOMMENDED BY MANUFACTURER. INSTALL IN ONE PIECE BETWEEN POSTS AND FLUSH WITH POST ON FABRIC SIDE, USING SPECIAL OFFSET FITTINGS WHERE NECESSARY.
 - BRACE ASSEMBLIES: INSTALL BRACES SO POSTS ARE PLUMB WHEN DIAGONAL ROD IS UNDER PROPER TENSION.
 - TENSION WIRE: INSTALL TENSION WIRES BEFORE STRETCHING FABRIC AND TIE TO EACH POST WITH NOT LESS THAN 6-GAUGE GALVANIZED WIRE. FASTEN FABRIC TO TENSION WIRE USING 11-GAUGE GALVANIZED STEEL HOG RINGS SPACED 24 INCHES O.C.
 - FABRIC: LEAVE APPROXIMATELY TWO INCHES BETWEEN FINISH GRADE AND BOTTOM SELVAGE, UNLESS OTHERWISE INDICATED. PULL FABRIC TAUT AND TIE TO POSTS, RAILS, AND TENSION WIRES. INSTALL FABRIC ON SECURITY SIDE OF FENCE, AND ANCHOR TO FRAMEWORK SO THAT FABRIC REMAINS IN TENSION AFTER PULLING FORCE IS RELEASED.
 - STRETCHER BARS: THREAD THROUGH OR CLAMP TO FABRIC FOUR INCHES O.C., AND SECURE TO POSTS WITH METAL BANDS SPACED 15 INCHES O.C.
 - TIE WIRES: USE U-SHAPED WIRE, CONFORMING TO DIAMETER OF PIPE TO WHICH ATTACHED, CLASPING PIPE AND FABRIC FIRMLY WITH ENDS TWISTED AT LEAST TWO FULL TURNS. BEND ENDS OF WIRE TO MINIMIZE HAZARD TO PERSONS OR CLOTHING.
 - TIE FABRIC TO LINE POSTS, WITH WIRE TIES SPACED 12 INCHES O.C. TIE FABRIC TO RAILS AND BRACES, WITH WIRE TIES SPACED 24 INCHES O.C. TIE FABRIC TO TENSION WIRES, WITH HOG RINGS SPACED 24 INCHES O.C.
 - ATTACH FABRIC TO TERMINALS WITH 10-GAUGE LOCK LOOPS SPACED EVERY 3.3 INCHES. THE FABRIC SHALL BE WOVEN THROUGH THE LOCK LOOPS TO PROVIDE EXTRA STRENGTH.
 - FASTENERS: INSTALL NUTS FOR TENSION BANDS AND HARDWARE BOLTS ON SIDE OF FENCE OPPOSITE FABRIC SIDE. PEEN ENDS OF BOLTS OR SCORE THREADS TO PREVENT REMOVAL OF NUTS.
 - THE 20-FOOT ROLLING GATE SHOWN ON THE DRAWINGS SHALL BE FURNISHED AND INSTALLED BY OTHERS.

General Notes

- ALL WORK SHALL BE IN CONFORMANCE WITH THE EXISTING LABOR LAWS, SAFETY REQUIREMENTS AND OTHER REGULATIONS, AS REQUIRED BY THE CITY OF WOODLAND, COWLITZ COUNTY, THE STATE OF WASHINGTON, THE FEDERAL GOVERNMENT AND THE OWNER. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- ALL WORK AND MATERIAL SHALL MEET THE REQUIREMENTS OF THE APPLICABLE DETAILS SHOWN ON THE DRAWINGS, AND CONFORM TO THE CURRENT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, INCLUDING SECTION 1-99 APWA SUPPLEMENTS, AS AMENDED, AS ISSUED BY THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) AND THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA), WASHINGTON STATE CHAPTER. HEREAFTER SECTION NUMBERS REFER TO WSDOT SPECIFICATIONS UNLESS NOTED OTHERWISE.
- ALSO INCORPORATED INTO THESE CONTRACT DOCUMENTS BY REFERENCE ARE:
 - MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS (MUTCD), CURRENT EDITION, WITH WSDOT MODIFICATIONS, IF ANY;
 - CITY DEVELOPMENT GUIDELINES AND PUBLIC WORKS STANDARDS, CURRENT ADDITION, WHICH IS REQUIRED TO BE ON-SITE WITH APPROVED PLANS;
- CONTRACTOR SHALL OBTAIN COPIES OF THESE PUBLICATIONS AT OWN EXPENSE AND HAVE ACCESSIBLE ON-SITE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, SUPPLIES, AND INCIDENTALS REQUIRED TO COMPLETE ALL WORK SHOWN ON THESE DRAWINGS AND TO OBTAIN ACCEPTANCE BY THE CITY AND THE PROJECT OWNER.
- THE CONTRACTOR SHALL CONFORM TO LABOR AND INDUSTRIES REQUIREMENTS WITH REGARD TO SAFETY, CONFINED SPACE ENTRY, AND ALL OTHER APPLICABLE SECTIONS TO THIS PROJECT.
- THE INTENT OF THESE DRAWINGS IS TO DESCRIBE A COMPLETE WORK. OMISSIONS FROM THE DRAWINGS OF DETAILS OF WORK WHICH ARE NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING THE OMITTED WORK.
- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ACTIVITIES WITH ADJACENT PROPERTY OWNERS. DRIVEWAYS AND UTILITY SERVICES SHALL REMAIN ACCESSIBLE AT ALL TIMES.
- CONTRACTOR SHALL NOTIFY AND COORDINATE WITH OTHER UTILITIES AS NEEDED FOR DURATION OF THE PROJECT.
- A PROPOSED ALTERATION BY THE CONTRACTOR AFFECTING THE REQUIREMENTS AND INFORMATION IN THESE DRAWINGS SHALL BE IN WRITING AND WILL REQUIRE APPROVAL OF ENGINEER AND OWNER.
- ALL CONNECTIONS TO WATER, SEWER, AND STORM DRAIN SYSTEMS, I.E., TIE-INS OR RELOCATIONS, WILL REQUIRE SHOP DRAWINGS PRIOR TO CONSTRUCTION.
- ALL MATERIAL SUBMITTALS TO BE APPROVED PRIOR TO CONSTRUCTION INCLUDING SHOPS DRAWINGS, TRAFFIC CONTROL PLANS, SHUT DOWN NOTICES, AND FLUSHING NOTICES.
- THE CONTRACTOR SHALL SUBMIT CATALOG DATA, CUT SHEETS, SHOP DRAWINGS AND OTHER INFORMATION TO THE ENGINEER AND THE OWNER FOR REVIEW OF MATERIALS AND CONSTRUCTION PROCEDURES FOR ALL MAJOR MATERIALS, APPURTENANCES, AND EQUIPMENT. MAJOR MATERIALS INCLUDE PIPE, DRAINAGE STRUCTURES, BACKFILL MATERIAL, CRUSHED SURFACING MATERIAL, CONCRETE AND ASPHALT.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL "PRE-CONSTRUCTION" STATE OR BETTER.
- TEMPORARY STREET PATCHING SHALL BE ALLOWED AS APPROVED BY THE CITY OF WOODLAND. ALL TEMPORARY STREET PATCHING SHALL BE PROVIDED BY PLACEMENT AND COMPACTION OF HOT MIXED ASPHALT WITH A NOMINAL DEPTH OF 2 INCHES. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TEMPORARY PATCHES AS REQUIRED.
- CONTRACTOR TO PROVIDE SHORING MEETING THE REQUIREMENTS OF SECTION 7-08.9(1)B OF THE STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING, TWO WEEKS PRIOR TO CONSTRUCTION, WITH THE OWNER, OWNER'S REPRESENTATIVE AND THE CITY OF WOODLAND PRIOR TO BEGINNING ANY CONSTRUCTION.

Survey and Datum

- TOPOGRAPHIC AND PROPERTY LINE INFORMATION DEPICTED HEREON WAS PROVIDED BY SURVEY. THE INFORMATION WAS NOT FIELD VERIFIED BY THE CITY OR OWNER.
- PROJECT DATUM IS COWLITZ COUNTY GIS (GEOGRAPHIC INFORMATION SYSTEM) VERTICAL AND HORIZONTAL.

Removal and Replacement of Unsuitable Materials

- WHATEVER EXCAVATION ACTIVITIES EXPOSES PEAT, SOFT CLAY, QUICKSAND, DEBRIS, OR OTHER UNSUITABLE FOUNDATION MATERIAL, SUCH MATERIAL SHALL BE REMOVED TO THE DEPTH DIRECTED BY ENGINEER AND BACKFILLED WITH SUITABLE APPROVED FOUNDATION MATERIAL.
- UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND HAULED TO AN APPROVED PERMITTED WASTE SITE OBTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL FURNISH AND PLACE SUITABLE MATERIALS MEETING THE REQUIREMENTS OF THE STANDARD SPECIFICATION.
- TREE STUMPS LOCATED WITHIN THE PROPOSED ROADWAY PRISM SHALL BE REMOVED OR GROUND OUT AND RESULTANT VOID REPLACED WITH CRUSHED SURFACING BASE COURSE (CSBC) COMPACTED TO 95% OF MAXIMUM DRY DENSITY PER ASTM D1557.

Landscaping

- GRASS SEED SHALL BE A COMMERCIALY PREPARED MIX, MADE UP OF A LOW GROWING SPECIES WHICH WILL GROW WITHOUT IRRIGATION AT THE PROJECT LOCATION, AND APPROVED BY THE ENGINEER. THE APPLICATION RATE SHALL BE TWO POUNDS PER 1,000 SQUARE FEET.
- FERTILIZER SHALL BE A COMMERCIALY PREPARED MIX OF 10-20-20 AND SHALL BE APPLIED AT THE RATE OF 10 POUNDS PER 1,000 SQUARE FEET.
- MULCH SHALL BE WOOD CELLULOSE FIBER APPLIED AT 1,600 LBS/ACRE WITH 3% TACKIFIER.
- IN PLANTING AREAS AND LAWNS, CONTRACTOR TO SUPPLY AND INSTALL A MINIMUM OF 4-INCHES OF TOPSOIL. TOPSOIL SHALL BE COMMERCIALY MIXED OF THE FOLLOWING COMPONENTS:
 - 40% LOAM SOIL (MEETING THE PARTICLE SIZE DISTRIBUTION FOR "LOAM SOIL" ACCORDING TO THE NRCS SOIL TEXTURAL TRIANGLE AND AS DOCUMENTED IN A PARTICLE SIZE ANALYSIS, AASHTO T88 "PARTICLE SIZE ANALYSIS OF SOILS");
 - 40% FINE COMPOST (AS DEFINED BY 9-14.4(8) OF THE STANDARD SPECIFICATIONS);
 - 20% SAND.
- ANY TOPSOIL MANUFACTURED AND STOCKPILED FOR PROJECT USE SHALL BE COVERED WITH BLACK PLASTIC TO PREVENT EROSION AND WEED GROWTH PRIOR TO PLACEMENT. WEED OR GRASS GROWTH ON TOPSOIL STOCKPILE SITES SHALL BE IMMEDIATELY ELIMINATED. PLASTIC SHALL MEET THE THICKNESS REQUIREMENTS OF 9-14.5(3).

Roadway

- THE ROADWAY SECTION SHALL CONSIST OF THE FOLLOWING:

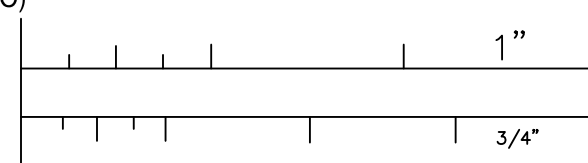
COURSE	THICKNESS (INCHES)	PERCENT COMPACTION*	STANDARD SPECIFICATION
HOT MIXED ASPHALT	5	92	5-04
CSTC	3	95	9-03.9(3)
CSBC	9	95	9-03.9(3)
STRUCTURAL FILL	**	95***	9-03.14(4)
EMBANKMENT FILL	**	92	9-03.14(4)

* PERCENT OF MAXIMUM DRY DENSITY (ASTM D1557).
 ** DEPTH VARIES, SEE CONTRACT DRAWINGS.
 *** STRUCTURAL FILL SHALL BE CONSIDERED THE FILL WITHIN THE ROADWAY PRISM.

- HMA SHALL MEET THE REQUIREMENTS OF "HMA CLASS 1/2" PG 64-22" OF THE STANDARD SPECIFICATIONS.
- THE NOMINAL COMPACTED DEPTH OF HMA SHALL NOT EXCEED 5 INCHES.

Drainage

- ALL CORRUGATED POLYETHYLENE STORM SEWER PIPE SHALL BE RUBBER GASKETED BELL AND SPIGOT CONFORMING TO ASTM F477. PIPE AND JOINTS SHALL BE WATER TIGHT AND AIR TESTABLE MEETING THE REQUIREMENTS OF ASTM D3212. CORRUGATED HDPE POLYETHYLENE PIPE SHALL BE ADS N-12WT, HANCOR OR EQUIVALENT TESTABLE PIPE
- ALL PIPE ZONE AND BACKFILL MATERIAL SHALL BE CRUSHED SURFACING TOP COURSE (CSTC) PER SECTION 9-03.9(3) OF THE STANDARD SPECIFICATIONS.
- ALL BACKFILL SHALL BE COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY PER ASTM D1557.



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NO	DATE	REVISIONS	BY

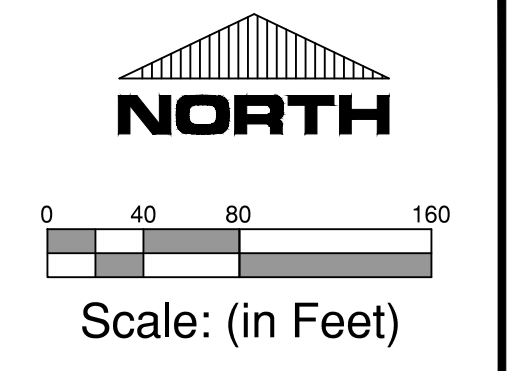
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www.gibbs-olson.com

DANIEL A. RUIZ
REGISTERED PROFESSIONAL ENGINEER
09/8/2021

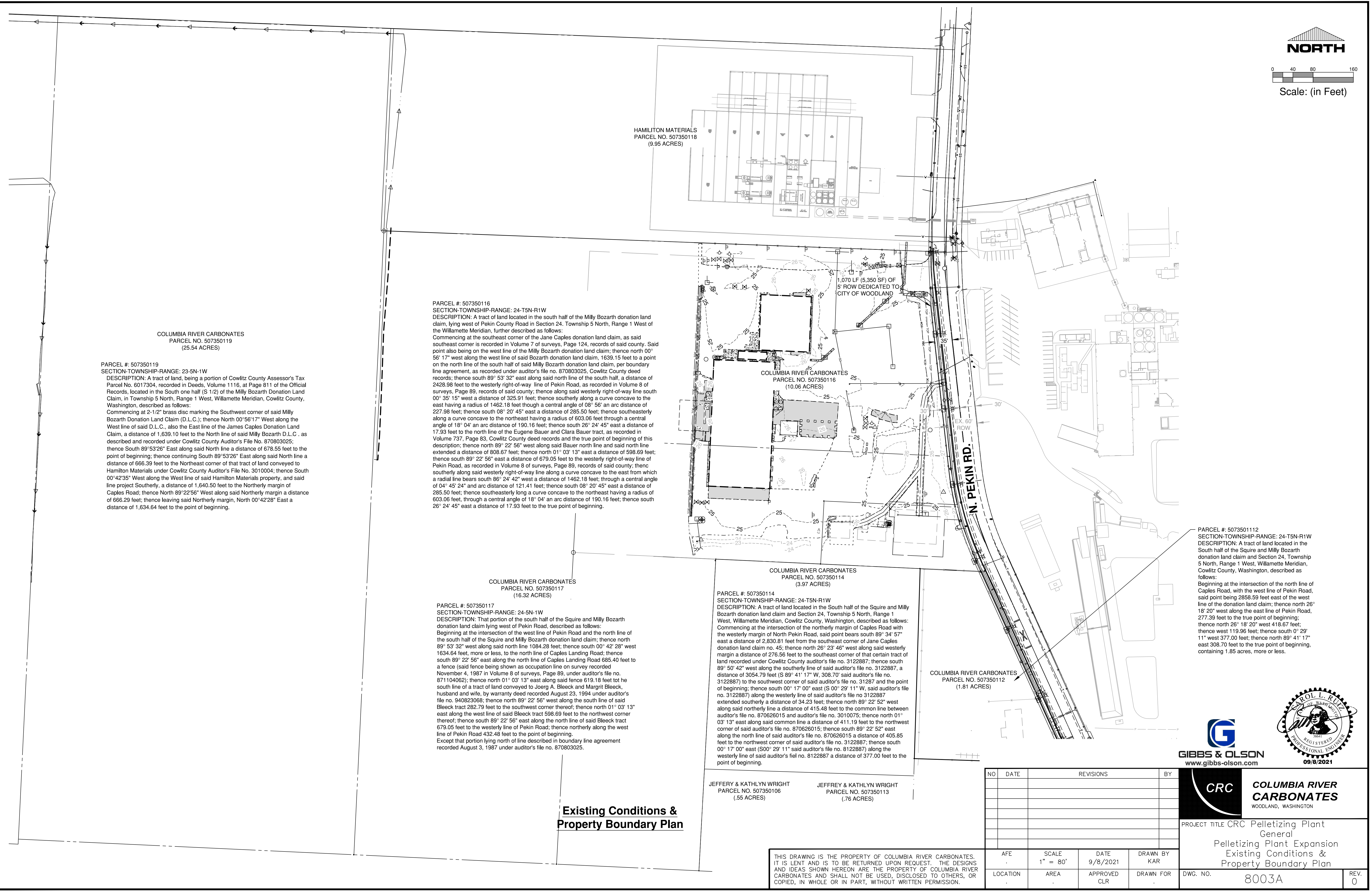
CRC COLUMBIA RIVER CARBONATES
WOODLAND, WASHINGTON

PROJECT TITLE		CRC Pelletizing Plant General	
PROJECT TITLE		Pelletizing Plant Expansion Notes, Legend, and Abbreviations	
AFE	SCALE	DATE	DRAWN BY
.	N.T.S.	9/8/2021	KAR
LOCATION	AREA	APPROVED	DRAWN FOR
.	.	CLR	.
DWG. NO.		8002A	
REV.		0	

DRAWINGS: 3\PROJECTS\0909 COLUMBIA RIVER CARBONATES\05130 PELLETIZING PLANT EXPANSION\CONTRACT DRAWINGS\090905130 GENERAL.DWG - LAYOUT DATE: 9/8/2021 4:55:06 PM. DRAWING DATE: 8/24/2021 4:02:09 PM. PLOTTED BY: KROGOSIS, PROFILE: GIBBS & OLSON STANDARD - C&I, MATERIAL: 2021 - C&I, INTERNAL - C&I, PLOT DEVICE: GIBBS & OLSON - DWG TO PDF.PLOT, STYLE TABLE: GIBBS & OLSON STANDARD, MONOCROME.CTB, PAPER SIZE: ARCH FULL BLEED, D: 24.000, X: 24.000 (INCHES)



DRAWING: 15-PROJECTS-0689 COLUMBIA RIVER CARBONATES CONTRACT DRAWINGS-0689-0100 EXISTING CONDITIONS.DWG, LAYOUT: TAB: 8003A, PLOT DATE: 9/8/2021 4:52:18 PM, DRAWING SCALE: 1/8" = 1'-0", PLOT DATE: 9/24/2021 4:01:53 PM, PLOTTED BY: KROGERS
 PROFILE: GIBBS & OLSON STANDARD - C3D, INFERRAL, 2022 - PLOT DEVICE: GIBBS-OLSON STANDARD MONOCHROME.CTB, PAPER SIZE: ARCH EULL BLEED D, 34.00 X 24.00 INCHES



COLUMBIA RIVER CARBONATES
 PARCEL NO. 507350119
 (25.54 ACRES)

PARCEL #: 507350119
 SECTION-TOWNSHIP-RANGE: 23-5N-1W
 DESCRIPTION: A tract of land, being a portion of Cowlitz County Assessor's Tax Parcel No. 6017304, recorded in Deeds, Volume 1116, at Page 811 of the Official Records, located in the South one half (S 1/2) of the Milly Bozarth Donation Land Claim, in Township 5 North, Range 1 West, Willamette Meridian, Cowlitz County, Washington, described as follows:
 Commencing at 2-1/2" brass disc marking the Southwest corner of said Milly Bozarth Donation Land Claim (D.L.C.); thence North 00°56'17" West along the West line of said D.L.C., also the East line of the James Caples Donation Land Claim, a distance of 1,639.10 feet to the North line of said Milly Bozarth D.L.C., as described and recorded under Cowlitz County Auditor's File No. 870803025; thence South 89°53'26" East along said North line a distance of 678.55 feet to the point of beginning; thence continuing South 89°53'26" East along said North line a distance of 666.39 feet to the Northeast corner of that tract of land conveyed to Hamilton Materials under Cowlitz County Auditor's File No. 3010004; thence South 00°42'35" West along the West line of said Hamilton Materials property, and said line project Southerly, a distance of 1,640.50 feet to the Northerly margin of Caples Road; thence North 89°22'56" West along said Northerly margin a distance of 666.29 feet; thence leaving said Northerly margin, North 00°42'28" East a distance of 1,634.64 feet to the point of beginning.

PARCEL #: 507350116
 SECTION-TOWNSHIP-RANGE: 24-T5N-R1W
 DESCRIPTION: A tract of land located in the south half of the Milly Bozarth donation land claim, lying west of Pekin County Road in Section 24, Township 5 North, Range 1 West of the Willamette Meridian, further described as follows:
 Commencing at the southeast corner of the Jane Caples donation land claim, as said southeast corner is recorded in Volume 7 of surveys, Page 124, records of said county. Said point also being on the west line of the Milly Bozarth donation land claim; thence north 00°56'17" west along the west line of said Bozarth donation land claim, 1639.15 feet to a point on the north line of the south half of said Milly Bozarth donation land claim, per boundary line agreement, as recorded under auditor's file no. 870803025, Cowlitz County deed records; thence south 89°53'32" east along said north line of the south half, a distance of 2428.98 feet to the westerly right-of-way line of Pekin Road, as recorded in Volume 8 of surveys, Page 89, records of said county; thence along said westerly right-of-way line south 00°35'15" west a distance of 325.91 feet; thence southerly along a curve concave to the east having a radius of 1462.18 feet through a central angle of 08°56' an arc distance of 227.98 feet; thence south 08°20'45" east a distance of 285.50 feet; thence southeasterly along a curve concave to the northeast having a radius of 603.06 feet through a central angle of 18°04' an arc distance of 190.16 feet; thence south 26°24'45" east a distance of 17.93 feet to the north line of the Eugene Bauer and Clara Bauer tract, as recorded in Volume 737, Page 83, Cowlitz County deed records and the true point of beginning of this description; thence north 89°22'56" west along said Bauer north line and said north line extended a distance of 808.67 feet; thence north 01°03'13" east a distance of 598.69 feet; thence south 89°22'56" east a distance of 679.05 feet to the westerly right-of-way line of Pekin Road, as recorded in Volume 8 of surveys, Page 89, records of said county; thence southerly along said westerly right-of-way line along a curve concave to the east from which a radial line bears south 86°24'42" west a distance of 1462.18 feet; through a central angle of 04°45'24" and arc distance of 121.41 feet; thence south 08°20'45" east a distance of 285.50 feet; thence southeasterly long a curve concave to the northeast having a radius of 603.06 feet, through a central angle of 18°04' an arc distance of 190.16 feet; thence south 26°24'45" east a distance of 17.93 feet to the true point of beginning.

COLUMBIA RIVER CARBONATES
 PARCEL NO. 507350117
 (16.32 ACRES)

PARCEL #: 507350117
 SECTION-TOWNSHIP-RANGE: 24-5N-1W
 DESCRIPTION: That portion of the south half of the Squire and Milly Bozarth donation land claim lying west of Pekin Road, described as follows:
 Beginning at the intersection of the west line of Pekin Road and the north line of the south half of the Squire and Milly Bozarth donation land claim; thence north 89°53'32" west along said north line 1084.28 feet; thence south 00°42'28" west 1634.64 feet, more or less, to the north line of Caples Landing Road; thence south 89°22'56" east along the north line of Caples Landing Road 685.40 feet to a fence (said fence being shown as occupation line on survey recorded November 4, 1987 in Volume 8 of surveys, Page 89, under auditor's file no. 871104062); thence north 01°03'13" east along said fence 619.18 feet to the south line of a tract of land conveyed to Joerg A. Bleeck and Margrit Bleeck, husband and wife, by warranty deed recorded August 23, 1994 under auditor's file no. 940823068; thence north 89°22'56" west along the south line of said Bleeck tract 282.79 feet to the southwest corner thereof; thence north 01°03'13" east along the west line of said Bleeck tract 598.69 feet to the northwest corner thereof; thence south 89°22'56" east along the north line of said Bleeck tract 679.05 feet to the westerly line of Pekin Road; thence northerly along the west line of Pekin Road 432.48 feet to the point of beginning.
 Except that portion lying north of line described in boundary line agreement recorded August 3, 1987 under auditor's file no. 870803025.

HAMILTON MATERIALS
 PARCEL NO. 507350118
 (9.95 ACRES)

COLUMBIA RIVER CARBONATES
 PARCEL NO. 507350116
 (10.06 ACRES)

COLUMBIA RIVER CARBONATES
 PARCEL NO. 507350114
 (3.97 ACRES)

PARCEL #: 507350114
 SECTION-TOWNSHIP-RANGE: 24-T5N-R1W
 DESCRIPTION: A tract of land located in the South half of the Squire and Milly Bozarth donation land claim and Section 24, Township 5 North, Range 1 West, Willamette Meridian, Cowlitz County, Washington, described as follows:
 Commencing at the intersection of the northerly margin of Caples Road with the westerly margin of North Pekin Road, said point bears south 89°34'57" east a distance of 2,830.81 feet to the southeast corner of Jane Caples donation land claim no. 45; thence north 26°23'46" west along said westerly margin a distance of 276.56 feet to the southeast corner of that certain tract of land recorded under Cowlitz County auditor's file no. 3122887; thence south 89°50'42" west along the southerly line of said auditor's file no. 3122887, a distance of 3054.79 feet (S 89°41'17" W, 308.70' said auditor's file no. 3122887) to the southwest corner of said auditor's file no. 31287 and the point of beginning; thence south 00°17'00" east (S 00°29'11" W, said auditor's file no. 3122887) along the westerly line of said auditor's file no. 3122887, extended southerly a distance of 34.23 feet; thence north 89°22'52" west along said northerly line a distance of 415.48 feet to the common line between auditor's file no. 870626015 and auditor's file no. 3010075; thence north 01°03'13" east along said common line a distance of 411.19 feet to the northwest corner of said auditor's file no. 870626015; thence south 89°22'52" east along the north line of said auditor's file no. 870626015 a distance of 405.85 feet to the northwest corner of said auditor's file no. 3122887; thence south 00°17'00" east (S 00°29'11" W, said auditor's file no. 3122887) along the westerly line of said auditor's file no. 3122887 a distance of 377.00 feet to the point of beginning.

JEFFREY & KATHLYN WRIGHT
 PARCEL NO. 507350106
 (.55 ACRES)

JEFFREY & KATHLYN WRIGHT
 PARCEL NO. 507350113
 (.76 ACRES)

COLUMBIA RIVER CARBONATES
 PARCEL NO. 507350112
 (1.81 ACRES)

PARCEL #: 507350112
 SECTION-TOWNSHIP-RANGE: 24-T5N-R1W
 DESCRIPTION: A tract of land located in the South half of the Squire and Milly Bozarth donation land claim and Section 24, Township 5 North, Range 1 West, Willamette Meridian, Cowlitz County, Washington, described as follows:
 Beginning at the intersection of the north line of Caples Road, with the west line of Pekin Road, said point being 2856.59 feet east of the west line of the donation land claim; thence north 26°18'20" west along the east line of Pekin Road, 277.39 feet to the true point of beginning; thence north 26°18'20" west 418.67 feet; thence west 119.96 feet; thence south 0°29'11" west 377.00 feet; thence north 89°41'17" east 308.70 feet to the true point of beginning, containing 1.85 acres, more or less.

Existing Conditions & Property Boundary Plan

NO	DATE	REVISIONS	BY

AFE	SCALE	DATE	DRAWN BY
	1" = 80'	9/8/2021	KAR
LOCATION	AREA	APPROVED	DRAWN FOR

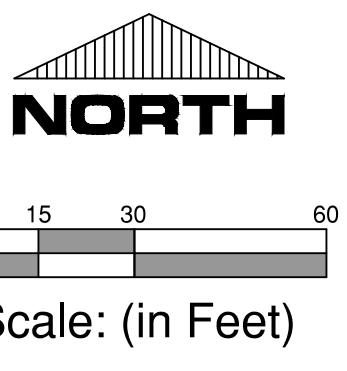
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PROJECT TITLE CRC Pelletizing Plant General
 Pelletizing Plant Expansion
 Existing Conditions & Property Boundary Plan

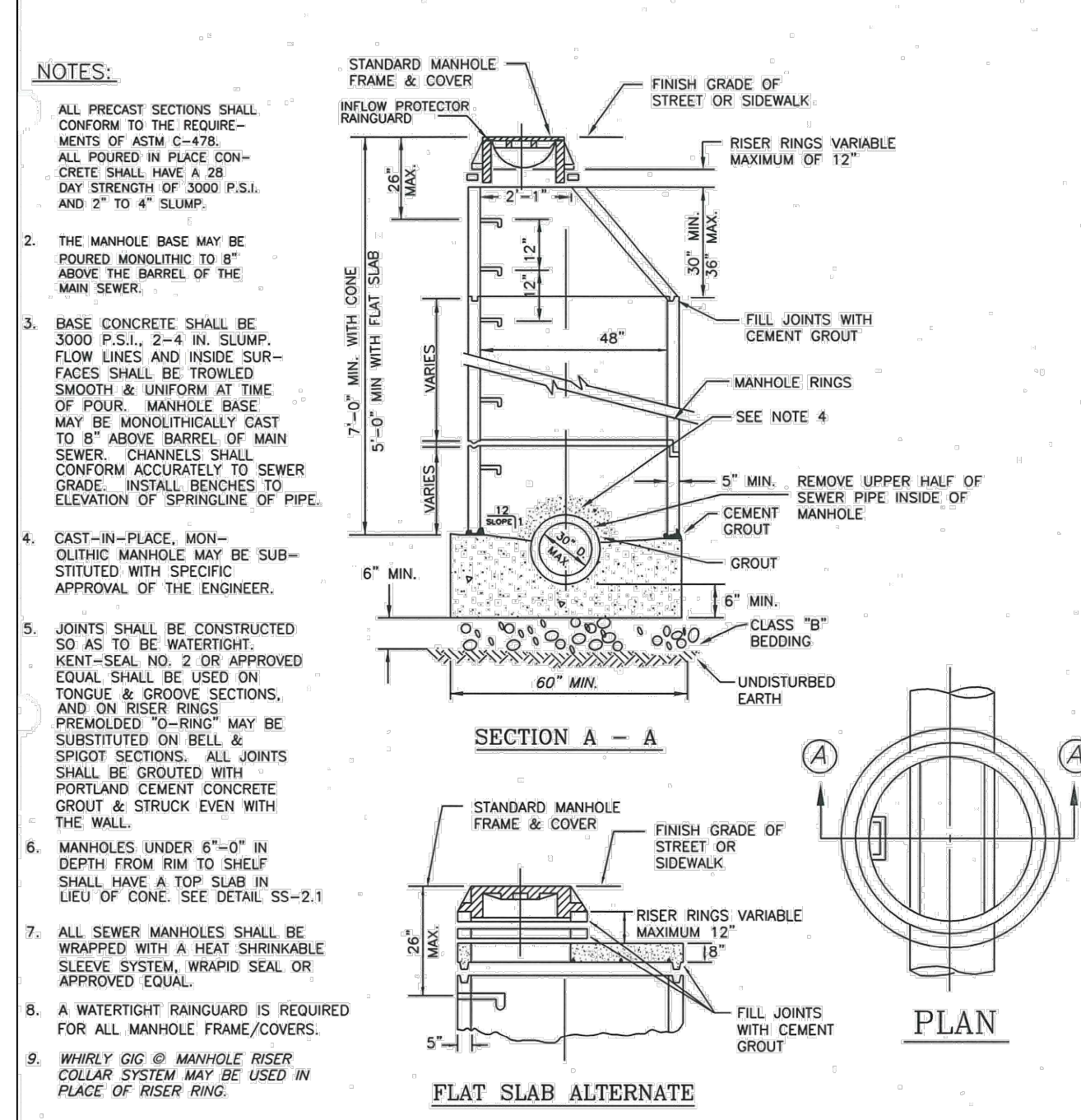
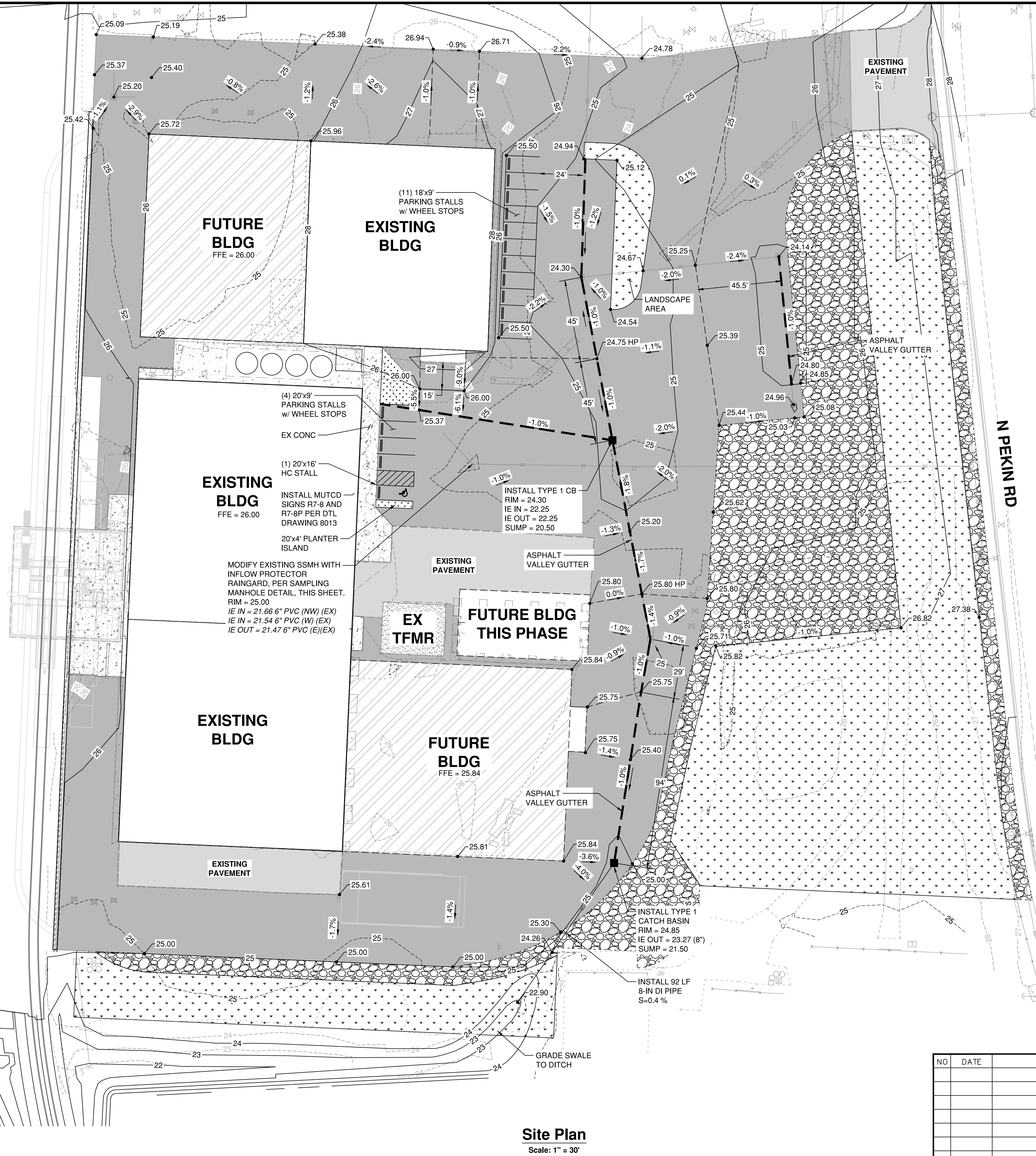
DWG. NO.	8003A	REV.	0
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DRAWINGS: 1. PROJECTS: 0808 COLUMBIA RIVER CARBONATES 05/20/2021 PELLETIZING PLANT EXPANSION CONTRACT DRAWINGS 080805100 SITE PLAN DWG. LAYOUT TAB: 8008A. PLOT DATE: 9/8/2021 4:52:39 PM. DRAWING SAVE DATE: 9/8/2021 4:51:51 PM. PLOTTED BY: KRIGERS
 PROFILE: GIBBS & OLSON STANDARD - CAD INFERRAL 2022 - PLOT DEVICE: GIBBS-OLSON STANDARD MONOCHROME CIB. PAPER SIZE: ARCH FULL BLEED D. 36.00 X 24.00 INCHES



- LEGEND:**
- PROPOSED HOT MIX ASPHALT AREA
 - EXISTING HOT MIX ASPHALT AREA
 - GRAVEL SURFACING
 - CONCRETE PAD
 - LANDSCAPING
 - ASPHALT VALLEY GUTTER
 - ASPHALT RIDGE LINE

- GENERAL SITE NOTES:**
1. PAVING LIMITS SHOWN ARE FOR PHASE 2; FOR FUTURE IMPROVEMENTS WEST OF RAIL, SEE SHEET 8009A.
 2. STORM DRAINAGE, WATER AND SANITARY SEWER INSTALLED AS A PART OF PHASE 1 IMPROVEMENTS.
 3. FOR LANDSCAPING, SEE DRAWINGS 8022A - 8026A.



NO	DATE	REVISIONS	BY

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CAROL L. RUIZ
REGISTERED PROFESSIONAL ENGINEER
09/8/2021

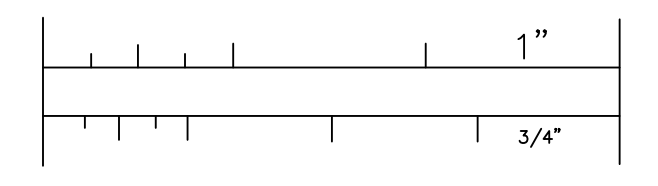
CRC COLUMBIA RIVER CARBONATES
WOODLAND, WASHINGTON

PROJECT TITLE
CRC Pelletizing Plant
Civil
Pelletizing Plant Expansion
Site, Grading & Storm Drainage Plan

DWG. NO. 8008A

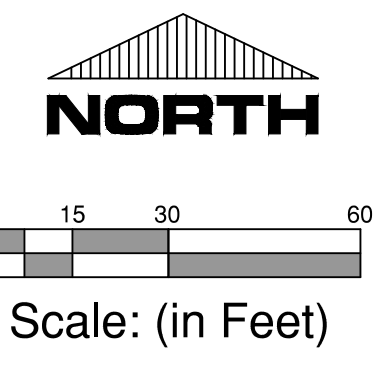
REV. 0

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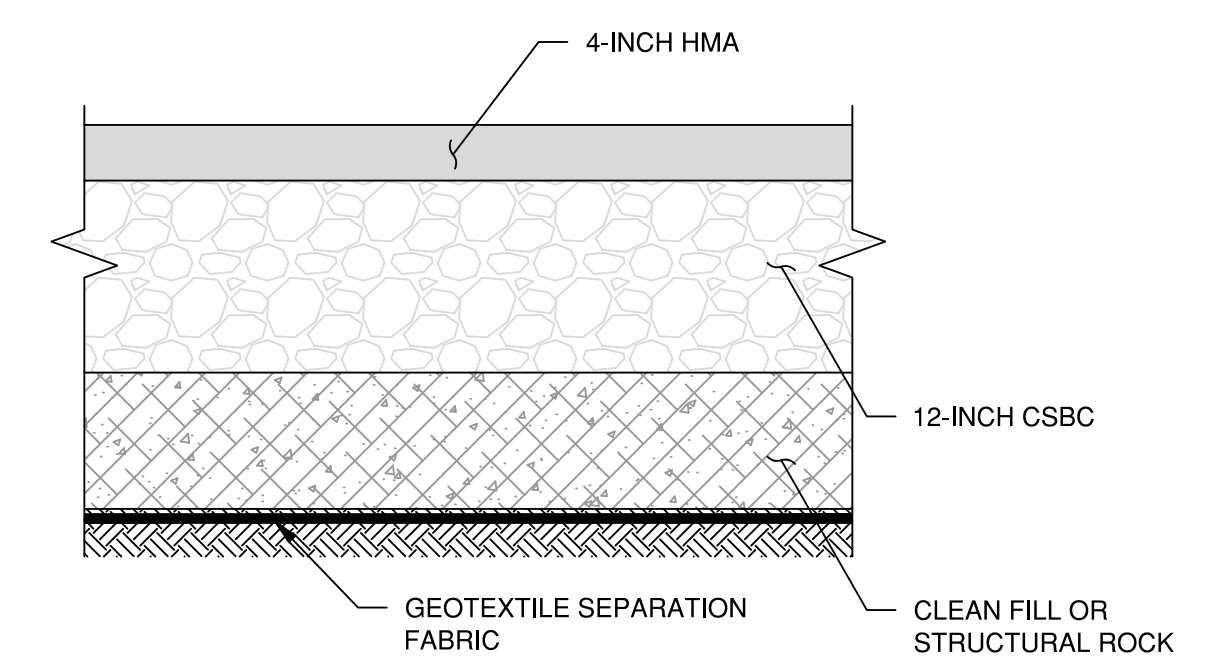


SAMPLING MANHOLE	PLAN #

DRAWING: 21-0000000000 COLUMBIA RIVER CARBONATES PELLETIZING PLANT EXPANSION CONTRACT DRAWING: 08/08/2021 10:45:13 AM, DRAWING DATE: 9/8/2021 4:49:59 PM, PLOTTED BY: KROGERS
 PROFILE: GIBBS & OLSON STANDARD - CAD, MATERIAL: 2022 - DWG TO DEFECT, PLOT STYLE: GIBBS-OLSON, STANDARD, MONOCHROME, CIB, PAPER SIZE: ARCH, BLEED: D, 34.00 X 24.00 INCHES

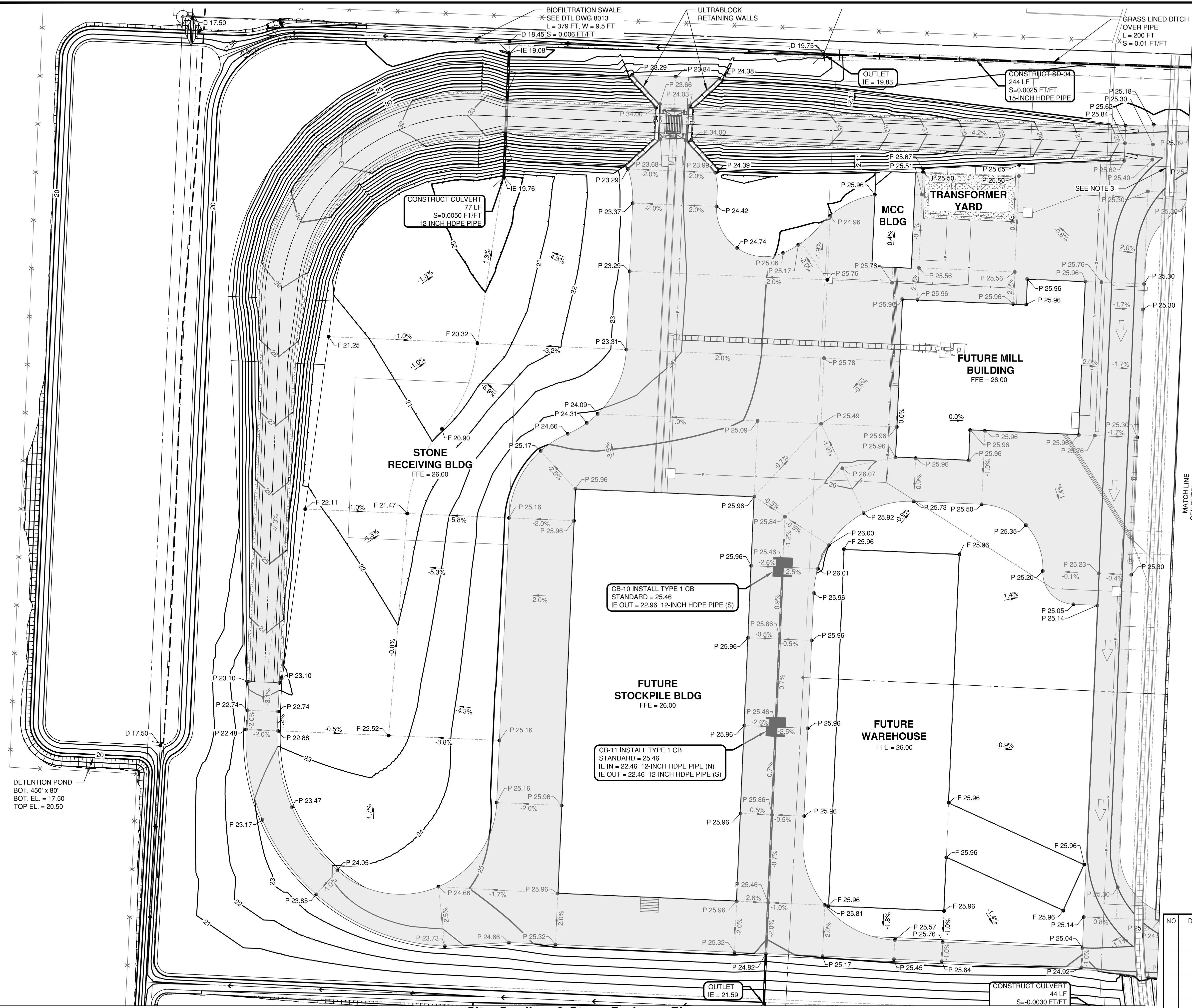


- LEGEND:**
- P 24.71 PAVEMENT ELEVATION
 - C 24.71 CONCRETE ELEVATION
 - D 24.71 DITCH ELEVATION
 - TC 24.71 TOP OF CURB ELEVATION
 - TW 24.71 TOP OF WALL
 - F 24.71 FINISHED GRADE ELEVATION
 - IE 24.71 INVERT ELEVATION
 - GRADE BREAK

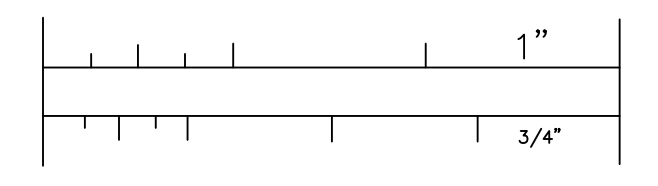


Pavement Section
N.T.S.

**FUTURE IMPROVEMENTS, NOT
CONSTRUCTED THIS PHASE
FOR INFORMATION ONLY**

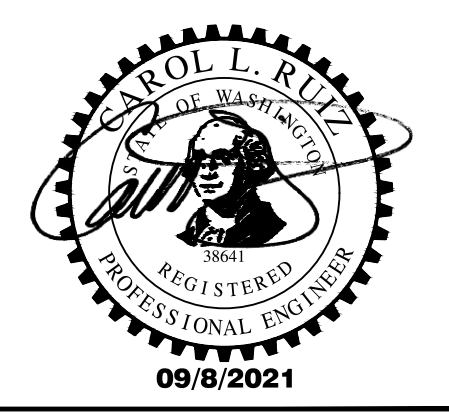


Site, Grading, & Storm Drainage Plan
Future Improvements



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NO	DATE	REVISIONS	BY



PROJECT TITLE CRC Pelletizing Plant
Civil
Pelletizing Plant Expansion
Site, Grading, & Storm Drainage Plan
Future Improvements

AFE	SCALE	DATE	DRAWN BY
	1" = 30'	9/8/2021	KAR
LOCATION	AREA	APPROVED	DRAWN FOR
		CLR	

DWG. NO. 8009A REV. 0

DRAWING: 15-PROJECTS-0689 COLUMBIA RIVER CARBONATES 06120C PELLETIZING PLANT EXPANSION (CONTRACT DRAWINGS) 06120C PELLETIZING PLANT EXPANSION (CONTRACT DRAWINGS) LAYOUT TAB: 8/10/2021, 4:53:18 PM, DRAWING SAVE DATE: 8/10/2021, 1:57:20 PM, PLOTTED BY: ROGERS, PROFILE: GIBBS & OLSON STANDARD - C3D, METRIC, 2022 - C3D, PLOT DEVICE: GIBBS & OLSON - DWG TO PDF (PLOT), TABLE: GIBBS-OLSON STANDARD MONochrome.ctb, PAPER SIZE: ARCH FULL BLEED, D: 24.00, X: 24.00 (INCHES)

THRUST LOADS

PIPE DIAMETER	90° BEND	45° BEND	22-1/2° BEND	11-1/4° BEND	DEAD END OR TEE
4"	3,600	2,000	1,000	500	2,600
6"	8,000	4,400	2,300	1,200	5,700
8"	14,300	7,700	4,000	2,000	10,100
10"	22,300	12,100	6,200	3,100	15,800
12"	32,000	17,400	8,900	4,500	22,700
14"	43,600	23,600	12,100	6,100	30,800
16"	57,000	30,800	15,700	7,800	40,300

NOTES:

- BLOCKING SHALL BE COMMERCIAL CONCRETE POURED IN PLACE AGAINST UNDISTURBED EARTH. FITTING SHALL BE ISOLATED FROM CONCRETE THRUST BLOCK WITH PLASTIC OR SIMILAR MATERIAL.
- TO DETERMINE THE BEARING AREA OF THE THRUST BLOCK IN SQUARE FEET (S.F.): EXAMPLE: 12" - 90° BEND IN SAND AND GRAVEL 32,000 LBS 3000 LB/S.F. = 10.7 S.F. OF AREA
- AREAS MUST BE ADJUSTED FOR OTHER PIPE SIZE, PRESSURES AND SOIL CONDITIONS.
- BLOCKING SHALL BE ADEQUATE TO WITHSTAND FULL TEST PRESSURE AS WELL AS TO CONTINUOUSLY WITHSTAND OPERATING PRESSURE UNDER ALL CONDITIONS OF SERVICE.

SAFE SOIL BEARING LOADS

FOR HORIZONTAL THRUSTS WHEN THE DEPTH OF COVER OVER THE PIPE EXCEEDS 2 FEET

SOIL	POUNDS PER SQUARE FOOT
MUCK, PEAT	0
SOFT CLAY	1,000
SAND	2,000
SAND & GRAVEL	3,000
SAND & GRAVEL CEMENTED WITH CLAY	4,000
HARD SHALE	10,000

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<i>Paul Stepp</i> 11/11/21					W-19
PUBLIC WORKS DIRECTOR	DATE				

GENERAL NOTES FOR STORM SEWERS

- ALL MATERIALS AND INSTALLATION OF STORM SEWERS AND DRAINAGE SYSTEMS SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS IN THE CITY OF WOODLAND'S LATEST VERSION OF STANDARD DETAILS AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION CHAPTER OF THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION WHERE THE CITY OF WOODLAND REQUIREMENTS SHALL TAKE PRECEDENCE. WHEREVER THE STANDARD SPECIFICATIONS REFER TO THE OWNER AS EITHER THE "STATE" OR "DEPARTMENT" OR WHEN REFERENCE IS MADE TO THE DEPARTMENT OF TRANSPORTATION IT SHALL BE UNDERSTOOD THAT THE STANDARD SPECIFICATIONS SHOULD READ THE "CITY".
- ALL STORM SEWER AND DRAINAGE SYSTEM CONSTRUCTION IS SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF WOODLAND'S PUBLIC WORKS DEPARTMENT. THE CONTRACTOR SHALL NOTIFY THE PUBLIC WORKS OFFICE (360) 225-7999 AT LEAST 48 HOURS PRIOR TO THE START OF ANY CONSTRUCTION. THE CITY MAY REQUIRE THAT A PRECONSTRUCTION CONFERENCE BE HELD.
- THE CONTRACTOR IS REQUIRED TO NOTIFY ALL UTILITIES 48 HOURS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR MAY CONTACT THE NORTHWEST UTILITY NOTIFICATION CENTER AT 1-800-424-3555 IN LIEU OF CONTACTING INDIVIDUAL UTILITIES.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO PROCURE AND COMPLY WITH THE PROVISIONS OF ALL APPLICABLE PERMITS, EASEMENTS, LICENSES AND CERTIFICATES IN CONNECTION WITH THE CONSTRUCTION OF STORM SEWERS AND DRAINAGE SYSTEMS. COMPLIANCE SHALL BE AT ALL LEVELS: FEDERAL, STATE AND CITY RELATING TO THE PERFORMANCE OF THIS WORK. THE CONTRACTOR SHALL OBTAIN A STREET CUT PERMIT FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN AND SUBMIT AN APPROVED TRAFFIC CONTROL PLAN PRIOR TO BEGINNING CONSTRUCTION. THE PLAN SHALL BE APPROVED BY THE PUBLIC WORKS DIRECTOR.
- ALL EROSION CONTROL BEST MANAGEMENT PRACTICES (BMP) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND EROSION CONTROL DETAILS. PRIOR TO START OF ANY CONSTRUCTION OR LAND DISTURBING ACTIVITY.
- THE CONTRACTOR SHALL OBTAIN ALL OFFSITE CONSTRUCTION EASEMENTS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THAT ALL OFFSITE UTILITIES EASEMENTS HAVE BEEN OBTAINED BY THE OWNER PRIOR TO THE COMMENCEMENT OF ANY OFFSITE CONSTRUCTION.
- THE CONTRACTOR IS TO VERIFY AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. ITEMS TO VERIFY INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - INVERT AND TOP ELEVATIONS OF EXISTING STORM SEWERS
 - CENTRALLINE AND TOP OF CURB ELEVATIONS
- WATER QUALITY DEVICES WILL BE INSTALLED AND FUNCTIONING PRIOR TO COMMENCING WITH INSTALLATION OF PAVEMENT FOR THE WATER QUALITY SYSTEM. VEGETATION IN BIO-FILTRATION SHALE AND POND SYSTEMS SHALL BE ESTABLISHED AND MECHANICAL DEVICES AND FILTER MEDIA SHALL BE INSTALLED. SHALES AND FILTER STRIPS WILL BE SEEDED WITH AN APPROVED SEED MIX. PER THE WESTERN WASHINGTON MANUAL, TURF IS ALLOWED FOR VEGETATED FILTERS PROVIDED THE TURF IS OVERSEEDDED WITH THE EQUIVALENT GRASS SEED MIX.
- ALL CATCH BASINS SHALL BE STENCILED "PROTECT STREAMS" OR "PROTECT GROUNDWATER."
- ROOF DOWNSPOUT RUNOFF MUST BE RETAINED ON EACH SPECIFIC SITE. DOWNSPOUTS SHALL NOT DRAIN TO THE STREET OR ANY ADJACENT PROPERTIES UNLESS SPECIFIC APPROVAL HAS BEEN OBTAINED.
- THE CONTRACTOR WILL PROVIDE A TELEVISION REPORT, TAPE, AND TABULAR AS-BUILT OF ALL PUBLIC STORM MAINS AND LATERALS PRIOR TO FINISHING. THIS INFORMATION WILL BE SUBMITTED TO THE CITY INSPECTOR FOR REVIEW. APPROVAL AND ACCEPTANCE OF THE TV INSPECTION WILL BE BASED UPON MANUFACTURING AND INSTALLATION DETAILS, AS WELL AS DESIGN IN THE LINE. FINAL ACCEPTANCE AND CONSTRUCTION OF STORM SEWERS ARE SUBJECT TO INSPECTION AND TESTING IN ACCORDANCE WITH SECTIONS 1-05.11, 1-05.12, AND 1-05.3.3 OF THE STANDARD SPECIFICATIONS.

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<i>Paul Stepp</i> 12/16/21					D-01
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STANDARD CATCH BASIN

NOTES:

- LATERALS WILL BE CONSTRUCTED TO ENTER THE BASIN PERPENDICULAR TO THE BASIN WALL. THE LATERAL WILL ENTER ONLY AT THE FRONT OR SIDE OF THE BASIN WITH NO LATERALS ALLOWED TO ENTER THE CATCH BASIN AT THE CORNERS. IF NEEDED, A BEND MAY BE USED AS THE FIRST SECTION OF PIPE OUTSIDE THE BASIN WALL. THE MAXIMUM BEND ALLOWED IS 45 DEGREES.
- ALL REINFORCED STEEL SHALL HAVE A 1-1/2" CLEAR COVER UNLESS OTHERWISE NOTED, AND SHALL BE GRADE 40 OR GRADE 60 (ASTM A-615).
- ANY PROTRUDING ENDS OF PIPES SHALL BE TRIMMED FLUSH WITH THE INSIDE WALLS AND GROUDED.
- THE METAL FRAME AND GRATE SHALL BE SET TO A SLOPE TO CONFORM TO THE PARTICULAR DRAINAGE AREA (SEE DETAIL D-08).
- ELBOW SECTION SHALL BE REMOVABLE FOR MAINTENANCE PURPOSES USING A BELL AND SPOOT JOINT.
- ALL PRECAST OR CAST-IN-PLACE CONCRETE SHALL BE CLASS 4000.

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HERRINGBONE GRATE

NOTES:

- WELDING NOT PERMITTED.
- USE WAVED GRATE WHERE LONGITUDINAL SLOPE EXCEEDS 4%.
- SEALING OF GRATE SHALL BE ACCOMPLISHED BY ONE OF THE FOLLOWING:
 - ALTERNATE A SHALL BE 8 PADS 1-1/2" x 3/4" x 1/8" INTEGRALLY CAST WITH THE GRATE.
 - ALTERNATE B SHALL BE A MACHINED SURFACE OUTSIDE A 1" CIRCLE, BOTTOM ONLY.

DIMENSIONS			
W1 & W2	T	R	D
1" MIN	1 3/4"	26"	1 5/8"
1 3/4" MAX			
1" MIN	1 1/2"	21"	2 3/4"
1 3/4" MAX			

1" 5/8" (+0", -1/16")

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STORM SEWER CLEANOUT

NOTES:

- VALVE BOX SHALL BE FORT VANCOUVER PATTERN NO. 910 CAST IRON OR APPROVED EQUAL.
- MATERIAL TO BE GRAY CAST IRON CONFORMING TO ASTM A-48 CLASS 30.
- LD TO HAVE "S" CAST IN OR STAMPED ON. "M" CASTING NOT ALLOWED.
- TOLERANCE = 1/8".
- SEWER CLEANOUT TO BE 6" DIAMETER.

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PUBLIC WORKS DIRECTOR	DATE				

PIPE BEDDING

NOTES:

- PROVIDE UNIFORM SUPPORT UNDER BARREL AND TRAMP UNDER HAUNCHES.
- BEDDING MATERIALS SHALL CONFORM TO SECTION 9-03.12(3) OF THE STANDARD SPECIFICATIONS.
- FOR ROCK AND OTHER INCOMPRESSIBLE MATERIALS THE TRENCH SHALL BE OVER EXCAVATED A MINIMUM OF 8 INCHES AND REFILLED WITH GRANULAR MATERIAL AS DIRECTED BY THE ENGINEER.
- BEDDING AND BACKFILL MATERIALS IN THE PIPE ZONE SHALL BE COMPACTED TO 95%.
- NATIVE MATERIAL MAY BE USED IN LIEU OF IMPORTED MATERIAL FOR BEDDING SPECIFIED, PROVIDED THAT THE MATTER CONFORMS TO SECTION 9-03.12(3) OF THE STANDARD SPECIFICATIONS, AND IS APPROVED BY THE ENGINEER. THE CONTRACTOR SHALL SUBMIT A SAMPLE OF THE MATERIAL TO THE ENGINEER AT LEAST 72 HOURS PRIOR TO USE. THE ENGINEER MAY APPROVE, REJECT OR REQUIRE LAB TESTING OF THE MATERIAL.
- TRENCH WIDTH SHALL NOT EXCEED 1-1/2 TIMES THE O.D. OF THE PIPE PLUS 18 INCHES AT THE TOP OF THE PIPE ZONE.
- ALL JOINTS SHALL BE AIR-TIGHT FOR NON-PERFORATED PIPE. THE ENGINEER MAY REQUIRE TESTING OF ANY OR ALL JOINTS AND CONNECTIONS.

DEPTH OF BEDDING MATERIAL BELOW PIPE			
O.D.	6" (MIN)	8" (MIN)	4"
27" & SMALLER			
LARGER THAN 27"			6"

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TRENCH BACKFILL

NOTES:

- FOR PIPE ZONE BEDDING, BACKFILL AND COMPACTON REQUIREMENTS, SEE STANDARD DETAIL D-15.
- COMPACTON PERCENTAGES REFER TO RELATIVE DRY DENSITY AS DETERMINED BY STANDARD PROCTOR (ASTM D 998) COURSE.
- CONTRACTOR MAY USE UP TO 2-1/2" OF 5/8"-0 OR 3/4"-0 CRUSHED AGGREGATE IN LIEU OF 1-1/4"-0 BASE ROCK UNDER SURFACING FOR LEVELING COURSE.
- ALL EXISTING PAVED SURFACES SHALL BE SAW CUT A MINIMUM OF 6" OUTSIDE OF EDGE OF TRENCH TO PROVIDE A NEAT STRAIGHT EDGE.
- THE EDGES OF ALL EXISTING ASPHALT SURFACES SHALL BE CLEANED AND A TACK COAT SHALL BE APPLIED PER STD. SECTION 5-04.30. ALL JOINTS SHALL BE SEALED WITH AR-4000 AND SANDED.
- ALL BACKFILL SHALL BE MECHANICALLY COMPACTED IN LIFTS WHICH DO NOT EXCEED RIGID CAPABILITY OF EQUIPMENT USED, BUT IN NO CASE EXCEED 12" LIFTS.
- GRANULAR BACKFILL SHALL MEET REQUIREMENTS OF SECTION 9-30.7(3) UNLESS OTHERWISE SPECIFIED.

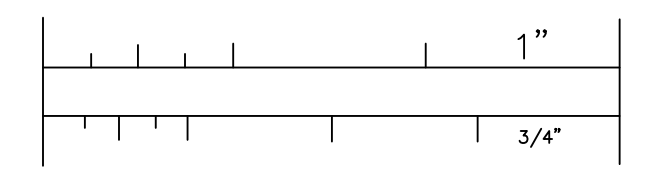
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<i>Paul Stepp</i> 12/16/21					D-16
PUBLIC WORKS DIRECTOR	DATE				

CONCRETE CURBS

NOTES:

- CONCRETE SHALL BE 3000 PSI MIN. (CL 3000), 3-1/2" SLUMP (MAX).
- CURBS ADJACENT TO PAVEMENT OR SIDEWALK SHALL HAVE CONSTRUCTION JOINTS TO MATCH EXISTING PATTERNS. 3/8" EXPANSION JOINTS SHALL BE PLACED ON BOTH SIDES OF CATCH BASINS. AT TOPS OF DROPOUTS, ALL CHANGES IN DIRECTION, AND AS DIRECTED BY THE INSPECTOR. CONSTRUCTION JOINTS TO BE PLACED AT 15' MAXIMUM SPACING.
- FOR CURB DROPS AT ADA RAMPS, SEE RAMP LIP DETAIL T-21.
- COMPACT SUBGRADE AND AGGREGATE TO 95% MAXIMUM DRY DENSITY (3" MIN. DEPTH).
- SEE PAVEMENT RESTORATION/WIDENING AT CURBS DETAIL T-30.
- CURB TO BE MEDIUM BROOM FINISHED, PARALLEL TO GUTTER LINE.
- WHERE MATCHING EXISTING CURBS, ALL EXISTING EDGES SHALL BE SAWCUT.
- WHEN ATTACHED SIDEWALKS ARE USED WITH ROLLED CURB AND GUTTER, THICKENED SIDEWALKS (6" MIN.) SHALL BE CONSTRUCTED UNDER THE SAME CONSTRUCTION CONTRACT.

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<i>Paul Stepp</i> 5/16/21					T-01
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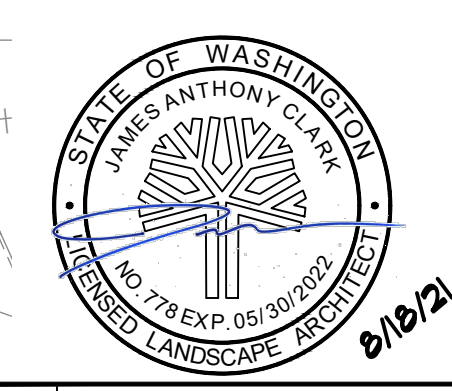
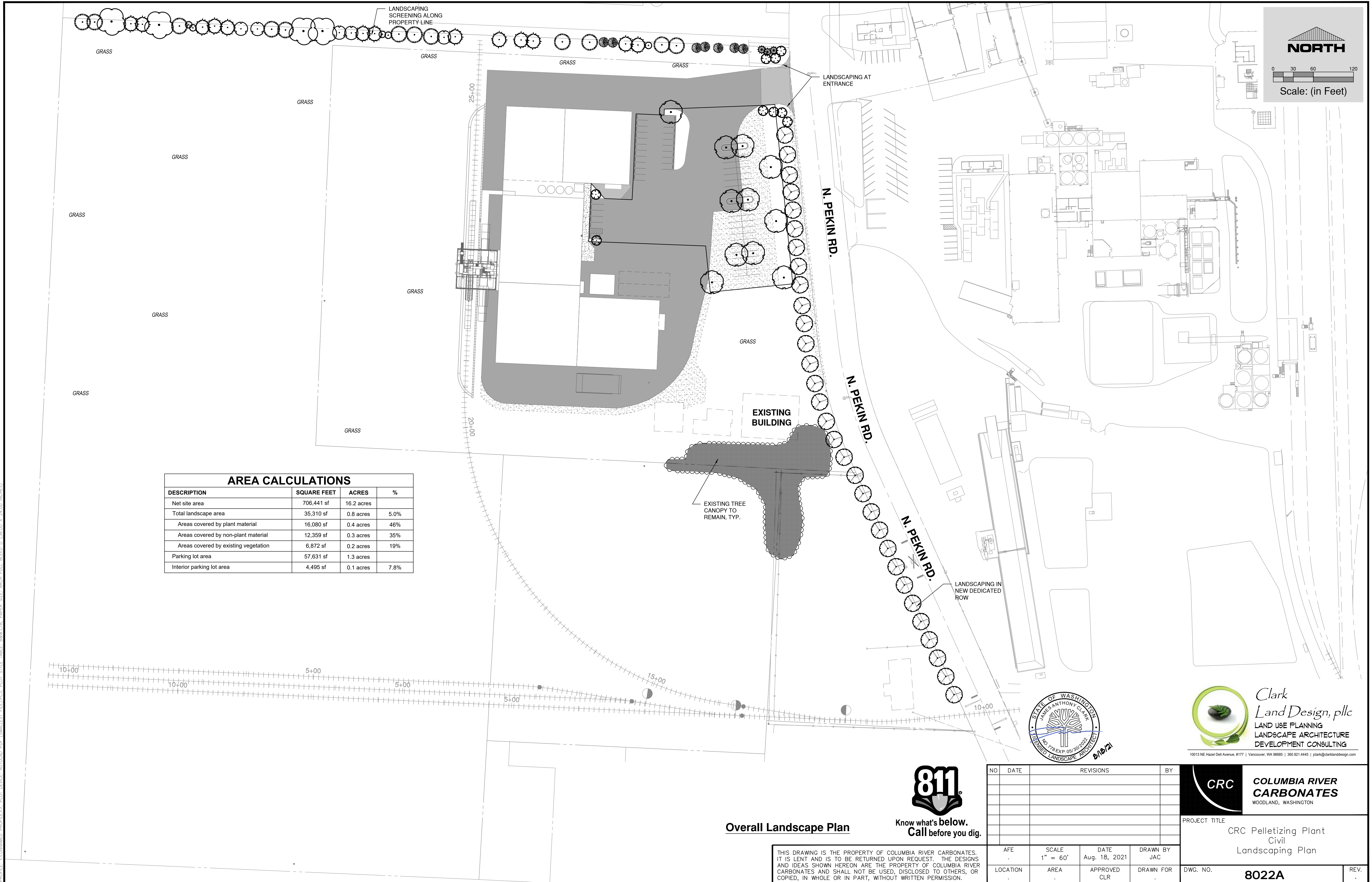
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PROJECT TITLE CRC Pelletizing Plant Civil Pelletizing Plant Expansion Roadway & Storm Drainage Details	
AFE	SCALE N.T.S.
LOCATION	DATE 9/8/2021
	DRAWN BY KAR
DWG. NO. 8012A	DRAWN FOR CLR
	REV. 0

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NORTH

Scale: (in Feet)

AREA CALCULATIONS			
DESCRIPTION	SQUARE FEET	ACRES	%
Net site area	706,441 sf	16.2 acres	
Total landscape area	35,310 sf	0.8 acres	5.0%
Areas covered by plant material	16,080 sf	0.4 acres	46%
Areas covered by non-plant material	12,359 sf	0.3 acres	35%
Areas covered by existing vegetation	6,872 sf	0.2 acres	19%
Parking lot area	57,631 sf	1.3 acres	
Interior parking lot area	4,495 sf	0.1 acres	7.8%



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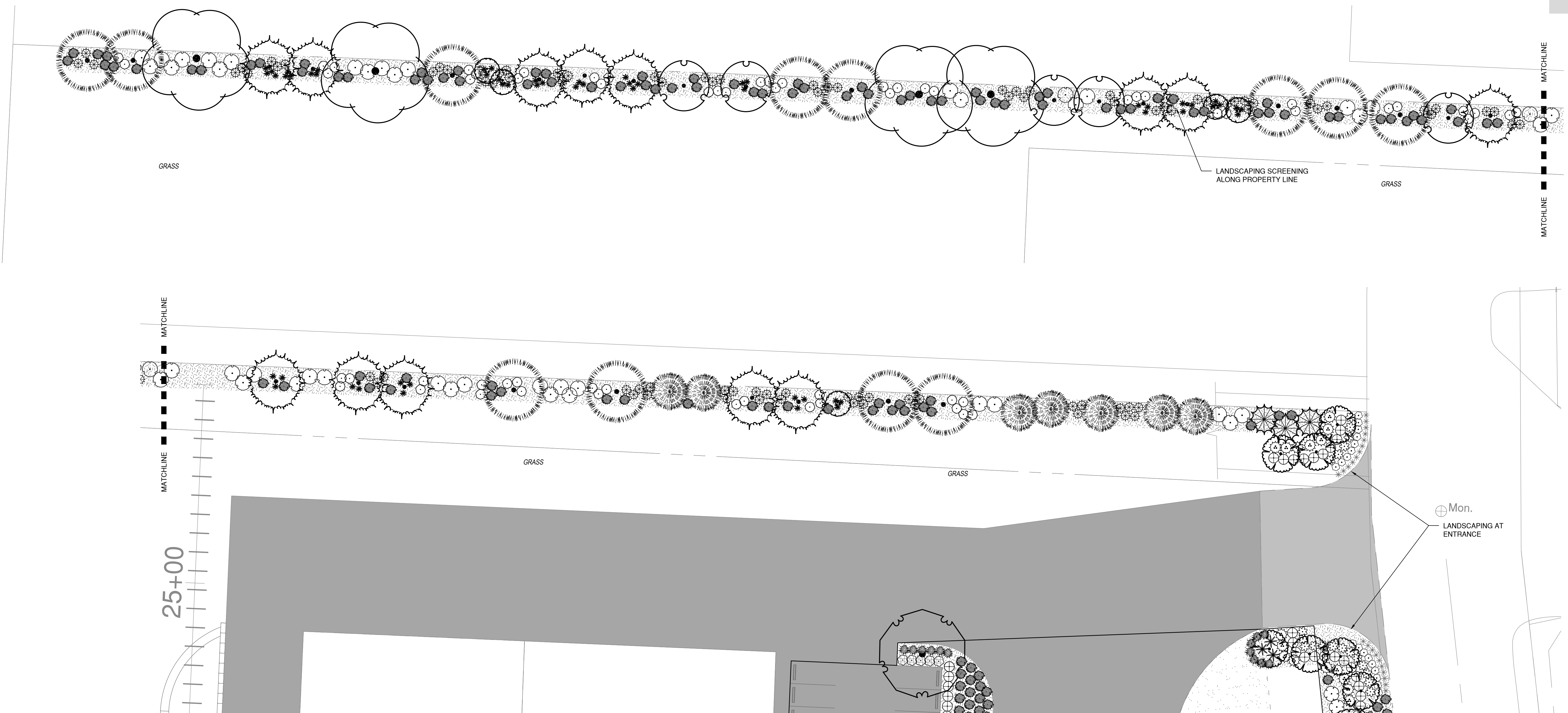
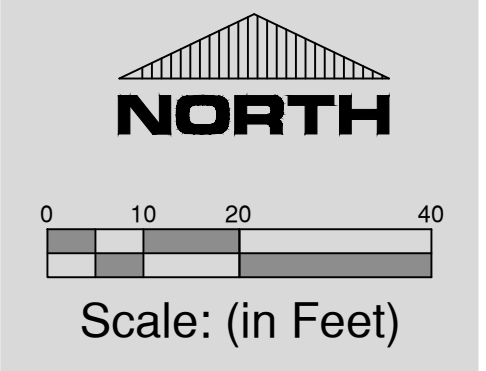
Overall Landscape Plan

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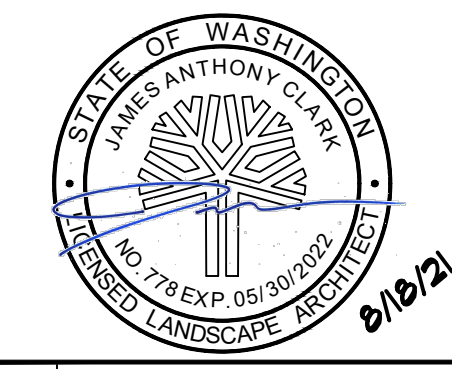
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CRC	COLUMBIA RIVER CARBONATES WOODLAND, WASHINGTON
	PROJECT TITLE CRC Pelletizing Plant Civil Landscaping Plan
DWG. NO.	8022A
REV.	

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Landscape Plan



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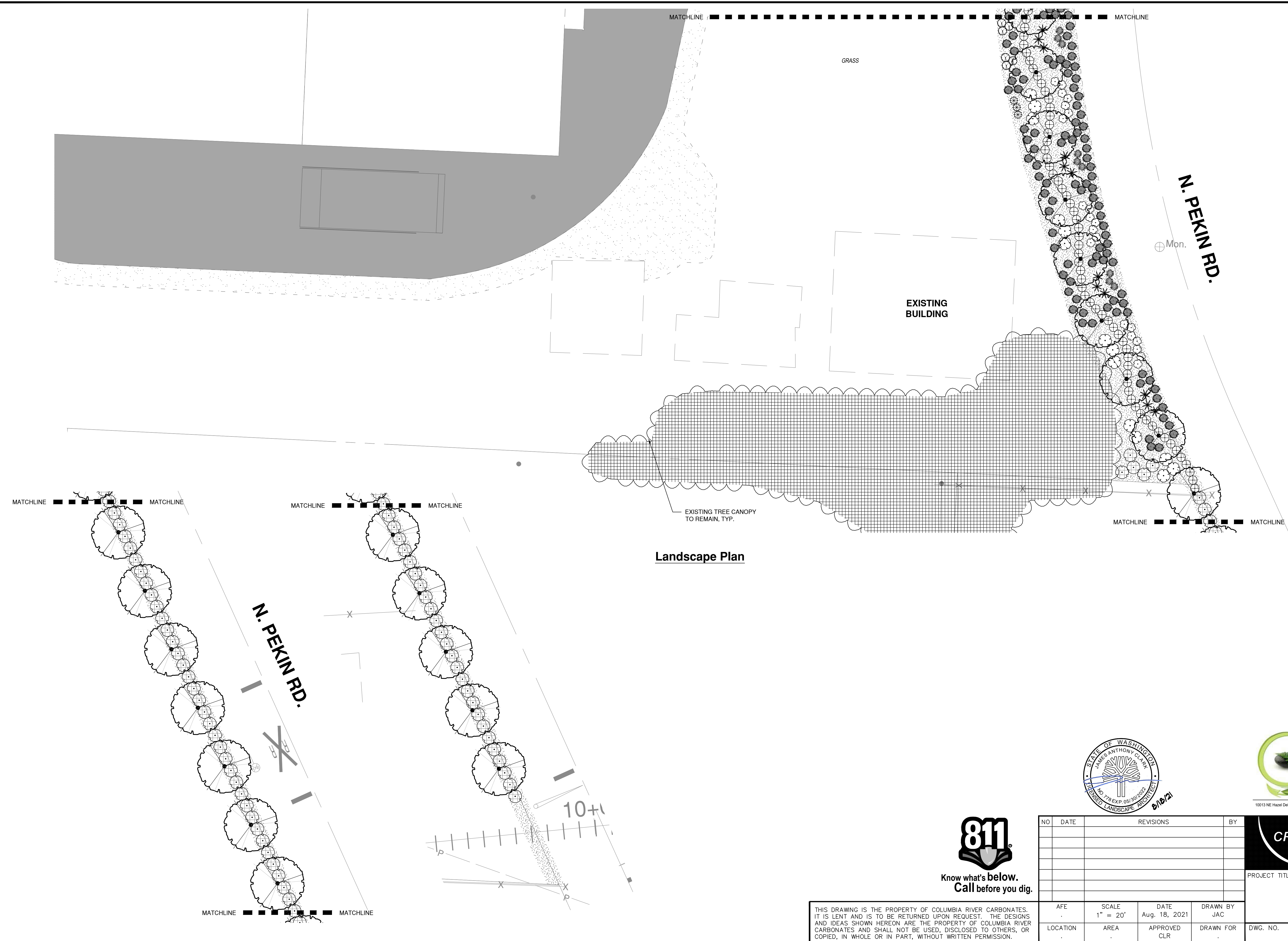
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	DWG. NO. 8023A	REV. .

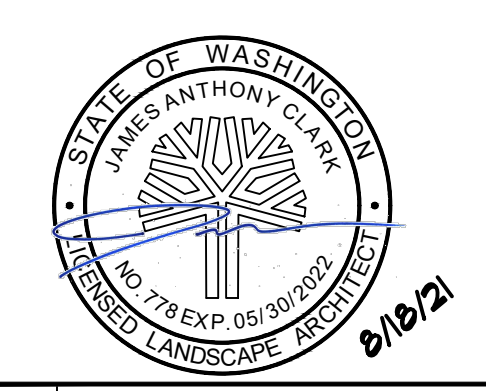
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NORTH

Scale: (in Feet)



Landscape Plan



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CRC **COLUMBIA RIVER CARBONATES**
 WOODLAND, WASHINGTON

PROJECT TITLE
**CRC Pelletizing Plant
 Civil
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AFE	SCALE 1" = 20'	DATE Aug. 18, 2021	DRAWN BY JAC
LOCATION	AREA	APPROVED CLR	DRAWN FOR

