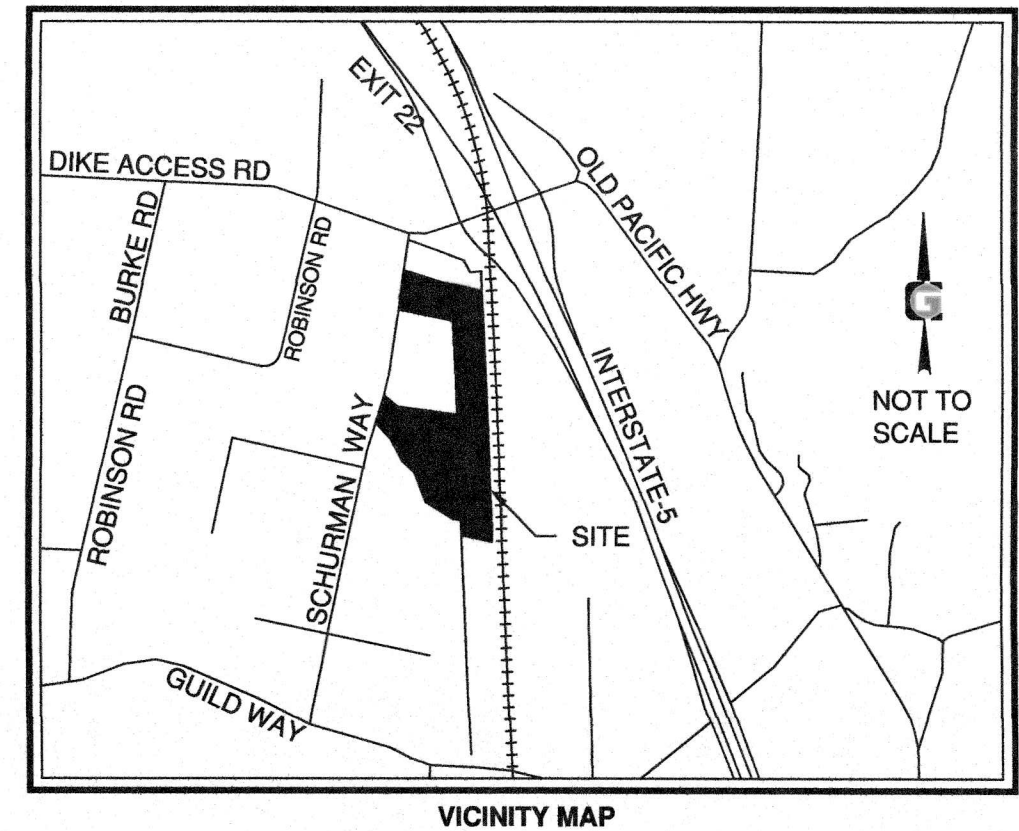


3682675 v 001 p 075

# WOODLAND CORPORATE CENTER EXPANSION BINDING SITE PLAN 2019-001

A SITE LOCATED IN THE SOLOMON STRONG DONATION LAND CLAIM  
IN SECTION 12 & 13, TOWNSHIP 5 NORTH, RANGE 1 WEST, W.M  
WOODLAND, WASHINGTON  
LAND USE APPLICATION NUMBER: BSP2019-001/SEP2019-005/CAP2017-001



VICINITY MAP

### WOODLAND CORPORATE CENTER EXPANSION - Boundary Description

A TRACT OF LAND IN A PORTION OF THE SOLOMON STRONG DONATION LAND CLAIM, IN THE NORTHWEST QUARTER OF SECTION 13, AND THE SOUTHWEST QUARTER OF SECTION 12, TOWNSHIP 5 NORTH, RANGE 1 WEST, WILLAMETTE MERIDIAN, COWLITZ COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

**BEGINNING** AT THE NORTHWEST CORNER OF LOT 2 OF THAT CERTAIN CITY OF WOODLAND BINDING SITE PLAN "WOODLAND CORPORATE CENTER", RECORDED IN VOLUME 37 OF BINDING SITE PLANS AT PAGES 196-199, RECORDS OF COWLITZ COUNTY, THENCE SOUTH 72°32'11" EAST ALONG THE NORTHERLY LINE OF SAID LOT 2 A DISTANCE OF 374.63 FEET; THENCE SOUTH 76°32'53" EAST A DISTANCE OF 259.60 FEET TO THE NORTHEAST CORNER OF THAT CERTAIN TRACT OF LAND CONVEYED AND RECORDED UNDER AUDITOR'S FILE NO. (AFN) 3552291, RECORDS OF COWLITZ COUNTY, SAID NORTHEAST CORNER IS 100 FEET WESTERLY, AS MEASURED PERPENDICULAR TO, THE CENTERLINE BETWEEN THE TWO MAIN TRACTS OF THE BURLINGTON NORTHERN AND SANTA FE RAILWAY COMPANY, AS NOW LOCATED AND CONSTRUCTED; THENCE SOUTH 00°00'02" EAST, PARALLEL WITH SAID CENTERLINE A DISTANCE OF 2293.88 FEET (CALLED 2293.61 FEET, SAID AFN 3552291), TO THE SOUTHEAST CORNER OF THE LIBERTY EVANS LLC TRACT AS DESCRIBED AND RECORDED UNDER SAID AUDITOR'S FILE NO. (AFN) 3552291; THENCE NORTH 76°32'53" WEST ALONG THE SOUTHERLY LINE OF SAID TRACT (CALLED N77°50'51"W, SAID AFN 3552291), A DISTANCE OF 211.24 FEET; THENCE NORTH 01°11'00" WEST A DISTANCE OF 186.45 FEET ALONG THE EAST LINE OF LOT 2 WITHIN THE "JOHNSON SHORT PLAT", RECORDED IN VOLUME 10 OF SHORT PLATS, AT PAGE 44, RECORDS OF COWLITZ COUNTY, AND THE SOUTHEAST CORNER OF LOT 6 OF SAID "WOODLAND CORPORATE CENTER"; THENCE NORTH 76°32'53" WEST A DISTANCE OF 80.87 FEET; THENCE NORTH 55°44'44" WEST A DISTANCE OF 285.00 FEET, THENCE NORTH 21°14'44" WEST A DISTANCE OF 94.00 FEET; THENCE NORTH 18°14'44" WEST A DISTANCE OF 172.00 FEET; THENCE NORTH 45°14'44" WEST A DISTANCE OF 161.00 FEET; THENCE NORTH 25°14'44" WEST A DISTANCE OF 218.00 FEET; THENCE NORTH 39°14'44" WEST A DISTANCE OF 158.00 FEET; THENCE NORTH 41°14'44" WEST A DISTANCE OF 3.03 FEET TO A 5/8" REBAR WITH A PLASTIC SURVEY CAP, MARKED "GIBBS & OLSON, WA 21711", ON THE EASTERLY MARGIN OF SCHURMAN WAY, AS SHOWN ON THE CERTAIN SURVEY RECORDED IN VOLUME 16 OF SURVEYS, AT PAGE 166, RECORDS OF COWLITZ COUNTY; THENCE NORTH 20°15'33" EAST ALONG SAID MARGIN, A DISTANCE OF 192.42 FEET; THENCE ALONG A CURVE TO THE LEFT, THROUGH A CENTRAL ANGLE OF 00°33'19", HAVING A 2035.75 FOOT RADIUS, AN ARC DISTANCE OF 19.73 FEET TO THE SOUTHWESTERLY CORNER OF LOT 4 OF SAID "WOODLAND CORPORATE CENTER"; THENCE SOUTH 46°31'43" EAST ALONG THE SOUTHERLY LINE OF SAID LOT 4 A DISTANCE OF 179.15 FEET; THENCE CONTINUING ALONG SAID SOUTHERLY LINE, N88°45'04" EAST A DISTANCE OF 458.47 FEET TO THE SOUTHEAST CORNER OF SAID LOT 4; THENCE NORTH 01°11'00" WEST A DISTANCE OF 790.00 FEET TO THE NORTHWEST CORNER OF LOT 3 OF SAID "WOODLAND CORPORATE CENTER"; THENCE SOUTH 88°45'04" WEST A DISTANCE OF 158.71 FEET; THENCE NORTH 81°13'58" WEST A DISTANCE OF 260.45 FEET TO THE NORTHWEST CORNER OF SAID LOT 3 AND SAID EASTERLY MARGIN OF SCHURMAN WAY; THENCE NORTH 10°06'25" EAST ALONG SAID EASTERLY MARGIN A DISTANCE OF 461.08 FEET TO THE **POINT OF BEGINNING**.

**EXCEPT** THAT PORTION CONVEYED TO THE CITY OF WOODLAND IN DEED RECORDED AUGUST 17, 2010, UNDER AUDITOR'S FILE NO. 3421279.

**SUBJECT TO RESERVATIONS, RESTRICTIONS AND EASEMENTS OF RECORD.**

**SITUATE** IN THE COUNTY OF COWLITZ, STATE OF WASHINGTON.

"THE USE AND DEVELOPMENT OF THIS PROPERTY MUST BE IN ACCORDANCE WITH THE PLAN AS REPRESENTED HEREIN OR AS HEREAFTER AMENDED, ACCORDING TO THE PROVISIONS OF THE BINDING SITE PLAN REGULATIONS OF THE CITY OF WOODLAND. THE ROADS AND UTILITIES SHOWN ON THIS PLAN NEED NOT HAVE BEEN CONSTRUCTED AND/OR INSTALLED AT THE TIME THAT THE PROPERTY SUBJECT TO THIS PLAN IS DIVIDED. NO PERMIT REQUIRED TO BUILD PERMANENT STRUCTURES UPON ANY PORTION OF THIS PROPERTY, OTHER THAN FOR SITE PREPARATION (INCLUDING GRADING AND INFRASTRUCTURE INSTALLATIONS), SHALL BE ISSUED UNTIL THE ROADS AND UTILITIES NECESSARY TO SERVE THAT PORTION OF THIS PROPERTY HAVE BEEN CONSTRUCTED AND INSTALLED OR UNTIL ARRANGEMENTS ACCEPTABLE TO THE CITY OF WOODLAND HAVE BEEN MADE TO ENSURE THAT THE CONSTRUCTION AND INSTALLATION OF SUCH ROADS AND UTILITIES WILL BE ACCOMPLISHED."

A MASTER SCHURMAN WAY FRONTAGE LANDSCAPE PLAN HAS BEEN PREPARED FOR LOTS 2 AND 5 AND IS ATTACHED TO THIS BINDING SITE PLAN (ATTACHMENT NO. 1). THIS MASTER LANDSCAPE PLAN SHALL BE IMPLEMENTED ALONG EACH LOT'S SCHURMAN WAY FRONTAGE AS PART OF DEVELOPING EACH LOT. PRIOR TO A SITE PLAN FOR A GIVEN LOT BEING DETERMINED FULLY COMPLETE, A LOT SPECIFIC LANDSCAPE PLAN MEETING THE REQUIREMENTS OF WOODLAND MUNICIPAL CODE (WMC) 17.44.133 THROUGH 17.44.137 SHALL BE SUBMITTED TO THE CITY. THE LOT SPECIFIC LANDSCAPE PLAN SHALL BE APPROVED BY THE CITY PRIOR TO OCCUPANCY OF ANY BUILDINGS CONSTRUCTED ON THE GIVEN LOT. REFER TO THE MASTER LANDSCAPE PLAN AS APPROPRIATE.

WHERE PARKING OR MANEUVERING AREAS FOR A GIVEN LOT ARE WITHIN THE SCHURMAN WAY FRONTAGE SETBACK (NOT CLOSER THAN 5-FT TO THE PROPERTY LINE), AN EVERGREEN HEDGE, DECORATIVE WALL (MASONRY OR SIMILAR QUALITY MATERIAL) WITH OPENINGS, ARCADE TRELIS, OR SIMILAR PARTIALLY OPAQUE STRUCTURE THAT IS A MINIMUM OF 4-FT IN HEIGHT SHALL BE INSTALLED BETWEEN THE PROPOSED PARKING/MANEUVERING AREAS AND THE STREET.

### CITY OF WOODLAND:

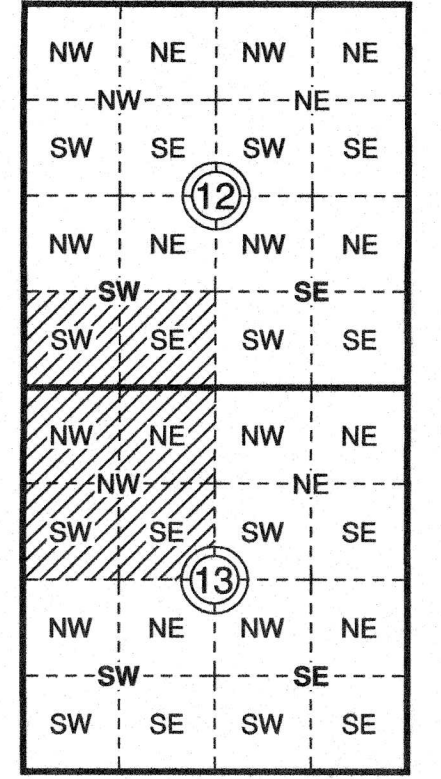
EXAMINED AND APPROVED: THIS 19<sup>th</sup> DAY OF May, 2021.  
(SIGNED) \_\_\_\_\_  
PUBLIC WORKS DIRECTOR

### TREASURER'S CERTIFICATE:

I HEREBY CERTIFY THAT THE TAXES ON THE LAND DESCRIBED HEREON HAVE BEEN PAID TO DATE.  
PARCEL(S) 507860103, 507870109, 507870112 & 507870113.

DATE 5/19, 2021

(SIGNED) \_\_\_\_\_  
COWLITZ COUNTY TREASURER



### DEDICATION

WE, THE UNDERSIGNED OWNER(S) OF INTEREST IN THE LAND HEREBY DIVIDED BY USE OF A BINDING SITE PLAN, HEREBY DECLARE THIS DRAWING TO BE THE GRAPHIC REPRESENTATION OF THE BINDING SITE PLAN MADE HEREBY, AND DO HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER, ALL STREETS AND AVENUES NOT SHOWN AS PRIVATE HEREON AND DEDICATE THE USE THEREOF FOR ALL PUBLIC PURPOSES NOT INCONSISTENT WITH THE USE THEREOF FOR PUBLIC HIGHWAY PURPOSES, AND ALSO THE RIGHT TO MAKE ALL NECESSARY SLOPES FOR CUTS AND FILLS UPON THE LOTS SHOWN THEREON IN THE ORIGINAL REASONABLE GRADING OF SAID STREETS AND AVENUES, AND FURTHER DEDICATE TO THE USE OF THE PUBLIC ALL EASEMENTS AND TRACTS SHOWN ON THIS SHORT PLAT FOR ALL PUBLIC PURPOSES AS INDICATED THEREON, INCLUDING BUT NOT LIMITED TO PARKS, OPEN SPACES, UTILITIES AND DRAINAGE UNLESS SUCH EASEMENTS OR TRACTS ARE SPECIFICALLY IDENTIFIED ON THIS BINDING SITE PLAN AS BEING DEDICATED OR CONVEYED TO A PERSON OR ENTITY OTHER THAN THE PUBLIC, IN WHICH CASE WE HEREBY DEDICATE SUCH STREETS, EASEMENTS, OR TRACTS TO THE PERSON OR ENTITY IDENTIFIED AND FOR THE PURPOSE STATED.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HAND(S) AND SEAL(S) THIS 3<sup>rd</sup> DAY OF May, 2021.

(SIGNED) \_\_\_\_\_  
(SIGNED) \_\_\_\_\_  
(SIGNED) \_\_\_\_\_

STATE OF WASHINGTON )  
COUNTY OF Clark ) SS

THIS IS TO CERTIFY THAT ON 3<sup>rd</sup> THE DAY OF May, 2021, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, PERSONALLY APPEARED Liberty Evans

TO ME KNOWN TO BE THE PERSON(S) WHO EXECUTED THE FORGOING DEDICATION AND ACKNOWLEDGED TO ME THAT (HE/SHE/THEY) SIGNED AND SEALED THE SAME AS (HIS/HER/THEIR) FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN MENTIONED.

WITNESS MY HAND AND OFFICIAL SEAL THE DAY AND YEAR LAST WRITTEN ABOVE.

SIGNED: \_\_\_\_\_  
NOTARY PUBLIC IN AND FOR THE STATE OF WASHINGTON,  
RESIDING AT Vancouver, WA,  
MY APPOINTMENT EXPIRES: 02/01/23



DEVELOPER/OWNER:  
LIBERTY EVANS LLC  
200 GRAND BLVD  
VANCOUVER, WA 98661  
(360) 423-5510

INDEX LOCATION  
S SOLOMON DLC NO. 46  
SW1/4 SW1/4 & SE1/4 SW1/4  
S12, T5N, R1W, W.M.  
&  
NW1/4 NW1/4, NE1/4 NW1/4  
SW1/4 NW1/4, SE1/4 NW 1/4  
S13, T5N R1W, W.M.

PARCEL NO(S) 507860103, 507860104, 507870109, 507870112 & 507870113

**GIBBS & OLSON**  
PO BOX 400, LONGVIEW, WA 98632  
360.425.0991 Tel  
www.gibbs-olson.com  
Prepared by: RW Date: 04/27/2021  
Checked by: DB Date: 04/30/2021



**SURVEYOR'S CERTIFICATE**  
THIS MAP REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT, AT THE REQUEST OF LIBERTY EVANS LLC IN APRIL, 2021.  
DANIEL D. BERGMAN, PLS - CERTIFICATE NO. 49270  
PROJECT FILE NO. 0788.0202 FIELDBOOK NO. 1827

City of Woodland Binding Site Plan for  
**WOODLAND CORPORATE CENTER EXPANSION**  
LOCATED IN THE SOLOMON STRONG DONATION LAND CLAIM NO. 46  
IN THE SOUTH HALF OF THE SOUTHWEST QUARTER, SEC 12, TWP 5 N, RAGE 1 W, WM  
AND IN THE NORTHWEST QUARTER OF SEC 13, TWP 5 N, RGE 1 W, WM  
CITY OF WOODLAND, COWLITZ COUNTY, WASHINGTON

**AUDITOR'S CERTIFICATE**  
FILED FOR THE RECORD THIS 19<sup>th</sup> DAY OF May, 2021, AT 1:33 P.M. IN BOOK 010 OF Site Plans ON PAGE 8-8.  
AT THE REQUEST OF GIBBS & OLSON, INC. (RCW 58.09.080; WAC 332-130-050)  
Juan W. Wilson  
DEPUTY COUNTY AUDITOR

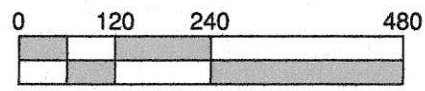
SHEET  
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3682675 v 1 p 76

**WOODLAND CORPORATE CENTER EXPANSION**

**BINDING SITE PLAN 2019-001**

LAND USE APPLICATION NUMBER: BSP2019-001/SEP2019-005/CAP2017-001



1 Inch = 240 US Feet

**BASIS OF BEARING:** S01°11'00"E ALONG THE EAST LINE BETWEEN FOUND MONUMENTS, VOLUME 16 OF SURVEYS PAGE 166.  
**VERTICAL DATUM:** NAVD88.

**LEGEND**

- Rebar & cap as recorded in Volume 16 of Surveys, page 166
- ⊕ Washington State Department of Transportation cased monument

**SURVEY NOTES:**

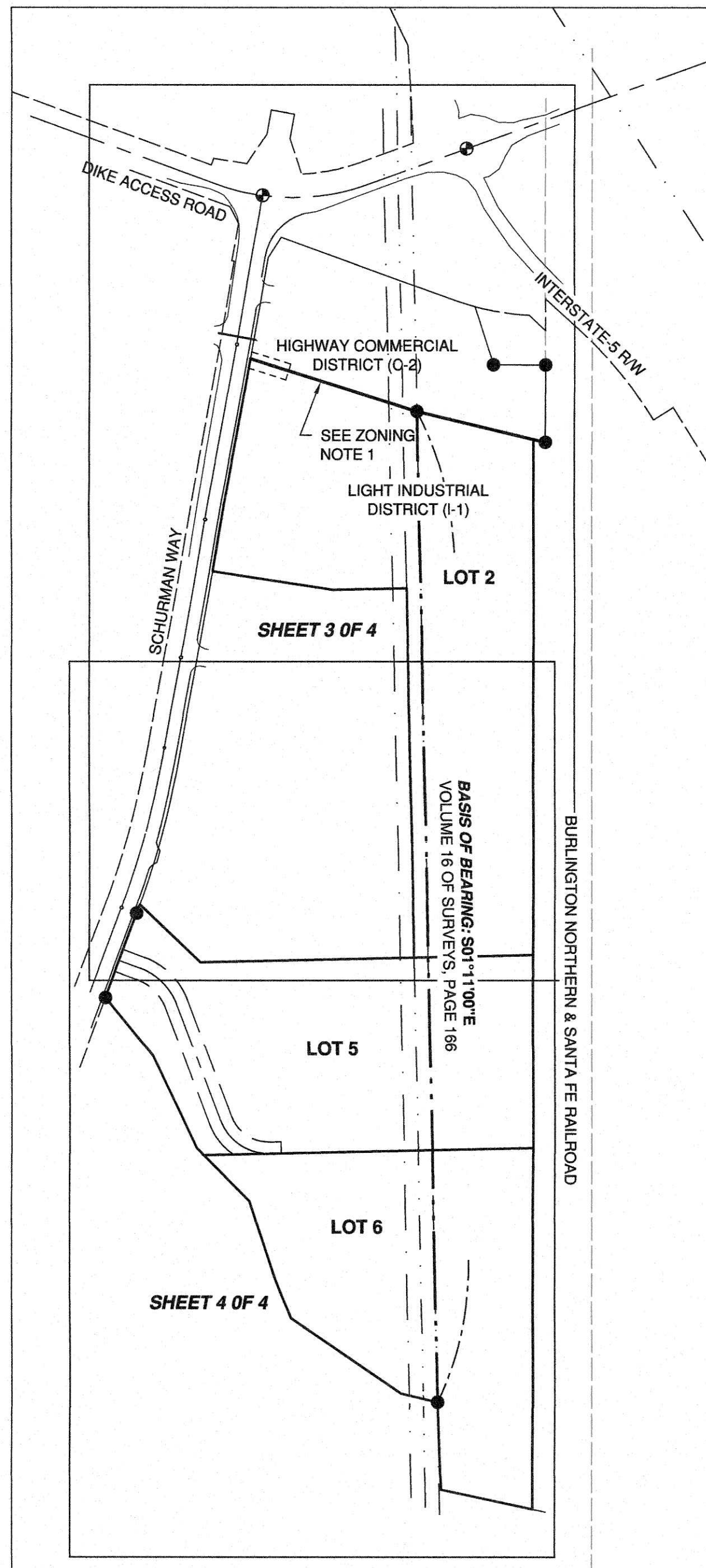
UNDERGROUND UTILITIES AS SHOWN ALONG DIKE ACCESS ROAD AND SCHURMAN WAY ARE GRAPHICALLY SHOWN AS MEASURED FROM AS-BUILT CONSTRUCTION PLANS FOR "CITY OF WOODLAND INDUSTRIAL SITE DEVELOPMENT PHASE II", DATED 2/96.

**GENERAL NOTES:**

WATER METERS SHALL BE PLACED AT, OR AS NEAR AS POSSIBLE TO THE STREET RIGHT-OF-WAY. SANITARY LATERALS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL PARCEL OWNERS. WHERE ON SITE HYDRANTS ARE REQUIRED, THE WATER MAIN SHALL BE OWNED BY THE CITY AND PLACED IN A MINIMUM 15 FOOT WIDE EASEMENT TO THE CITY.

"LOTS 2 & 5 HAVE DIRECT VEHICULAR AND PEDESTRIAN ACCESS TO SCHURMAN WAY, A DEDICATED PUBLIC STREET".

"ALL LOTS OF THIS BINDING SITE PLAN ARE CONTIGUOUS, WITH NO GAPS OR OVERLAPS".



**NARRATIVE:**

THE PURPOSE OF THIS SURVEY IS TO CREATE A BINDING SITE PLAN WHICH INCORPORATES LOTS 2, 5 AND 6 OF THE "WOODLAND CORPORATE CENTER" BINDING SITE PLAN - REVISION 001, RECORDED IN VOLUME 37 OF BINDING SITE PLANS, PAGES 196-199, AND THOSE PORTION OF COWLITZ COUNTY ASSESSOR'S PARCEL 507870109 SEGREGATED AND RECORDED UNDER AUDITOR'S FILE NUMBERS (AFN) 3611367 AND 3611368.

AS DEPICTED ON "WOODLAND CORPORATE CENTER" BINDING SITE PLAN - REVISION 001, ORIGINAL LOT 2 IS COMBINED WITH AFN 3611367 BECOMING LOT 2, LOTS 5 AND 6 ARE REVISED AND COMBINED WITH AFN 3611367 TO BECOME LOTS 5 AND 6 ON THIS BINDING SITE PLAN.

THE EAST BOUNDARY OF PARCEL 507860103 AS DESCRIBED UNDER AFN 3552291, LIES "100 FEET WESTERLY OF, AS MEASURED PERPENDICULAR TO THE CENTERLINE BETWEEN THE TWO EXISTING MAIN TRACKS OF THE BURLINGTON NORTHERN RAILROAD AND SANTA FE RAILWAY COMPANY, AS NOW LOCATED AND CONSTRUCTED", FIELD MEASUREMENTS COLLECTED RESULTED IN THE EAST LINE LOCATION AS DEPICTED ON SHEETS 3 AND 4 OF THIS BINDING SITE PLAN.

**CONDITIONS OF APPROVAL:**

1. ALL LOTS SHALL PROVIDE PEDESTRIAN AND BICYCLE ACCESS TO THE PUBLIC RIGHT-OF-WAY. ROUTING TO BE DETERMINED AT THE TIME OF LOT DEVELOPMENT.
2. SIGNAGE WILL BE REVIEWED AT THE TIME OF DEVELOPMENT OF EACH INDIVIDUAL LOT AND MUST BE CONSISTENT WITH THE WMC 17.52.080.
3. LOT SPECIFIC SITE PLAN AND LANDSCAPE PLAN SHALL SHOW AND LABEL ALL MECHANICAL EQUIPMENT, OUTDOOR STORAGE/MANUFACTURING AREAS, SERVICE DELIVERY AREAS, AND GARBAGE/RECYCLING CONTAINERS. THESE PLANS SHALL ALSO SHOW AND DESCRIBE HOW THESE AREAS WILL BE SCREENED (HEDGE, DECORATIVE WALL, OPAQUE FENCE, ETC.).

**ZONING:**

LOTS 2, 5 AND 6 - LIGHT INDUSTRIAL DISTRICT - I-1.

**LIGHT INDUSTRIAL DISTRICT I-1 BUILDING SETBACKS:**

ALL SETBACKS SHALL BE MEASURED FROM THE NEAREST BUILDING WALL OR CORNER TO THE APPROPRIATE PROPERTY LINE.

- A. FRONT SETBACK: MINIMUM FRONT YARD SETBACK FOR ALL BUILDINGS SHALL BE 25-FT.
- B. SIDE SETBACK: MINIMUM SIDE YARD SETBACK FOR ALL BUILDINGS SHALL BE 10-FT.
- C. REAR SETBACK: MINIMUM REAR YARD SETBACK FOR ALL BUILDINGS SHALL BE 10-FT.

**LIGHT INDUSTRIAL DISTRICT I-1 BUILDING HEIGHT:**

I-1 USE BUILDINGS ON LOTS GREATER THAN 1-ACRE SHALL BE NO MORE THAN 55-FT TO EAVE HEIGHT. REFER TO WMC 17.44.080 FOR EXEMPTIONS OR EXCEPTIONS TO THIS HEIGHT LIMITATION.

LOTS 2, 5 AND 6 TO BE CREATED BY THE CITY OF WOODLAND SEGREGATION PROCESS.

**ADDRESSES:**

- LOT 2 - 1970 SCHURMAN WAY
- LOT 5 - 1910 SCHURMAN WAY
- LOT 6 - 1900 SCHURMAN WAY

EASEMENTS OF RECORD FOUND DURING PREPARATION OF THIS BINDING SITE PLAN, IF PLOTABLE, ARE SHOWN HEREON, EASEMENTS WHICH DO NOT DEFINE A PHYSICAL POSITION ARE NOT. IT IS THE RESPONSIBILITY OF FUTURE PROPERTY OWNERS TO INVESTIGATE THE TITLE HISTORY OF THE PROPERTY.

**SEGREGATION NOTE:**

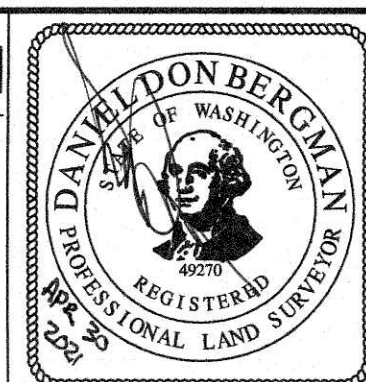
LOTS 2, 5 AND 6 TO BE CREATED BY RECORDING A RECORD OF SURVEY AND DEEDS PER THE CITY OF WOODLAND SEGREGATION PROCESS. COPIES OF THE RECORDED DOCUMENTS SHALL BE TRANSMITTED TO THE CITY OF WOODLAND.

**SURVEY REFERENCES:**

- AS-BUILT CONSTRUCTION PLANS FOR "CITY OF WOODLAND INDUSTRIAL SITE DEVELOPMENT PHASE II", ON FILE AT CITY OF WOODLAND, DATED 2/96.
- "JOHNSON SHORT PLAT", VOLUME 10 OF SHORT PLATS, PAGE 44, NOV. 15, 1996
- RECORD OF SURVEY, VOLUME 16 OF SURVEYS, PAGE 166, JUNE 11, 1997
- WOODLAND CORPORATE CENTER BINDING SITE PLAN, VOLUME 1 OF SITE PLANS, PAGES 63-66, JANUARY 28, 2016
- RECORD OF SURVEY, VOLUME 35 OF SURVEYS, PAGE 183, SEPTEMBER 22, 2016
- WOODLAND CORPORATE CENTER BINDING SITE PLAN REVISION 001, VOLUME 37 OF SURVEYS, PAGES 196-199, NOVEMBER 8, 2018
- RECORD OF SURVEY, VOLUME 37 OF SURVEYS, PAGE 200, NOVEMBER 15, 2018

**GIBBS & OLSON**  
PO BOX 400, LONGVIEW, WA 98632  
360.425.0991 Tel  
www.gibbs-olson.com

Prepared by: RW Date: 04/27/2021  
Checked by: DB Date: 04/30/2021



**SURVEYOR'S CERTIFICATE**  
THIS MAP REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT, AT THE REQUEST OF LIBERTY EVANS LLC IN APRIL, 2021  
DANIEL D. BERGMAN, PLS - CERTIFICATE NO. 49270  
PROJECT FILE NO. 0788.0202 FIELDBOOK NO. 1927

City of Woodland Binding Site Plan for  
**WOODLAND CORPORATE CENTER EXPANSION**  
LOCATED IN THE SOLOMON STRONG DONATION LAND CLAIM NO. 46  
IN THE SOUTH HALF OF THE SOUTHWEST QUARTER, SEC 12, TWP 5 N, RAGE 1 W, WM  
AND IN THE NORTHWEST QUARTER OF SEC 13, TWP 5 N, RGE 1 W, WM

CITY OF WOODLAND, COWLITZ COUNTY, WASHINGTON

DEVELOPER/OWNER:  
LIBERTY EVANS LLC  
200 GRAND BLVD  
VANCOUVER, WA 98661  
(360) 423-5510

SHEET  
2  
OF  
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3682675 ✓ 1 p77

**GENERAL NOTES:**

WATER METERS SHALL BE PLACED AT, OR AS NEAR AS POSSIBLE TO THE STREET RIGHT-OF-WAY. SANITARY LATERALS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL PARCEL OWNERS. WHERE ON SITE HYDRANTS ARE REQUIRED, THE WATER MAIN SHALL BE OWNED BY THE CITY AND PLACED IN A MINIMUM 15 FOOT WIDE EASEMENT TO THE CITY.

UNDERGROUND UTILITIES AS SHOWN ALONG DIKE ACCESS ROAD AND SCHURMAN WAY ARE GRAPHICALLY SHOWN AS MEASURED FROM AS-BUILT CONSTRUCTION PLANS FOR "CITY OF WOODLAND INDUSTRIAL SITE DEVELOPMENT PHASE II", DATED 2/96.

"LOTS 2 & 5 HAVE DIRECT VEHICULAR AND PEDESTRIAN ACCESS TO SCHURMAN WAY, A DEDICATED PUBLIC STREET".

"ALL LOTS OF THIS BINDING SITE PLAN WERE CREATED SIMULTANEOUSLY AND ARE CONTIGUOUS, WITH NO GAPS OR OVERLAPS".

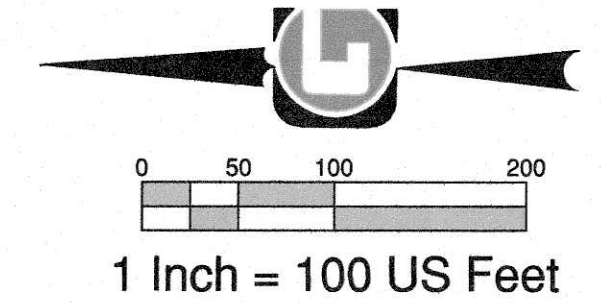
**WOODLAND CORPORATE CENTER EXPANSION**

**BINDING SITE PLAN 2019-001**

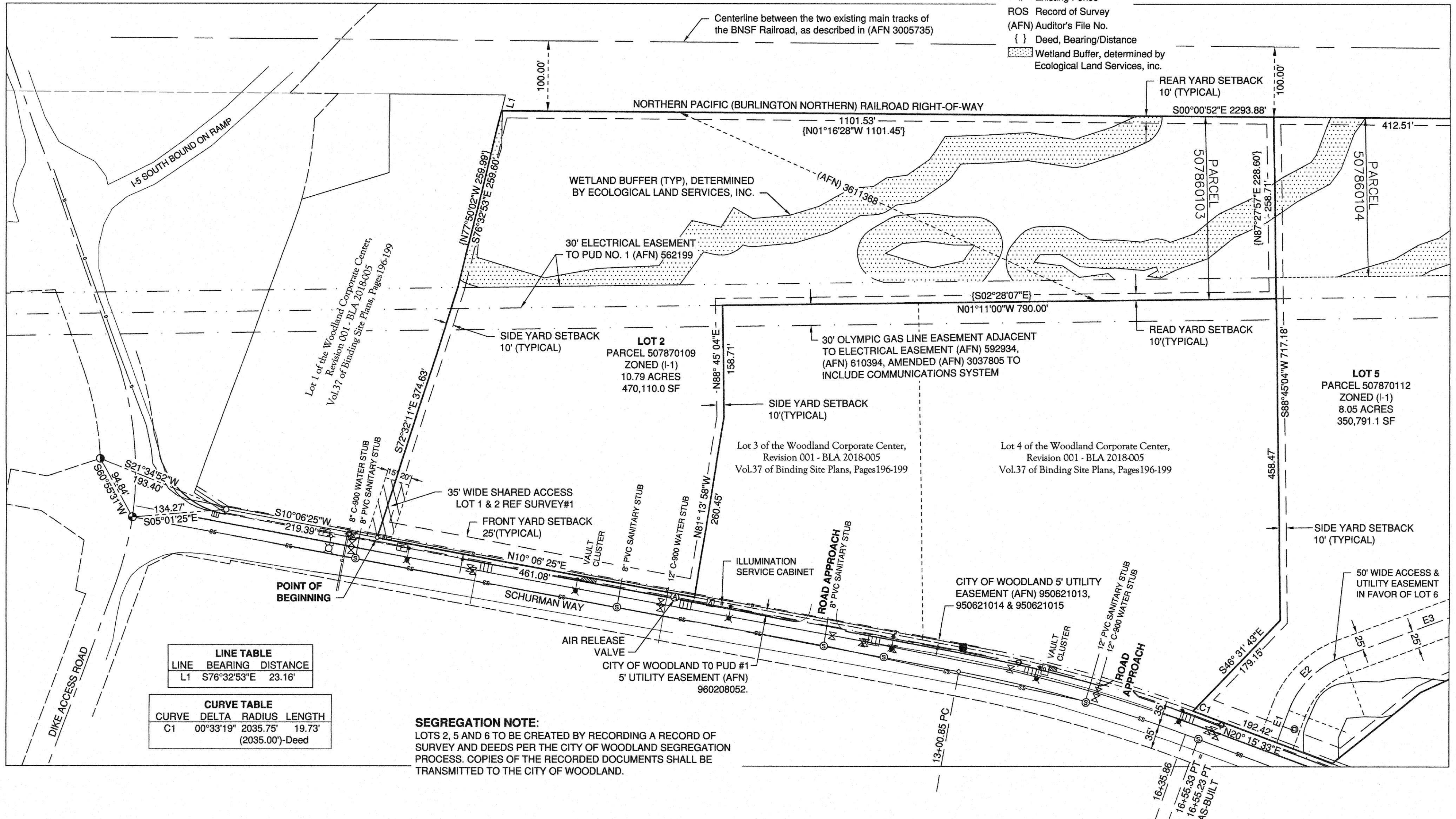
LAND USE APPLICATION NUMBER: BSP2019-001/SEP2019-005/CAP2017-001

**LEGEND**

- Rebar & cap as recorded in Volume 16 of Surveys, page 166
- ⊗ Street Light
- ⊗ Future Street Light
- ▭ Storm Drain Catch Basin
- ⊗ Water Valve
- ⊗ Fire Hydrant
- Power Pole
- Guy Wire
- Telephone Pedestal
- ⊗ Sanitary Sewer Manhole
- ⊗ Power Transformer
- ⊗ Power Vault
- ⊗ Storm Drain Manhole
- ⊗ Existing Fence
- ROS Record of Survey
- (AFN) Auditor's File No.
- { } Deed, Bearing/Distance
- ▨ Wetland Buffer, determined by Ecological Land Services, inc.



**BASIS OF BEARING:** S01°11'00"E ALONG THE EAST LINE BETWEEN FOUND MONUMENTS, VOLUME 16 OF SURVEYS PAGE 166.  
**VERTICAL DATUM:** NAVD88.



LINE TABLE		
LINE	BEARING	DISTANCE
L1	S76°32'53"E	23.16'

CURVE TABLE		
CURVE	DELTA	RADIUS LENGTH
C1	00°33'19"	2035.75' 19.73'
(2035.00')-Deed		

**SEGREGATION NOTE:**  
LOTS 2, 5 AND 6 TO BE CREATED BY RECORDING A RECORD OF SURVEY AND DEEDS PER THE CITY OF WOODLAND SEGREGATION PROCESS. COPIES OF THE RECORDED DOCUMENTS SHALL BE TRANSMITTED TO THE CITY OF WOODLAND.

**GIBBS & OLSON**  
PO BOX 400, LONGVIEW, WA 98632  
360.425.0991 Tel  
www.gibbs-olson.com

Prepared by: **RW** Date: 04/27/2021  
Checked by: **DB** Date: 04/30/2021



**SURVEYOR'S CERTIFICATE**  
THIS MAP REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT, AT THE REQUEST OF **LIBERTY EVANS LLC** IN **APRIL**, 2021

DANIEL D. BERGMAN, PLS - CERTIFICATE NO. 49270  
PROJECT FILE NO. 0788.0202 FIELDBOOK NO. 1827

City of Woodland Binding Site Plan for  
**WOODLAND CORPORATE CENTER EXPANSION**  
LOCATED IN THE SOLOMON STRONG DONATION LAND CLAIM NO. 46  
IN THE SOUTH HALF OF THE SOUTHWEST QUARTER, SEC 12, TWP 5 N, RAGE 1 W, WM  
AND IN THE NORTHWEST QUARTER OF SEC 13, TWP 5 N, RGE 1 W, WM

CITY OF WOODLAND, COWLITZ COUNTY, WASHINGTON

DEVELOPER/OWNER:  
LIBERTY EVANS LLC  
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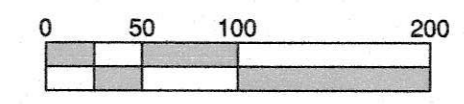
SHEET 3 OF 4

3682675 v1 p78

# WOODLAND CORPORATE CENTER EXPANSION

BINDING SITE PLAN 2019-001

LAND USE APPLICATION NUMBER: BSP2019-001/SEP2019-005/CAP2017-001



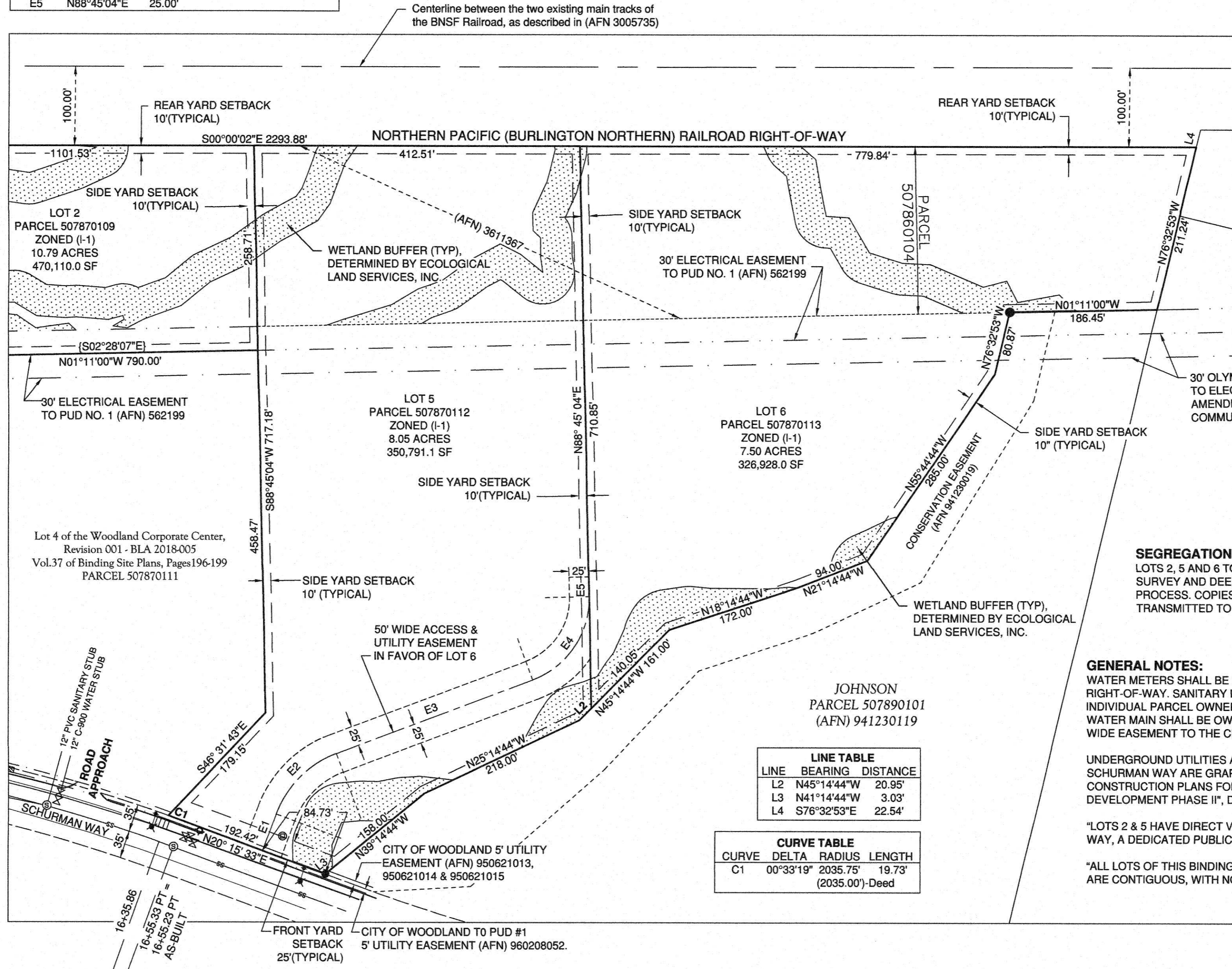
1 Inch = 100 US Feet

**BASIS OF BEARING:** S01°11'00"E ALONG THE EAST LINE BETWEEN FOUND MONUMENTS, VOLUME 16 OF SURVEYS PAGE 166.  
**VERTICAL DATUM:** NAVD88.

**LEGEND**

- Rebar & cap as recorded in Volume 16 of Surveys, page 166
- ⊗ Street Light
- ⚡ Future Street Light
- ▣ Storm Drain Catch Basin
- ⊗ Water Valve
- ⊕ Fire Hydrant
- Power Pole
- Guy Wire
- Telephone Pedestal
- ⊙ Sanitary Sewer Manhole
- ⊠ Power Transformer
- ⊞ Power Vault
- ⊕ Storm Drain Manhole
- Existing Fence
- ROS Record of Survey (AFN) Auditor's File No.
- { } Deed, Bearing/Distance
- ▨ Wetland Buffer, determined by Ecological Land Services, Inc.

EASEMENT TABLE				
COURSE	BEARING	LENGTH	DELTA	RADIUS
E1	S69°45'53"E	49.18'		
E2			49°07'34"	130.00'
E3	S20°38'19"E	265.66'		
E4			70°38'07"	110.00'
E5	N88°45'04"E	25.00'		



**SEGREGATION NOTE:**  
LOTS 2, 5 AND 6 TO BE CREATED BY RECORDING A RECORD OF SURVEY AND DEEDS PER THE CITY OF WOODLAND SEGREGATION PROCESS. COPIES OF THE RECORDED DOCUMENTS SHALL BE TRANSMITTED TO THE CITY OF WOODLAND.

**GENERAL NOTES:**  
WATER METERS SHALL BE PLACED AT, OR AS NEAR AS POSSIBLE TO THE STREET RIGHT-OF-WAY. SANITARY LATERALS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL PARCEL OWNERS. WHERE ON SITE HYDRANTS ARE REQUIRED, THE WATER MAIN SHALL BE OWNED BY THE CITY AND PLACED IN A MINIMUM 15 FOOT WIDE EASEMENT TO THE CITY.

UNDERGROUND UTILITIES AS SHOWN ALONG DIKE ACCESS ROAD AND SCHURMAN WAY ARE GRAPHICALLY SHOWN AS MEASURED FROM AS-BUILT CONSTRUCTION PLANS FOR "CITY OF WOODLAND INDUSTRIAL SITE DEVELOPMENT PHASE II", DATED 2/96.

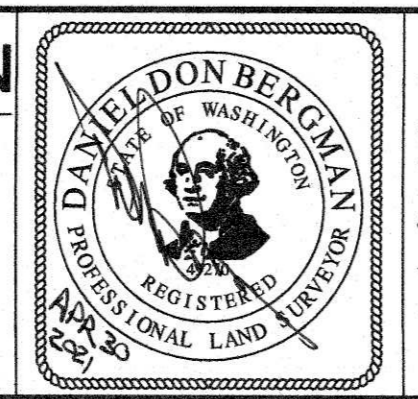
"LOTS 2 & 5 HAVE DIRECT VEHICULAR AND PEDESTRIAN ACCESS TO SCHURMAN WAY, A DEDICATED PUBLIC STREET".

"ALL LOTS OF THIS BINDING SITE PLAN WERE CREATED SIMULTANEOUSLY AND ARE CONTIGUOUS, WITH NO GAPS OR OVERLAPS".

LINE TABLE		
LINE	BEARING	DISTANCE
L2	N45°14'44"W	20.95'
L3	N41°14'44"W	3.03'
L4	S76°32'53"E	22.54'

CURVE TABLE		
CURVE	DELTA	RADIUS
C1	00°33'19"	2035.75'
		(2035.00')-Deed

**SURVEYOR'S CERTIFICATE**  
THIS MAP REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT, AT THE REQUEST OF LIBERTY EVANS LLC IN APRIL, 2021  
DANIEL D. BERGMAN, PLS CERTIFICATE NO. 49270  
PROJECT FILE NO. 0788.0202 FIELDBOOK NO. 1827



**GIBBS & OLSON**  
PO BOX 400, LONGVIEW, WA 98632  
360.425.0991 Tel  
www.gibbs-olson.com

Prepared by: RW Date: 04/27/2021  
Checked by: DB Date: 04/30/2021

City of Woodland Binding Site Plan for  
**WOODLAND CORPORATE CENTER EXPANSION**  
LOCATED IN THE SOLOMON STRONG DONATION LAND CLAIM NO. 46  
IN THE SOUTH HALF OF THE SOUTHWEST QUARTER, SEC 12, TWP 5 N, RAGE 1 W, WM  
AND IN THE NORTHWEST QUARTER OF SEC 13, TWP 5 N, RGE 1 W, WM

CITY OF WOODLAND, COWLITZ COUNTY, WASHINGTON

DEVELOPER/OWNER:  
LIBERTY EVANS LLC  
200 GRAND BLVD  
VANCOUVER, WA 98661  
(360) 423-5510

SHEET  
4  
OF  
4

3682675 V1 P79



Clark Land Design, PLLC  
 Land Use Planning  
 Landscape Architecture  
 Development Consulting

Woodland Corporate Center  
 SCHURMAN WAY FRONTAGE MASTER LANDSCAPE PLAN  
 SCHURMAN WAY  
 WOODLAND, WASHINGTON

**SHEET TITLE**  
 LANDSCAPE  
 MASTER PLAN

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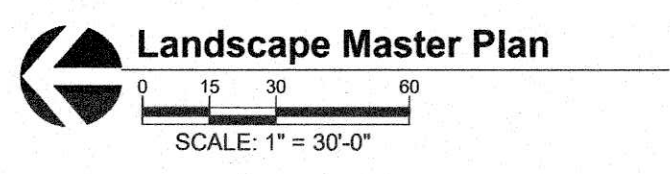
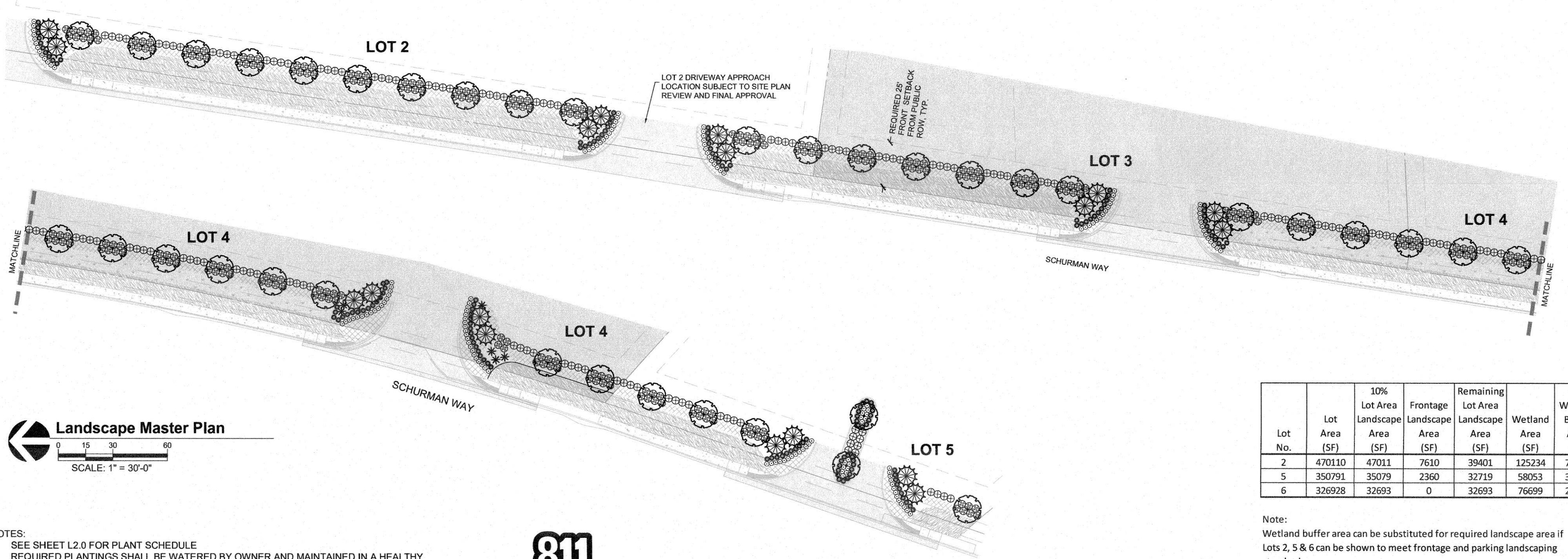
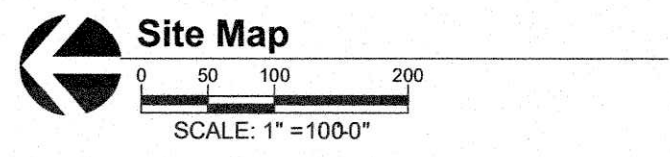
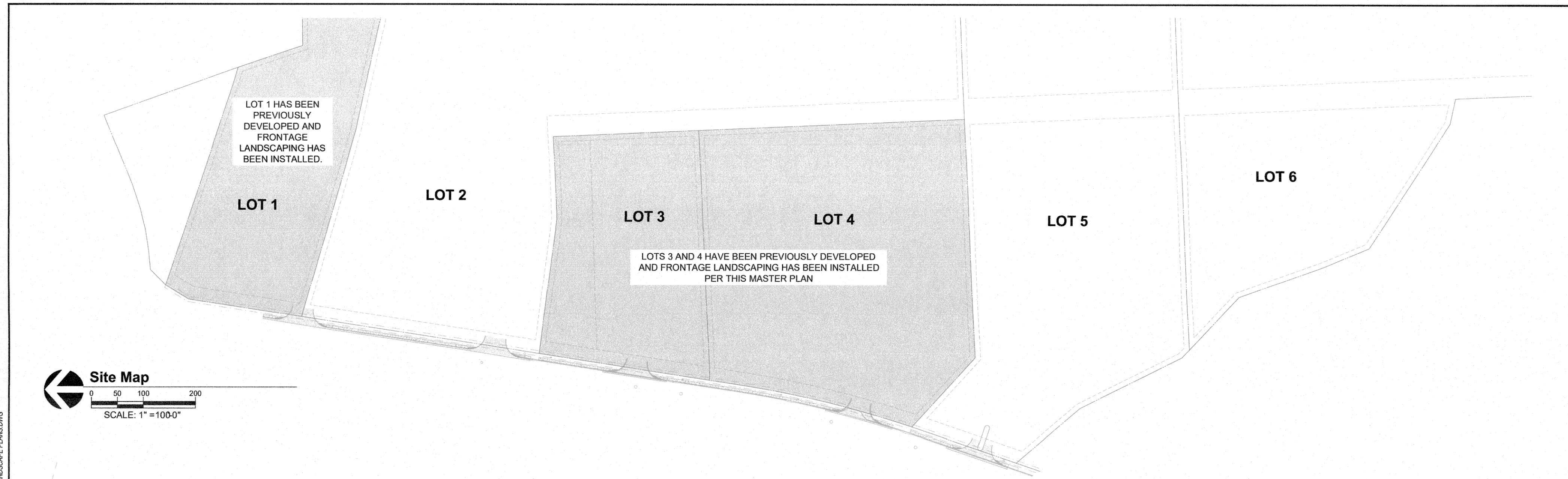
**DATE** 03/05/2019  
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**REVISION**

**DRAWN BY** JAC  
**CHECKED BY** JAC

**JOB #:** 1.19.012

**SCALE:** AS SHOWN

**SHEET NUMBER**  
**L1.0**



- NOTES:**
- SEE SHEET L2.0 FOR PLANT SCHEDULE
  - REQUIRED PLANTINGS SHALL BE WATERED BY OWNER AND MAINTAINED IN A HEALTHY CONDITION IN ACCORDANCE WITH CITY OF WOODLAND REQUIREMENTS. PLANTS THAT DIE DURING THE FIRST TWO YEARS SHALL BE REPLACED.
  - LANDSCAPING WITHIN PUBLIC RIGHT-OF-WAY DOES NOT COUNT TOWARD REQUIRED LOT LANDSCAPE AREA FOR LOTS 2 AND 5.
  - LOT 6 HAS NO FRONTAGE ON SCHURMAN WAY AND THEREFORE HAS NO REQUIRED FRONTAGE LANDSCAPING.



Lot No.	Lot Area (SF)	10% Lot Area Landscape Area (SF)	Frontage Landscape Area (SF)	Remaining Lot Area Landscape Area (SF)	Wetland Area (SF)	Wetland Buffer Area (SF)
2	470110	47011	7610	39401	125234	74755
5	350791	35079	2360	32719	58053	37363
6	326928	32693	0	32693	76699	29086

Note:  
 Wetland buffer area can be substituted for required landscape area if Lots 2, 5 & 6 can be shown to meet frontage and parking landscaping standards.

WOODLAND CORPORATE CENTER EXPANSION  
 BINDING SITE PLAN 2019-001  
 LAND USE APPLICATION NUMBER BSP2019-001 / SEP2019-005 / CAP2017-001  
 ATTACHMENT NO. 1

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LANDSCAPING: 02900

PART 1 - GENERAL

1.1 DESCRIPTION

- A. Define landscape installation contract boundary and scope and all material quantities required.
- B. Related work specified elsewhere:
  1. Section 02810 Irrigation System Design-Build

1.2 STANDARDS

- A. Provide plant materials true to name and variety established by the American Joint committee on Horticultural Nomenclature "Standardized Plant Names", Latest Edition. Provide plants complying with the recommendations and requirements of ANSI Z60.1 "Standard for Nursery Stock", 2004 Edition and specified below.
- B. If notes or specifications for a jurisdiction are included or referenced on the plans or documents, and there is a conflict between the standards provided by the Landscape Architect and the jurisdictional standards, the more stringent of the two standards shall apply.
- C. The landscape plans and documents are designed to meet industry standards and comply with local codes. If a code or standard was not met, it shall be brought to the attention of the Landscape Architect for correction. Contractor shall not propose any deviations from the plans and documents that do not meet local code requirements.

1.3 SUBMITTALS

- A. Four (4) Copies plant list.
- B. Deliver invoices, labels or other acceptable proof of quantities of Imported Topsoil, Mulch, Textural Soil Amendments, Fertilizer, Bark Mulch, and Plant Materials.
- C. Two (2) copies of typewritten instruction recommending maintenance procedures for the Owner for one full year. Submit at completion of installation.

1.4 WARRANTY

- A. Warranty all plant materials for a period of one year or one full growing season, whichever is longer, against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others, or unusual phenomena or incidents which are beyond the landscape installer's control.
- B. Remove and replace all plant materials found to be dead or in an unhealthy condition during warranty period. Furnish and plant replacements which comply with specified requirements.

1.5 PRODUCT HANDLING

- A. Protect all landscaping materials from damage during shipping, delivery, storage and planting. Replace damaged materials with new undamaged materials at no extra cost to Owner. Provide Tarpaulin and anti-desiccant protection from potential heat and wind damage exposure.

LANDSCAPING: 02900

- 3. Herbicide: Where effective use full strength 'White Vinegar'. Where effective control cannot be attained using above, apply 'Roundup' as manufactured by Monsanto Corporation. Apply per manufacturer's specifications.
- 4. Pre-emergents: 'Surflan', 'Ronstar', or 'Devrinol'. Apply prior to bark mulch installation per manufacturer's specifications. Contractor to submit
- 5. Deeproot® root barrier.
- G. Plant Schedule: See Planting Plans.
  1. Contractor shall verify plant quantities. If there is a discrepancy between the quantities listed in the plant schedule and the quantities shown on the plan, the plan shall prevail.

PART 3 - EXECUTION

3.1 PREPARATION

- A. Examine grades, verify elevations and observe conditions which affect work of this section. Require detrimental conditions be corrected prior to proceeding with installation.
- B. Laying Sod:
  1. Prepare area to receive sod by raking smooth and rolling surface with a commercial lawn roller. Remove irregularities in the soil surface prior to laying sod.
  2. Moisten prepared surface immediately prior to laying sod. Lay sod within twenty-four hours of harvesting to prevent deterioration.
  3. Lay sod tight with no open joints visible and without overlapping; stagger end joints twelve inches minimum. Do not stretch or overlap sod pieces.
  4. Lay smooth. Place top elevation of sod level with adjoining lawn areas and one inch below edging, paving, or curbs.
  5. Do not install sod on slopes steeper than 4:1.
  6. After sodding, roll with commercial lawn roller to ensure good bond between sod and soil, and to remove minor depressions and irregularities.
  7. Water sodded areas immediately after installation and rolling. Saturate soil to a depth of four inches.
  8. Finished sodding shall be smooth and free of significant lumps or depressions.
- C. Seeding:
  1. Prepare area to receive seed by raking smooth and rolling surface with a commercial lawn roller. Area shall be free of significant lumps or depressions prior to seeding.
- D. Determine location of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, as required, to minimize possibility of damage to underground utilities. If damage occurs notify proper agency and obtain repairs.

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1.6 QUALITY ASSURANCE

- A. Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
- B. Analysis and Standards: Package standard products with manufacturer's certified analysis. For other materials, provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Agricultural Chemists wherever applicable or as further specified.

PART 2 - PRODUCTS

2.1 MATERIALS

- A. Topsoil: Free draining, fertile, friable, garden or river sandy loam possessing characteristics of representative loams available in the vicinity of project site; free of roots, bulbs and seeds of all noxious weeds, sticks, clods, stones, vegetation, and debris. All planting areas shall be provided with soil that meets the guidelines and requirements of BMP T5.13 of Volume V of the Stormwater Management Manual for Western Washington, <https://fortress.wa.gov/ecy/madcap/wq/2014SWMWWinteractive/2014%20SWMWW.htm>. Topsoil stockpiled on site may be used if it meets above requirements. Provide topsoil as required to obtain the following soil depths:
  1. Trees: minimum 30" soil depth
  2. Shrubs: minimum 24" soil depth
  3. Lawn and Ground Covers: Minimum 12" soil depth
- B. Plants: Grown in a recognized nursery in accordance with excellent horticultural practices.
  1. Provide healthy, vigorous stock grown under climatic conditions similar to conditions in the locality of the project and free of disease, insects, eggs, larvae and defects such as knots, sun-scald, injuries, abrasion, or disfigurement.
  2. Provide freshly dug plants, cold storage plants are not acceptable.
  3. Do not prune prior to delivery. Do not bend or bind-tie trees or shrubs in such manner as to damage bark, break branches or destroy natural shape.
  4. Container stock shall have grown therein a minimum of four months and maximum of one year, with roots filling the container but showing no evidence of being root-bound.
  5. Plant types and locations per drawings.
  6. Plant substitutions shall require approval from the Landscape Architect or Owner. Plant substitutions may also need approval of the Urban Forester if required by local jurisdiction.
- C. Grass Material: Sod - provide strongly rooted sod, not less than 2 years old and free of weeds and undesirable native grasses and machine cut to pad thickness of 3/4", (+, - 1/4").

LANDSCAPING: 02900

- E. Apply herbicide to all areas of weed growth to receive landscaping.
- F. Prior to installation, stake proposed tree locations for approval by the Landscape Architect or Owner.
- G. Stake sight distance and vision clearance triangles prior to planting. Plantings within sight distance and vision clearance triangles shall conform to local codes.
- H. Verify below grade conditions and utility locations prior to digging.
- I. Identify potential conflicts between plantings and utilities prior to planting. Utilities may include but are not limited to: utility poles; light poles; water valves, meters, lines, or fire hydrants; sewer cleanouts, lines, or manholes; storm lines, structures, or facilities; electrical transformers or lines; gas meters or lines; communication lines or structures; or any other above or below ground utilities. Local codes and "best industry practices" shall determine the distance between plantings and utilities. Plantings may be relocated or eliminated to avoid conflicts with utilities with the approval of the Landscape Architect or Owner.

3.2 INSTALLATION

- A. Incorporate the following amendments into the top eight inches of soil:
  1. Trees, shrub and Ground Cover Plantings: Nine (9) cubic yards compost per 1000 square feet.
  2. KG 120 (available at Hobbs and Hopkins in Portland OR 503-239-7518) - apply at 12 lbs per 1,000 s.f. (50% slow release N by volume)
  3. Lime at (50) pounds per 1000 square feet, except for Rhododendrons and other acid loving plants.
- B. Seed lawn and grass areas at the rate of seven (7) pounds per 1000 square feet.
- C. Apply top dress fertilizer eight (8) weeks after seeding at the rate of five (5) pounds per 1000 square feet.
- D. Laying Sod:
  1. Lay sod tight with no open joints visible and without overlapping; stagger end joints twelve inches minimum. Do not stretch or overlap sod pieces.
  2. Lay smooth. Place top elevation of sod level with adjoining lawn areas and one inch below edging, paving, or curbs.
  3. Do not install sod on slopes steeper than 4:1.
  4. After sodding, roll with commercial lawn roller to ensure good bond between sod and soil, and to remove minor depressions and irregularities.
  5. Water sodded areas immediately after installation and rolling. Saturate soil to a depth of four inches.
  6. Finished sodding shall be smooth and free of significant lumps or depressions.

LANDSCAPING: 02900

excluding top growth and thatch. Provide only sod capable of vigorous growth and development when planted (viable, not dormant)

- 1. Provide sod of uniform pad sizes with maximum 5% deviation in either length or width. Broken pads or pads with uneven ends will not be acceptable. Sod pads incapable of supporting their own weight when suspended vertically with a firm grasp on upper 10% will be rejected. PROVIDE ALTERNATE PRICE FOR SEEDING.
- 2. Sod mix species: See plant schedule.
- D. Grass Material: Seed.
  1. Seed mix species: See plant schedule.
- E. Soil Amendments:
  1. Dolomite lime, minimum 85% total carbonates.
  2. Gypsum: Granular (calcium sulfate).
  3. 'Composted Vegetable Debris': As manufactured by 'Nature's Needs' or approved equal. Obtain local source from Company. Phone: 503 647-2700.
  4. Complete Fertilizers: Approved brands meeting requirements of applicable state fertilizer laws. Uniform in composition, dry and free flowing. Deliver to the site in original unopened containers, each bearing manufacturer's guaranteed analysis. Tree Planting fertilizer: Par Ex Triple 16. Top-dress fertilizer: Par Ex 20-4-4-12. Shrub fertilizer: 'Webfoot' 22-16-8, slow release.
  5. Mulch: Organic mulch free from deleterious materials and suitable for top dressing of Trees, Shrubs, and Ground Covers and consisting of 3/4" minus Hem / Fir bark to 2" Depth over all Shrub Beds, Tree Rings, and Ground Cover Plantings, excepting only Seeded or Sodded Lawn Areas.
  6. Anti-Desiccant: Emulsion type, film-forming agent designed to permit transpiration but retard excessive loss of moisture from plants. Deliver in manufacturer's fully identifiable containers and mix in accordance with manufacturer's instructions.
  7. Tree Wrap: Tree-wrap tape not less than 4" wide, designed to prevent bore damage and winter freezing.
- F. Miscellaneous Materials:
  1. Stakes and Guys: Stakes and deadmen of sound new hardwood, treated softwood, or redwood, free of knotholes and other defects. Provide miscellaneous hardware, wire and accessories as shown on details.
  2. Tree Paint: Treheal or approved equal. Use paint which is waterproof, antiseptic, adhesive, elastic and free of kerosene, coal tar, creosote, and other substances harmful to plants. Do not use shellac.

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- E. Trees and Shrubs - Agriform 21-gram tablets (20-10-5)
- F. Trees closer than 8 feet from any walls, curbs, sidewalks, or other pavement shall be installed with 18" or deeper Deeproot® root barrier, or an approved equal, in accordance with the manufacturer's specifications and recommendations.
- G. Stake deciduous trees with "Rigid Guy" system. Attach to 2"x 2" stakes, 8' in length with minimum 2' below grade.
- H. Install pre-emergent per manufacturer's specifications.
- I. Rake smooth all planting beds prior to mulching. Remove all significant irregularities from the surface of the soil.
- J. Mulch shrub areas with minimum 2" layer of screened 3/4" minus Hemlock or Fir Bark Mulch. Rake smooth to remove significant lumps, depressions, or other irregularities from mulch surface.
- K. Dig each planting pit two times the diameter of the root ball (trees 24" larger than rootball. Create a mound of topsoil in the middle of planting pit and center root ball. Backfill with specified planting mix and water settle thoroughly. Final grade of root crowns of all Trees and Shrubs shall be one inch above finish grade.
- L. Plant trees after final grades are established and prior to planting of lawns, unless otherwise acceptable to the Landscape Architect. If planting of trees occurs after lawn work, protect lawn areas and promptly repair damage to lawns resulting from planting operations.
- M. Proceed with and complete the landscape work as rapidly as possible working within the weather and seasonal limitations for each kind of landscape work required. Do not plant in subfreezing weather or in temperatures exceeding 90° F.
- N. Remove the lower branches of trees to a height that prevents conflicts with pedestrians and vehicles adjacent to roads, parking areas, and walkways. Raising the canopy of trees may need to take place over the course of more than one growing season. Do not remove more than 25% of the tree canopy during one growing season.
- O. Water plants within the first 24 hours of initial planting, and not less than twice per week until final acceptance. Allow water to penetrate to a depth of 12" - 18".
- P. Upon completion of work remove all installation debris and equipment and leave area in broom-clean condition at the time of Owner's Final Acceptance.

END OF SECTION

WOODLAND CORPORATE CENTER EXPANSION  
BINDING SITE PLAN 2019-001  
LAND USE APPLICATION NUMBER BSP2019-001 / SEP2019-005 / CAP2017-001  
ATTACHMENT NO. 1



Woodland Corporate Center  
SCHURMAN WAY FRONTAGE MASTER LANDSCAPE PLAN  
SCHURMAN WAY  
WOODLAND, WASHINGTON

SHEET TITLE  
LANDSCAPE NOTES

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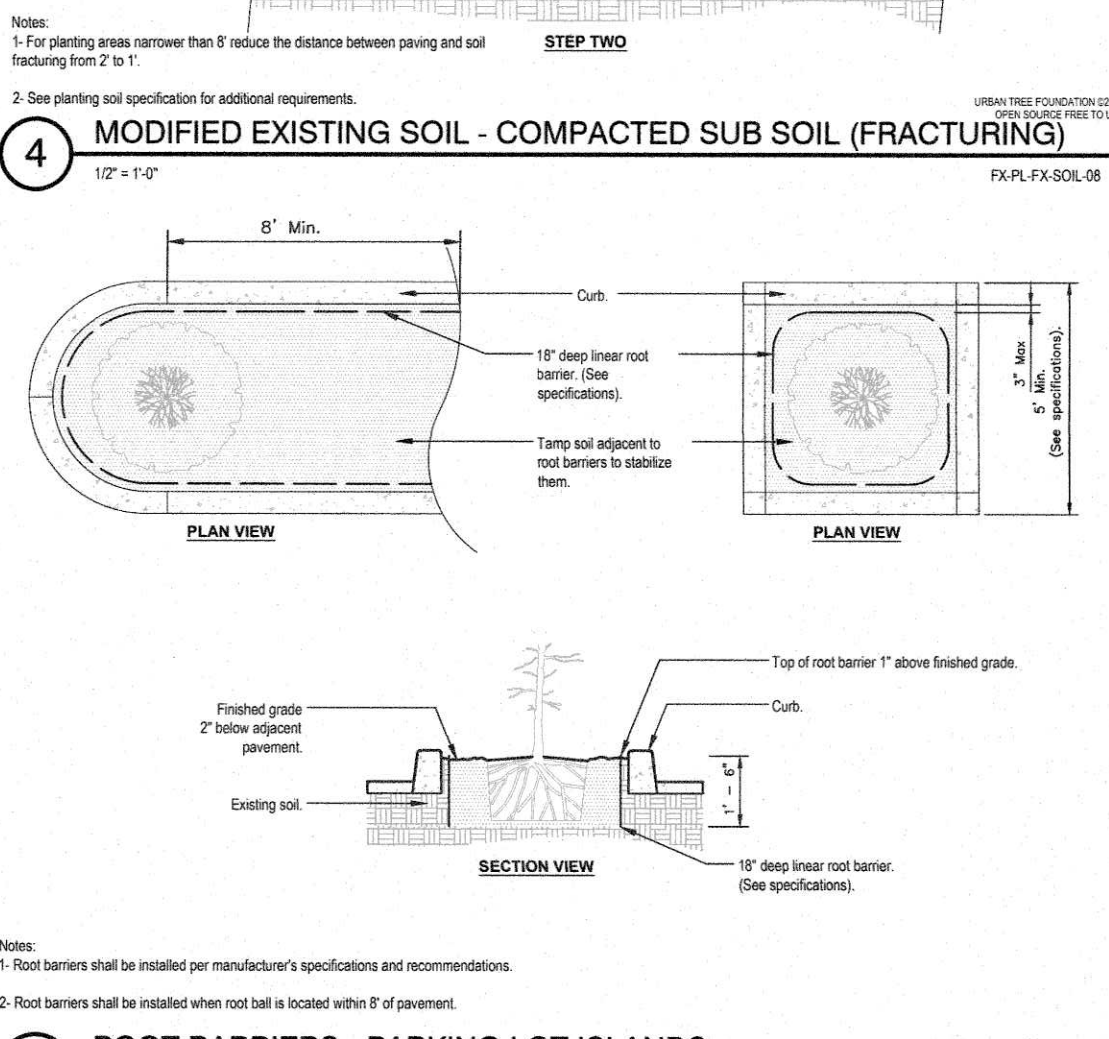
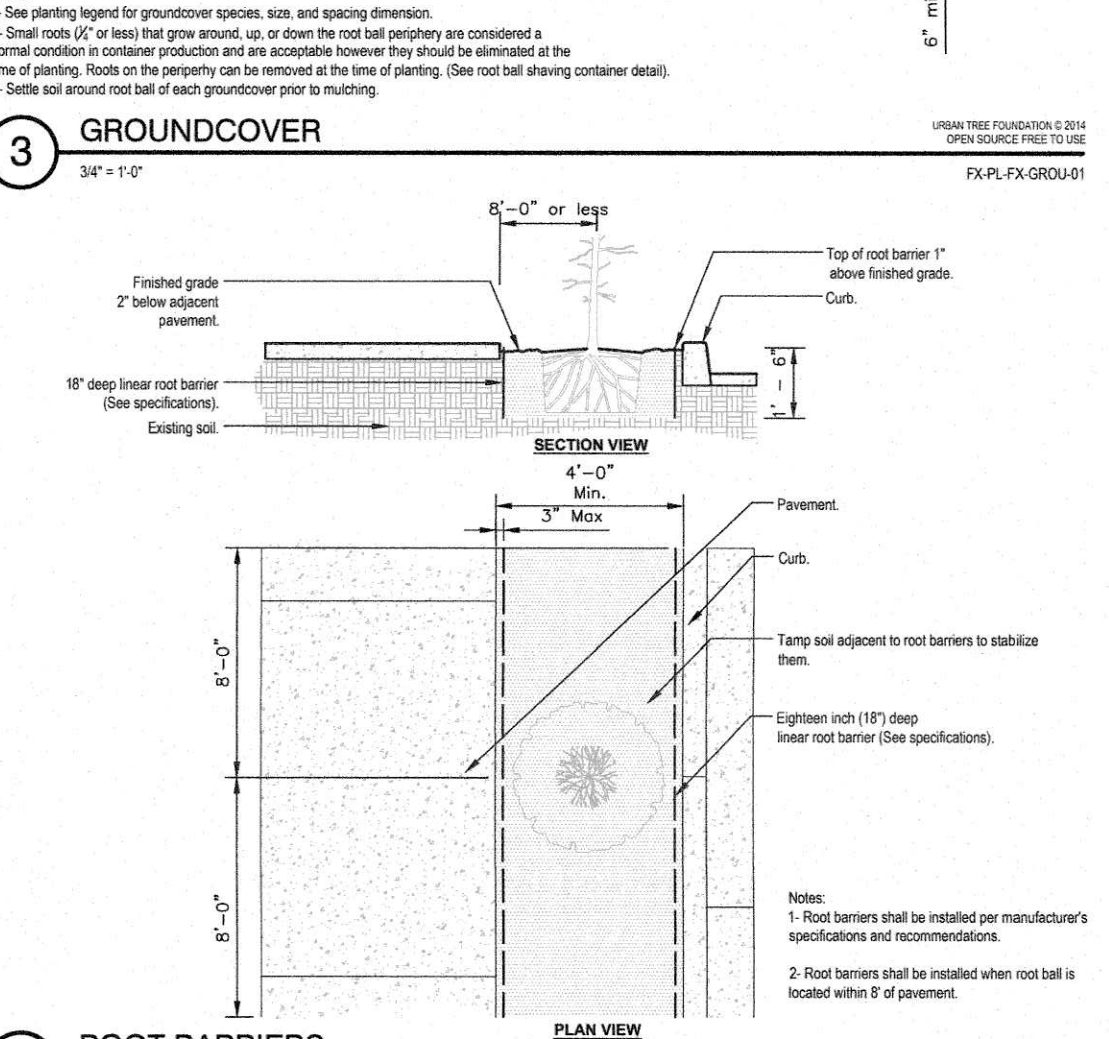
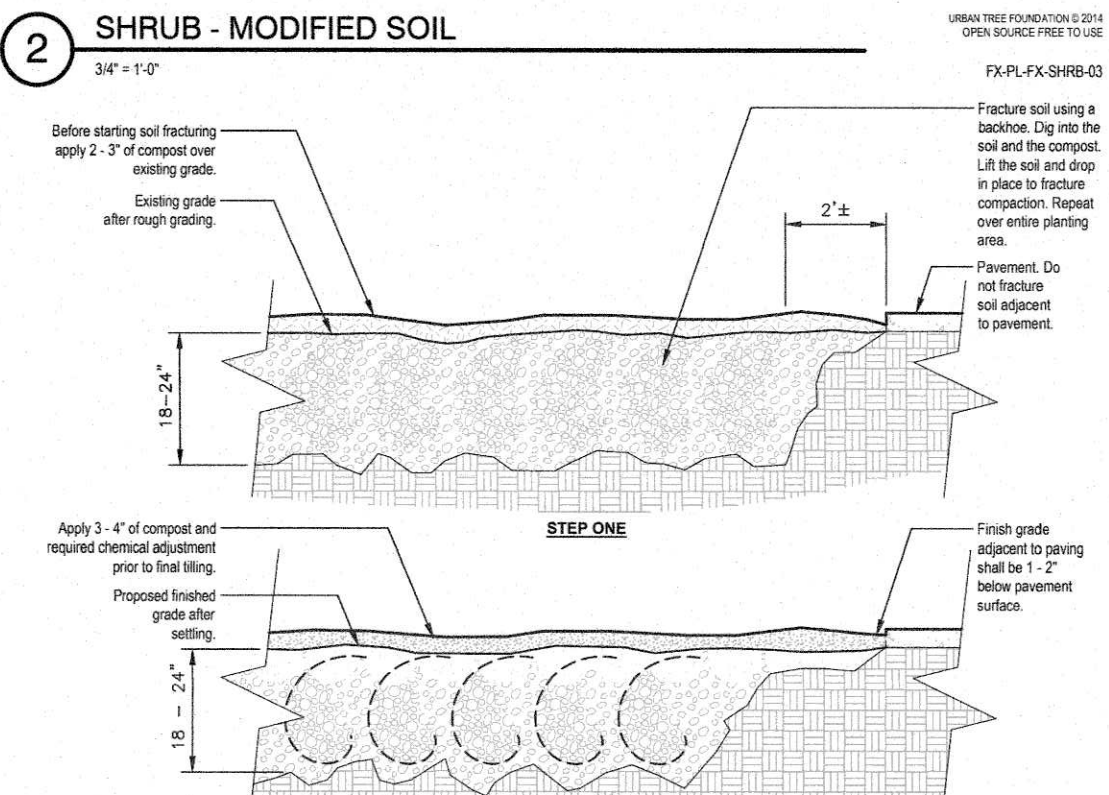
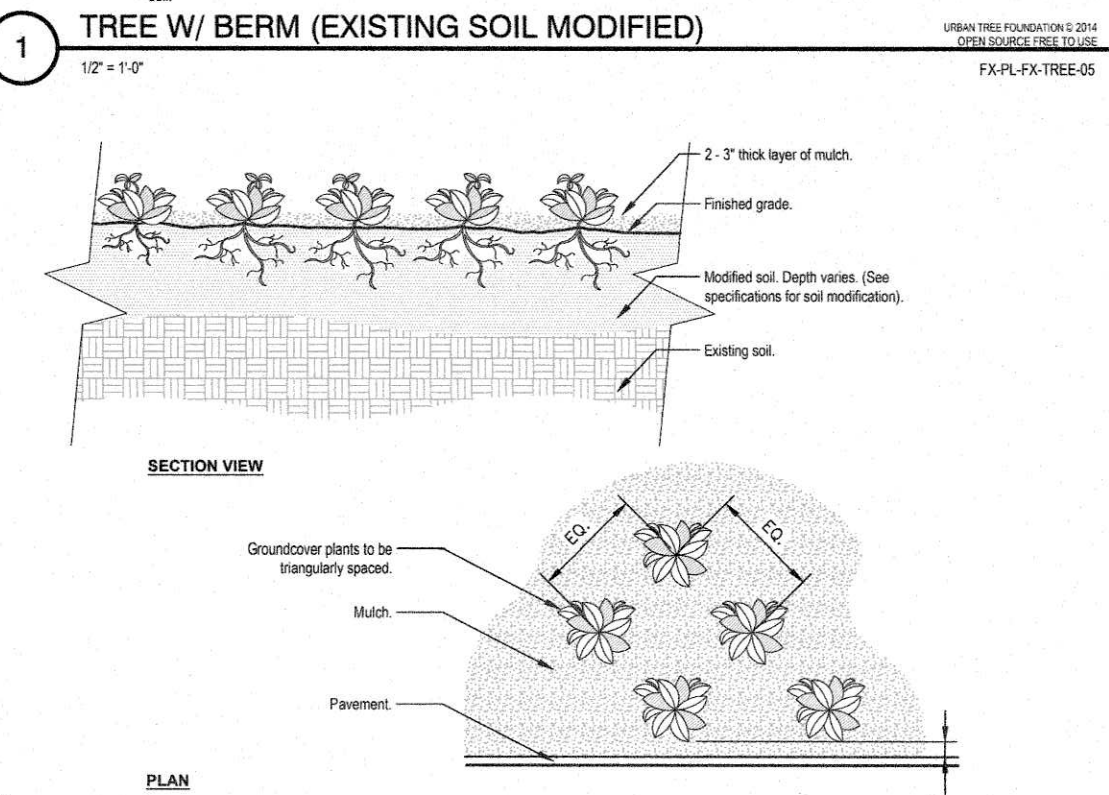
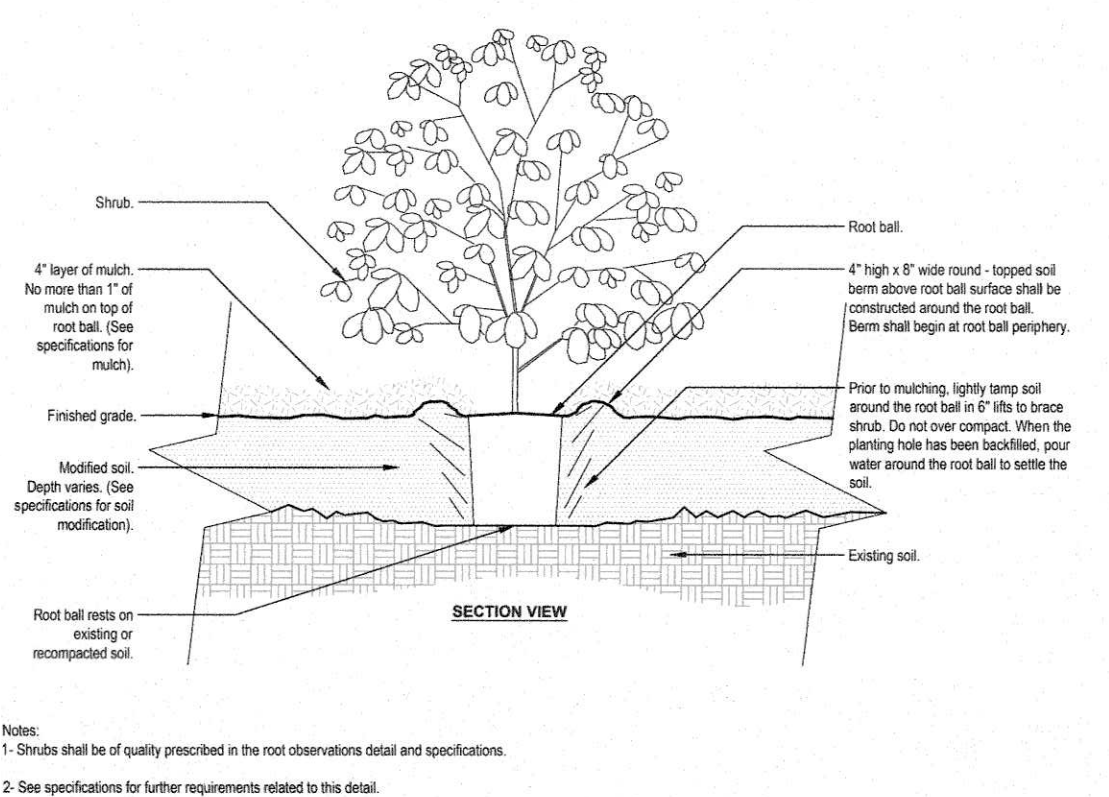
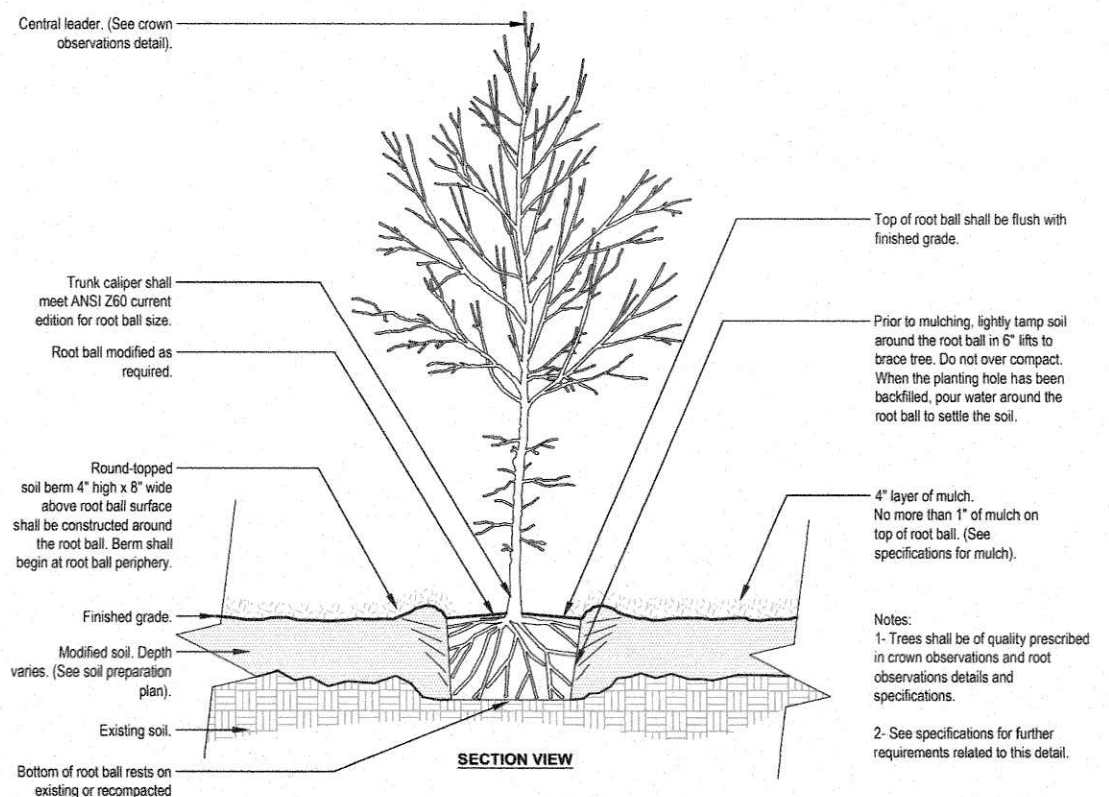
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**PLANT SCHEDULE**

TREES	BOTANICAL / COMMON NAME	CONTAINER	SIZE	SPACING
	Carpinus caroliniana 'Palisade' / Palisade American Hornbeam	B & B	2" cal	30' o.c.
NATIVE TREES	BOTANICAL / COMMON NAME	CONTAINER	SIZE	SPACING
	Chamaecyparis nootkatensis 'Strict Weeping' / Strict's Weeping Alaskan Falsecypress	B & B	6'	as shown
SHRUBS	BOTANICAL / COMMON NAME	CONTAINER	SPREAD	SPACING
	Prunus laurocerasus 'Otto Luyken' / Luykens Laurel	5 gal	24"-30"	3.5' o.c.
	Yucca filamentosa 'Color Guard' / Adam's Needle	5 gal	18"-24"	as shown
GROUND COVER	BOTANICAL / COMMON NAME	CONTAINER	SPREAD	SPACING
	Lavandula angustifolia 'Munstead' / Munstead English Lavender	1 gal	12"-15"	30" o.c.
	Rosa x 'Flower Carpet Coral' / Rose	2 gal	15"-18"	3.5' o.c.
GRASSES	BOTANICAL / COMMON NAME	CONTAINER	SPREAD	SPACING
	Pennisetum alopecuroides / Fountain Grass	1 gal	12"-15"	3' o.c.
GROUND COVERS	BOTANICAL / COMMON NAME	CONTAINER	SPREAD	SPACING
	Fragaria chiloensis / Beach Strawberry	1 gal	10"-12"	4' o.c.
NATIVE SEED	BOTANICAL / COMMON NAME	CONTAINER	SPREAD	SPACING
	Seed Mix Native Wet Prairie & Bioswale Mix / PT 455 Native Wet Prairie & Bioswale Mix <a href="https://ptawnseed.com/collections/native-seeds/products/pt-455-native-wet-prairie-bioswale-mix">https://ptawnseed.com/collections/native-seeds/products/pt-455-native-wet-prairie-bioswale-mix</a>	seed		
SEED	BOTANICAL / COMMON NAME	CONTAINER	SPREAD	SPACING
	Turf - No Mow Eco-Lawn / PT 701 Let It Grow - No Mow Eco-Lawn <a href="https://ptawnseed.com/collections/eco-and-alternative-lawns/products/pt-701-let-it-grow-grasses-a-no-mow-alternative">https://ptawnseed.com/collections/eco-and-alternative-lawns/products/pt-701-let-it-grow-grasses-a-no-mow-alternative</a>	seed		



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SCHURMAN WAY FRONTAGE MASTER LANDSCAPE PLAN  
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**SHEET TITLE**  
PLANT SCHEDULE & LANDSCAPE DETAILS

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