



**Community Development Department**

Building | Planning | Code Enforcement  
 P.O. Box 9, 230 Davidson Avenue  
 (360) 225-7299, www.ci.woodland.wa.us

**NOTICE OF DECISION**  
 Atlas – Site Plan Review

<b>Land Use Application Nos.:</b>	SPR 20-010 (Site Plan Review) BLA 20-006 (Boundary Line Adjustment) SEP 20-015 (SEPA) CAP 20-004 (Critical Areas Permit)
<b>Applicant:</b>	Samuel Duguay Jackola Engineering and Architecture 702 Jefferson ST Vancouver, WA 98660
<b>Property Owner:</b>	Sarah and Kaarle Homola 428 N Pekin RD Woodland, WA 98674
<b>Site Location:</b>	428 N Pekin Woodland, WA 98674
<b>Parcel &amp; Size:</b>	50739, 50741, 50740, 3.69 Acres
<b>Zoning Designation:</b>	Heavy Industrial (I-2)
<b>Date Application Received:</b>	December 14, 2020
<b>Notice of Application &amp; Likely DNS issued:</b>	January 22, 2021
<b>Comment Period &amp; SEPA Appeal Period Ended:</b>	February 17, 2021
<b>Notice of Decision Issued:</b>	March 11, 2021
<b>DRC Decision:</b>	Approve with Conditions

**I. DESCRIPTION OF PROPOSAL**

Atlas Plumbing Contractors own three lots at the southeast corner of N. Pekin and W. Scott. They currently operate on the southernmost lot. Atlas proposes to construct a new building at the site. The three lots will be consolidated to two lots with a Boundary Line Adjustment. A new building (approximately 20,000 sq. ft.) and associated parking is proposed.

## II. LOCATION OF PROPOSED DEVELOPMENT

The site is located at 428 N. Pekin RD., Woodland, WA.: portion of the Solomon Strong D.L.C. in the SW ¼ of Section 13, Township 5 North, Range I. The parcel numbers of this proposal are 50739, 50741, 50740.

## III. REVIEW AUTHORITY

Per WMC 19.08.010, department staff as assigned by the director or the Development Review Committee shall have the authority to review and approve, deny, modify, or conditionally approve, land use or environmental permits or licenses required from the city for a project action, including, but not limited to, site plan review, boundary line adjustments, administrative temporary and conditional use permits, building permits and other construction permits, SEPA procedural and substantive determinations, short plats, binding site plans, minor variances, minor modifications to approved administrative conditional use permits and conditional use permits, phasing and expiration extensions of subdivision preliminary plats, sign permits, certificates of occupancy, critical area permits, floodplain development permits, and shoreline exemptions, and to provide interpretations of codes and regulations applicable to such projects.

**Consolidation of Review:** The Site Plan Review (SPR), Boundary Line Adjustment (BLA), Critical Areas Permit (CAP, and SEPA checklist have been consolidated for review. Per WMC 19.08.020, the final decision for the consolidated application shall be rendered by the highest authority designated for any part of the application. The highest authority for these applications is department staff (Associate Planner) as assigned by the Director and Development Review Committee.

## IV. FINDINGS

Per Woodland Municipal Code (WMC) 19.08.030, site plan reviews shall be approved, approved with conditions, or denied by the Development Review Committee and decisions shall be issued by the Community Development Department.

### Development Impact Fees – Fire | WMC 3.41

**Finding 1:** The City of Woodland assesses Fire Impact Fees on new development. The Fire Impact Fee is \$0.51 per square foot of building space. The project involves 20,292 square feet of new structural improvements, therefore a Fire Impact Fee of \$10,348.92 will be required for the project. A condition of approval has been added which requires the fees be calculated and paid at the time of building permit issuance. *See Conditions #1 and #2.*

**Conclusion:** As conditioned, the proposal can comply with this requirement.

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### **Development Impact Fees – Transportation | WMC 3.42**

**Finding 2:** Transportation Impact Fees (TIF) are required on new development to support future transportation improvements within the city. The TIF is calculated on the basis of \$838 per PM peak hour trip (PMPHT) generated by the project on the basis of the project traffic study or where no study is prepared, on the basis of trip generation in accordance with Institute of Transportation Engineers (ITE) published data.

**Finding 3:** For this proposal, trip generation was evaluated as follows:

20,000 square feet of industrial building under ITE category 110 (General Light Industrial) generates 0.97 new peak hour trips per 1,000 square feet or 19.4 PM peak hour trips.

The estimated number of peak hour trips results in a calculated Transportation Impact Fee of  $(19.4 \times \$838) = \$16,257.20$  for the project. A condition of approval has been added which requires the fees be calculated and paid at the time of building permit issuance. *See Conditions #1 and #3.*

**Conclusion:** As conditioned, the proposal can comply with this requirement.

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### **Streets and Sidewalks | WMC 12**

**Finding 4:** The half street improvements required on North Pekin Road and West Scott Avenue shall be coordinated with the City of Woodland Public Works Project currently in design by Gray & Osborne, Inc. A condition is added that all improvements in the public right-of-way shall be completed in accordance with City of Woodland standards. *See Condition #4.*

**Conclusion:** As conditioned, the proposal can comply with the development standards

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### **Water and Sewage | WMC 13**

**Finding 5:** Water mains are complete in North Pekin Road, however water mains shall be extended along the frontage on West Scott Avenue. Backflow devices must be installed on the domestic and fire supply lines to the building. A condition is added to coordinate the water main installation on West Scott Avenue with the City of Woodland

Public Works Project currently in design by Gray & Osborne, Inc. See Conditions #4 and #5.

**Finding 6:** On-site fire hydrants are required. The fire mains shall be public mains with a 15 ft wide easement to the City and locations shall be coordinated with CCFR. See *Finding #75 and Conditions #4 and #6.*

**Finding 7:** Sewer mains are complete in North Pekin Road, however sewer mains shall be extended along the frontage of West Scott Avenue. The applicant has proposed to construct an 8-inch sewer main in these locations and extension onto the site with 4-inch service lines connecting to each building. See Conditions #4 and #7.

**Finding 8:** Water and Sewer Assessment Fees: Connection charges and assessments for water and sewer will be assessed in accordance with the applicable rate schedule. See Condition #8.

**Conclusion:** As conditioned, the project can comply with this standard.

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## Critical Area Reports | WMC 15.08

Pursuant to the requirements of the Growth Management Act of 1990 and as amended, RCW 36.70A, the City of Woodland adopted the critical area ordinance (WMC 15.08) to protect wetlands, areas with critical recharging effect on potable water, frequently flooded areas, geologically hazardous areas, and fish and wildlife habitat conservation areas. The director is given the authority to interpret and apply, and responsibility to enforce this chapter to accomplish the stated purpose. The city may withhold, condition or deny permits or approvals to ensure that the proposed action is consistent with this chapter (WMC 15.08.020).

If the proposed project is likely to impact a critical area, the City requires the applicant to have a critical area report prepared by a qualified professional. The City will determine if any mitigation proposed by the applicant is sufficient to meet the requirements of WMC 15.08.

Mitigation for lost or diminished wetland and buffer functions shall rely on Wetland Mitigation Banks, In-Lieu Fee Mitigation, or Permittee-Responsible Mitigation.

**Finding 9:** The applicant has submitted a critical area report and applied for a critical areas permit (CAP 20-004).

**Finding 10:** A Class IV wetland, .04 acres in size, is located on the site (Wetland Delineation and Assessment Report).

**Finding 11:** Industrial land uses are categorized as high intensity per WMC 15.08.400 (B).

**Finding 12:** A 50-foot buffer is required around the perimeter of the Class IV wetland when adjacent to high impact land use Per WMC 15.08.400 (D).

**Finding 13:** The applicant proposes to fill the wetland to make room for a new parking lot, building, storage area, and frontage improvements required by the proposal.

**Finding 14:** Lost or diminished wetland and buffer functions may be mitigated by purchase of credits from wetland mitigation banks per WMC 15.08.430 (D)(1).

**Finding 15:** Applicant proposes mitigation will include purchase of .05 wetland bank credits from the Columbia River Wetland Bank. See Condition #9.

**Conclusion:** As conditioned, the project can comply with the Critical Areas regulations.

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## Cultural Resources

**Finding 16:** The applicant has submitted a Cultural Resources Survey prepared by Archeological Services, LLC. (ASCC).

**Finding 17:** No significant cultural resources were identified within the project area, ASCC recommends that the project be permitted to move forward under the guidelines of an Inadvertent Discovery Plan (IDP). A condition is added to add the following statement to the final site plan: "In the event of an inadvertent discovery of potentially significant archaeological materials (bones, shell, stone tools, hearths, etc.) and/or human remains during project activities, all work in the immediate vicinity should stop, the area must be secured, and the discovery must be reported to the Department of Archaeology and Historic Preservation (DAHP) (360-586-3065) and all relevant Native American tribes. In the event human remains are identified, local law enforcement, the county medical examiner, State Physical Anthropologist at DAHP (360-586-3534), the Cowlitz County planning office, and the affected Tribes should be contacted immediately. Compliance with all applicable laws pertaining to archaeological resources (RCW 27.53, 27.44 and WAC 25-48) and human remains (RCW 68.50) is required." *See Condition #10.*

**Conclusion:** As conditioned, the project can comply with the Cultural Resources recommendations.

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### **Erosion Control Ordinance | WMC 15.10**

**Finding 18:** Applicants are required to install and maintain erosion control measures per the Best Management Practices as outlined in the 2012 Stormwater Management Manual for Western Washington during site excavations and grading. An NPDES permit from the Department of Ecology is required where more than one acre is being disturbed. A condition of approval is added to include an erosion control plan with the final engineering submittal. Additionally, a fill and grade permit is required. See *Condition #11*.

**Conclusion:** As conditioned, the project can comply with this standard.

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### **Stormwater Management | WMC 15.12**

**Finding 19:** The applicant's submittal included a preliminary stormwater report. A condition of approval is added to submit a final stormwater TIR.

Additional comments are as follows:

1. If the City is utilizing the 2012 Department of Ecology Stormwater Management Manual for Western Washington (Ecology Manual), flows should be calculated using the Western Washington Hydrology Model (WWHM). However, the water quality storm calculated by the applicant is appropriate if WWHM is not required.
2. Future sizing calculations for the infiltration and rain garden/bioretention systems should utilize WWHM.
3. We understand the applicant intends to infiltrate in the east portion of the site. Geotechnical information should be provided specifically for this area to ensure infiltration rates and/or groundwater levels may be favorable for a proposed infiltration facility to be located here. The Preliminary Stormwater Plan indicates that future site-specific geotechnical information will be provided.
4. Perforated stub-outs are being proposed to infiltrate the roof runoff however, per the Ecology Manual, these stub-outs should not be located under impervious areas such as parking lots. It is recommended that roof runoff enter downspout dispersion systems

that meet BMP T5.10B instead.

*See Condition #12.*

**Conclusion:** As conditioned, the project can comply with this standard.

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### **Permitted Uses | WMC 17.46.030**

**Finding 20:** Light manufacturing, warehousing and distribution are permitted uses in the industrial zones.

**Conclusion:** As proposed, the project can comply with this standard.

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### **Building Setbacks | WMC 17.46.070**

**Finding 21:** The required setbacks in light industrial zones are:

- **Front Yard:** 30 ft.
- **Side Yard:** 10 ft.
- **Rear Yard:** 10 ft.

**Finding 22:** The proposed building is located over 60 ft. from N. Pekin Road and West Scott Avenue. It is located 120 ft. from the southern and eastern property lines. The proposal meets the required setbacks. *See Attachment A – Site Plan.*

**Conclusion:** As proposed, the project can comply with this standard.

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### **Building Height | WMC 17.46.080**

**Finding 23:** On lots greater than one acre in the I-2 zoning district, building height is limited to 45 ft. eave height.

**Finding 24:** Proposed height for the buildings is 30'10" in height.

**Conclusion:** As proposed, the project can comply with this standard.

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### **Lot Coverage | WMC 17.46.090**

**Finding 25:** There are no limitations for lot coverage.

**Conclusion:** As proposed, the project can comply with this standard.

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## **Landscape Design and Screening | WMC 17.46.123 – WMC 17.46.126**

**Finding 26:** A landscaping plan guaranteeing the healthy growth of proposed landscaping in compliance with WMC 17.46, and signed by a certified landscaping professional is required prior to issuance of the preliminary site plan approval.

**Finding 27:** A landscaping plan was submitted with this preliminary site plan review application.

**Finding 28:** The proposed landscaping plan shall include tabulation showing the area and percentage of the following, per WMC 17.46.124:

- A. Entire site;
- B. Total landscaping areas;
- C. Areas covered by groundcover;
- D. Areas covered by nonplant materials;
- E. Areas covered by tree canopy and shrubs;
- F. Each required setback area;
- G. Total parking area;
- H. Parking landscaping; and
- I. Other landscaping areas.

**Finding 29:** The proposed landscaping plan did not include tabulations showing area and percentage for:

- Entire site;
- Total landscaping areas;
- Areas covered by groundcover;
- Areas covered by nonplant materials (as described in WMC 17.44.135 (G));
- Areas covered by tree canopy and shrubs;
- Each required setback area (as specified in WMC 17.44.070);
- Total parking area;
- Parking landscaping; and
- Other landscaping areas.

A condition is added to include the area and percentage of the above-listed areas and resubmit the updated landscaping plan with the civil review submission. *See Condition #13.*

**Finding 30:** Ten percent of the entire site must be landscaped per WMC 17.46.125.



**Finding 31:** The total landscaped area calculation was not included on the landscaping plan and a condition is added to include this calculation. The narrative indicates 10% of the site will be covered in landscaping which would meet code. *See Condition #14. See Attachment A: Site Plan.*

**Finding 32:** A combination of deciduous and evergreen trees, shrubs, and groundcovers shall be used for all planted areas, the selection of which shall be based on local climate, exposure, water availability, and drainage conditions per WMC 17.46.125 (C).

**Finding 33:** A proposed planting list will need to be included with the landscaping plan. *See Condition #15.*

**Finding 34:** All landscaped area, whether or not required, that is not planted with trees and shrubs or not covered with nonplant material, shall have groundcover plants that are designed to achieve 50% coverage of the area not covered by tree canopy and shrubs per WMC 17.46.125 (D).

**Finding 35:** In the landscaping areas in the setbacks and the yards, hydroseed and landscape rock are proposed for groundcover and will provide greater than 50% coverage.

**Finding 36:** Per WMC 17.46.125 (E), trees shall have a minimum diameter or caliper measured at four feet above grade of two inches or greater at time of planting and shall be densely planted as certified by a certified landscaping professional.

**Finding 37:** The size of the proposed trees is not indicated on the landscaping plan. The minimum size of 2-inch caliper should be indicated on the landscaping plan. *See Condition #16.*

**Finding 38:** Per WMC 17.46.125 (F), shrubs shall be planted from a five-gallon container or larger at the recommended spacing as certified by a certified landscaping professional.

**Finding 39:** The type, size, and location of proposed shrubs is not included on the landscaping plan. A condition is added to include these details on the landscaping plan. *See Condition #17.*

**Finding 40:** Per WMC 17.46.125 (G), bark dust, chips, aggregate, or other nonplant groundcovers may be used, but shall be confine to areas underneath plants and within the drip lines. Nonplant groundcovers cannot be used to satisfy the coverage requirement.

**Finding 41:** In the landscaping areas in the setbacks and the yards, hydroseed and landscape rock are proposed for groundcover. The areas proposed to be covered in landscape rock will need to additionally shrub or tree cover per WMC 17.46.125 (D) to be counted toward the landscaping coverage requirement. *See Condition #18.*

**Finding 42:** Per WMC 17.46.125 (H), when stormwater facilities are required for the development, water tolerant and/or native plants may be used to landscape the stormwater treatment facilities. These plants shall not be counted towards the landscaping coverage calculations.

**Finding 43:** Landscaping is not proposed for the stormwater facility.

**Finding 44:** Per WMC 17.46.125 (I), the use of drought-tolerant plant species is encouraged and shall be required when irrigation is not available. Irrigation shall be provided for plants that are not drought tolerant. If the plantings fail to survive, the property owner shall replace the with an equivalent specimen.

**Finding 45:** The landscaping plan should include a plant guarantee and irrigation plan for all plants that are not drought tolerant. A condition is added for the owner (or contractor) to replace plantings that fail to survive. And a condition is added to detail irrigation plans on the landscaping plan. *See Condition #19.*

**Finding 46:** Per WMC 17.46.126, all required setback areas, parking lots, and planter strips in the right-of-way must be landscaped and maintained in a neat and orderly manner per WMC 17.46.126.

**Finding 47:** Public Works requires street tree plantings in the right-of-way in the planting strip between the sidewalk and road. A condition is added to revise the proposed right-of-way planting using the Woodland Street Tree list and adhering to WMC 12.28. *See Attachment A: Site Plan and Condition #20.*

**Finding 48:** Per WMC 17.46.126 (A), in the required setback areas shall retain natural vegetation in addition to new plantings.

**Finding 49:** There are no significant trees or vegetation for retention in the required setback areas. These areas will be landscaped with new vegetation according to the landscaping plan as conditioned.

**Finding 50:** Per WMC 17.46.126 (B), in the front yard landscaping area, trees, shrubs, and plant ground cover should be planted along the entire road frontage area and meet the requirements of WMC 17.46. This area can be counted toward the coverage requirements calculations in WMC 17.46.125 (B).

**Finding 51:** The plantings proposed in the front setback only include hydroseed. A condition is added to revise the landscaping plan showing trees, shrubs, and groundcover in the front yard landscaping area. See *Condition #21*.

**Finding 52:** Per WMC 17.46.126 (D), commercial and industrial uses which abut nonindustrial zoning district(s) and/or use(s) on side and rear property lines shall provide a sight-obscuring fence or wall a minimum of six feet in height. A chain link fence containing slats does not qualify as a sight-obscuring fence for the purposes of this section. In addition, evergreen trees, shrubs, and similar vegetation not less than six feet shall be densely planted along the full frontage of the outer side of such fence or wall.

**Finding 53:** The project does not abut residential uses.

**Finding 54:** Per WMC 17.46.126 (E), industrial uses adjacent to nonindustrial zoning districts and/or uses, but divided by a street, shall provide and maintain a landscaped planting strip a minimum of five feet in width along the full length of applicable property lines. The plantings shall be comprised of a largely view-obscuring arrangement of evergreen trees, shrubs, and similar vegetation not less than six feet in height.

**Finding 55:** There are non-industrial uses across W Scott Avenue and Pekin Road. A condition is added to include a five-foot wide planting strip along the property line across from parcels 507770100 and 507940100. The planting strip must include view-obscuring evergreen trees and shrubs not less than 6 ft. in height. *Condition #22*.

**Finding 56:** Per WMC 17.46.126 (F), a minimum of ten percent of the total surface area of all proposed parking areas, as measured around the perimeter of all parking spaces and maneuvering areas, shall be landscaped. Such landscaping shall consist of "evenly distributed" shade trees with shrubs and/or groundcover plants that conform to the criteria in this chapter. "Evenly distributed" means that the trees and other plants are distributed around the parking lot perimeter and between parking bays to provide a partial canopy. These requirements can be included in the coverage requirement outlined in Section 17.46.125(B). At a minimum, one tree per five parking spaces shall be planted.

**Finding 57:** The parking lot consists of 35 parking spaces. At least seven trees will be required. The location and tree species must be indicated on the landscaping plan. See *Condition #23*.

**Finding 58:** Per WMC 17.46.126 (F)(3), where a parking or maneuvering area is proposed to be located within the required setback areas, such parking/maneuvering area shall not be located within the five feet from the property lines. An evergreen

hedge; decorative wall (masonry or similar quality material) with openings; arcade, trellis, or similar partially opaque structure that is a minimum of four feet in height shall be established between the proposed parking/maneuvering area(s) and street. Any areas between the wall/hedge and the street/driveway line shall be landscaped with plants or other vegetative groundcover. *See Attachment A: Site Plan.*

**Finding 59:** The parking area is within the required front yard setback. Screening will be required per WMC 17.46.126 (F)(3). A condition is added to include parking lot screening on the landscaping plan. *See Condition #24.*

**Finding 60:** Per 17.46.126 (G), all mechanical equipment, outdoor storage and manufacturing areas, service and delivery areas, garbage receptacles and recycling containers shall be fully screened from view from all public streets and adjacent nonindustrial zoning district(s) and/or use(s) in a manner which is architecturally integrated with the structure. Such screening shall be a minimum of six feet provided by a decorative wall (i.e., masonry or similar quality material), evergreen hedge, opaque fence complying with the standards of this section, or a similar feature that provides an opaque barrier.

**Finding 61:** A 40-yard dumpster is proposed at the northeast corner of the project. The dumpster is proposed within the required front yard setback along W. Scott Ave. The site plan and narrative do not specify the height or material the enclosure will be made from. A condition is added that the enclosure must be moved out of the required setback areas and the site plan and narrative must show how the dumpster location meets the requirements of WMC 17.44.136 (G). *See Condition #25.*

**Conclusion:** As conditioned, the proposal can comply with these standards.

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## Lighting | WMC 17.46.140

**Finding 62:** The operator shall be responsible for ensuring that lighting is installed and arranged to ensure that no reflection or glare shall conflict with the readability of traffic signs or control signs. Lighting shall also not rotate, glitter, or flash per WMC 17.46.140. *See Condition #26.*

**Conclusion:** As conditioned, the proposal can comply with these standards.

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## Building and Yard maintenance | WMC 17.46.160

**Finding 63:** All buildings and yards shall be maintained in a neat and orderly manner. Landscaping shall be maintained in a healthy, presentable state. *See Condition #27.*

**Finding 64:** All structures, buildings, fences, and walls shall be kept free of rust, corrosion, peeling paint, and other surface deterioration. *See Condition #28.*

**Finding 65:** Fifteen percent of any street facing building elevation shall be in permeable surfaces (windows and pedestrian entrances) or permanent architectural features.

**Finding 66:** The north and west building elevations face the street and must meet the façade standards in WMC 17.46.160 (C). The north and west building elevations do not meet the standard. A condition is added to revise the building elevations to comply with WMC 17.46.160 (C). *See Condition #29. See Attachment B – Building Elevations.*

**Conclusion:** As conditioned, the proposal can comply with these standards.

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## Performance Standards | WMC 17.48

**Finding 67:** The requirements of this section cover hazards and nuisances including sound level, vibration, air emissions, smoke, dust, odors, industrial wastes, fire hazards, heat, glare, radioactivity and radio transmitters.

The applicant will be responsible for ensuring that their operation is complying with all performance standards. *See Condition #30.*

**Conclusion:** As conditioned, the proposal can comply with this standard.

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## Sign Requirements | WMC 17.52

**Finding 68:** A monument sign is proposed along the frontage.

**Finding 69:** A separate building permit is required for sign approval and all signs must conform with the requirements of WMC 17.52. *See Condition #31.*

**Conclusion:** As conditioned, the proposal can comply with this standard.

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## Off-Street Parking | WMC 17.56 & WMC 17.46.100

**Finding 70:** Developments in the heavy industrial district shall provide off-street parking and loading facilities to the side of buildings and may only provide parking in the front when landscaping is provided per WMC 17.46. *See Finding #57 and Condition #23.*

**Finding 71:** Per WMC 17.56.040, four parking spaces is the minimum per site.

**Finding 72:** Thirty-five parking spaces and including two accessible parking spaces are proposed for 20 employees and visitors. *See Attachment A: Site Plan.*

**Finding 73:** Each parking space shall be 180 square feet in area and at least 9 feet in width per WMC 17.56.060.

**Finding 74:** Each parking space is proposed to be 10 ft. by 20 ft.

**Conclusion:** As conditioned, the proposal can comply with the development standards.

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## Fire Safety

All buildings must be constructed in accordance with WA Building and Fire Codes.

**Finding 75:** Clark-Cowlitz Fire Rescue (CCFR) reviewed the site plan and provided a comment letter to the applicant. A summary of comments includes:

- Indicate “No Parking Fire Lane” per CCFR instructions.
- Knox Box access is required for any gates.
- Move hydrants per CCFR instructions.
- Any structures larger than 5,000 square feet must be equipped with a fire sprinkler system.
- All private mains and hydrants must be permitted and inspected by CCFR.
- Keep hydrants unobstructed and maintained per CCFR instructions.
- Construct fire apparatus access roads of an all-weather surface per CCFR specifications.
- Submit all fire alarm and sprinklers permits to CCFR.
- All work is subject to field inspection and correction per CCFR.
- Buildings over 30 ft. in height must provide access for aerial apparatus per CCFR specifications.

A condition is added to comply with all CCFR-provided comments. *See Condition #32.*

**Conclusion:** As conditioned, the proposal can comply with Fire Code.

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## SEPA Comments

**Finding 76:** Department of Ecology provided comments regarding solid waste management and water quality. A summary of comments:

- **Solid Waste:** Use only clean fill or obtain a solid waste permit. Dispose of all debris at an approved site.
- **Water Quality:** Install erosion control measures prior to clearing, grading, construction. Do not discharge into waters of the state. Obtain a Construction Stormwater General Permit if required. Report any soil/groundwater contaminants found.

*See Condition #33.*

**Finding 77:** Southwest Clean Air Agency (SWCAA) provided comments regarding asbestos, controlling construction dust, and air pollution sources. A summary of comments:

- An asbestos inspection conducted by an AHERA-certified inspector is required before remodeling or demolishing the existing buildings. *See Condition #35.*
- Applicant must implement measures to control construction dust.
- Applicant must register any new air contaminant sources. For example, welding activities may require permits.

*See Condition #34.*

**Conclusion:** As conditioned, the project can comply with this standard.

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## Preliminary Site Plan Approval | WMC 19.10.070

**Finding 78:** The applicant submitted a preliminary site plan. Per WMC 19.10.070, the applicant is required to submit for final civil plan approval and submit a final site plan application. *See Condition #35.*

**Conclusion:** The preliminary site plan can be approved with conditions.

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## Boundary Line Adjustment | WMC 16.34.050

The applicant proposes a boundary line adjustment (BLA 20-006).

**Finding 79:** Applications for boundary line adjustments must include the requirements

listed in WMC 16.34.040.

**Finding 80:** Applicant submitted sheet C0.40 of the site plan set for the boundary line adjustment. The submission meets the requirements of WMC 16.34.040 except for the requirement to show old property lines and dimensions as dashed or broken lines, new property lines and dimensions as solid lines. A condition of approval is added to revise the BLA map. *See Condition #36.*

**Finding 81:** No new lots may be created by the BLA proposal.

**Finding 82:** No new lots are created by the BLA proposal.

**Finding 83:** The adjusted lots must meet current zoning requirements related to property size including but not limited to, minimum requirements for width, depth, and area. The subject parcels are zoned heavy industrial (I-2). The minimum lot size allowed in the I-2 zone is 10,000 sq. ft. and the minimum width is 60 ft.

**Finding 84:** The proposed lots are 76,519.98 sq. ft. and 128,617.8 sq. ft. and well over 60 ft. in width.

**Finding 85:** No lot shall be reconfigured or adjusted which would render access for vehicles, utilities, fire protection, or existing easements impractical to serve their purpose. Blanket utility easements existing along lot lines, that are specifically required as a condition of development approval, may be moved during a boundary line adjustment; provided, there is compliance with RCW 64.04.175 and the easement is not occupied by a utility. If the easement is occupied, this provision is inapplicable, and the provisions of RCW 64.04.175 shall apply.

**Finding 86:** All access and utilities will remain unchanged.

**Finding 87:** A BLA proposal that is inconsistent with any restrictions or conditions of approval for a recorded plat or short plat shall not be approved.

**Finding 88:** The BLA will not affect any original restrictions or conditions of approval.

**Finding 89:** The A BLA proposal between lots with different zoning designations shall not be approved.

**Finding 90:** All lots involved are zoned heavy industrial (I-2).

**Finding 91:** A BLA proposal that would reduce the overall area in a plat or short plat devoted to open space shall not be approved.



**Finding 92:** There are no areas dedicated to open space that will be affected by this BLA. The BLA will not reduce the overall area plat or open space.

**Finding 93:** A BLA proposal that would adjust a boundary line across a public roadway shall not be approved.

**Finding 94:** The proposed BLA will not adjust a boundary line across a public roadway.

**Finding 95:** Per WMC 16.34.060, the applicant shall revise the map with the required signature blocks, legal descriptions, and any covenants or easements. *See Condition #37.*

**Finding 96:** The applicant is responsible for printing the map, obtaining signatures, filing with the Count, and providing a copy to the City. A condition of approval is added to follow the recording protocol in WMC 16.34.060. *See Condition #38.*

**Conclusion:** As conditioned, the proposal can comply with the BLA approval criteria of WMC 16.34.050.

## V. ENVIRONMENTAL REVIEW

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request. This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS.

## VI. DECISION

Per WMC 19.08.030 and WMC 19.08.020 (consolidated review), the above application for the Site Plan Review (SPR), Boundary Line Adjustment (BLA) and Critical Areas Permit (CAP) has been **APPROVED WITH CONDITIONS** by the City of Woodland's Development Review Committee (DRC) based on the criteria and standards outlined in Woodland Municipal Code (WMC). *See Section V for conditions of approval.*

## V. CONDITIONS OF APPROVAL

1. Impact fees shall be calculated and paid when building permits are issued per WMC 3.41 and WMC 3.42.
2. Fire impact fees are calculated at the time of building permit issuance and are based on \$.51 per sq. ft. of structure. Fee is estimated to be \$10,348.92 (\$.51 per square foot of commercial space).
3. The number of peak hour trips results in a calculated Transportation Impact Fee of  $(19.4 \times \$838) = \$16,257.20$  the project.
4. All improvements in the public right-of-way shall be completed in accordance with City of Woodland standards per Title 12. Include Woodland standard details for water, sewer, erosion control, etc. as required to support the civil design when you submit drawings for final civil approval. The details can be found at [www.ci.woodland.wa.us/departments/public-works/standards.php](http://www.ci.woodland.wa.us/departments/public-works/standards.php).
5. Coordinate water main extension along West Scott Avenue with Gray & Osborne, Inc. Install water services, backflow devices, and water mains in accordance with City of Woodland Construction Standards. Comply with water supply backflow and cross-connections requirements of WMC 13.28.
6. On-site hydrants are required, the fire mains shall be public mains with a 15-foot wide easement to the City and locations shall be coordinated with CCFR.
7. Sewer mains and side services will be constructed in accordance with City of Woodland Construction Standards.
8. Water and Sewer Assessment Fees: Connection charges and assessments for water and sewer will be assessed in accordance with the applicable rate schedule.
9. Demonstrate proof of purchase for .05 wetland bank credits from the Columbia River Wetland Bank prior to issuance of building permits.
10. Add the following statement to the final site plan: "In the event of an inadvertent discovery of potentially significant archaeological materials (bones, shell, stone tools, hearths, etc.) and/or human remains during project activities, all work in the immediate vicinity should stop, the area must be secured, and the discovery must be reported to the Department of Archaeology and Historic Preservation (DAHP) (360-586-3065) and all relevant Native American tribes. In the event human remains are identified, local law enforcement, the county medical examiner, State Physical Anthropologist at DAHP (360-586-3534), the Cowlitz County planning office, and the affected Tribes should be contacted immediately. Compliance with all applicable laws pertaining to archaeological resources (RCW 27.53, 27.44 and WAC 25-48) and human remains (RCW 68.50) is required."
11. A final erosion control plan will be required with final engineering. Applicant is required to install and maintain erosion control measures per the Best Management Practices as outlined in this section (current Stormwater Management Manual for Western Washington) during site excavations and grading. An NPDES permit from the Department of Ecology is required where more than one acre is being disturbed. If all

construction stormwater will be infiltrated on site, coverage under the DOE permit will not be required.

12. Submit a final stormwater TIR incorporating the comments listed below, items i-iv. The applicant's submittal included a draft final stormwater technical memo which demonstrates that the development will utilize infiltration for final disposal of site runoff. Applicant will need to prepare a final design that is consistent with the adopted development standards for managing water quality and quantity. A final technical memo should be submitted which addresses water quality.
  - i. If the City is utilizing the 2012 Department of Ecology Stormwater Management Manual for Western Washington (Ecology Manual), flows should be calculated using the Western Washington Hydrology Model (WWHM). However, the water quality storm calculated by the applicant is appropriate if WWHM is not required.
  - ii. Future sizing calculations for the infiltration and rain garden/bioretention systems should utilize WWHM.
  - iii. We understand the applicant intends to infiltrate in the east portion of the site. Geotechnical information should be provided specifically for this area to ensure infiltration rates and/or groundwater levels may be favorable for a proposed infiltration facility to be located here. The Preliminary Stormwater Plan indicates that future site-specific geotechnical information will be provided.
  - iv. Perforated stub-outs are being proposed to infiltrate the roof runoff however, per the Ecology Manual, these stub-outs should not be located under impervious areas such as parking lots. It is recommended that roof runoff enter downspout dispersion systems that meet BMP T5.10B instead.
13. The proposed landscaping plan does not include tabulation showing the area and percentage for:
  - a. Entire site;
  - b. Total landscaping areas;
  - c. Areas covered by groundcover;
  - d. Areas covered by nonplant materials (as described in WMC 17.44.135 (G));
  - e. Areas covered by tree canopy and shrubs;
  - f. Each required setback area (as specified in WMC 17.44.070);
  - g. Total parking area;
  - h. Parking landscaping; and
  - i. Other landscaping areas.

Add these calculations to the landscaping plan and resubmit with the civil review submission.

14. Demonstrate on the final landscaping plan how the 10% landscaping standard, WMC 17.46.125, will be met.
15. Include a proposed planting list including species of proposed tree, shrub, and groundcover with the landscaping plan.
16. The minimum tree size of 2-inch caliper should be indicated on the landscaping plan.
17. Indicate the size of proposed shrubs on the landscaping plan (minimum size is 5-gallon containers).

18. The areas proposed to be covered in landscape rock will need to additionally shrub or tree cover per WMC 17.46.125 (D) to be counted toward the landscaping coverage requirement. Revise the landscaping plan with additional plantings if the rock-covered area is to be included in the landscaping coverage calculation.
19. Add a note to the landscaping plan that the owner is required to replace plantings that fail to survive after the contractor guarantee expires. Add irrigation plans to the landscaping plan.
20. Public Works requires street tree plantings in the right-of-way in the planting strip between the sidewalk and road. Revise the proposed right-of-way planting using the Woodland Street Tree list and adhering to WMC 12.28.
21. Revise the landscaping plan with additional trees and shrubs along the frontage in the front yard per WMC 14.46.126 (B).
22. Include a five-foot wide planting strip along the property line across from parcels 507770100 and 507940100. The planting strip must include view-obscuring evergreen trees and shrubs not less than 6 ft. in height per WMC 17.46.126 (E).
23. For the proposed 35 parking spaces, at least seven trees will be required per WMC 17.46.126 (F). The location and tree species must be indicated on the landscaping plan.
24. Parking lot screening will be required per WMC 17.46.126 (F)(3). Add an evergreen hedge or decorative wall or other treatment per WMC 17.46.126(F)(3) to the landscaping plan.
25. The 40-yard dumpster and any proposed enclosures must be moved out of the required setback areas. The site plan and narrative must show how the dumpster location and any screening meets the requirements of WMC 17.44.136 (G).
26. The operator shall be responsible for ensuring that lighting is installed and arranged to ensure that no reflection or glare shall conflict with the readability of traffic signs or control signs. Lighting shall also not rotate, glitter, or flash per WMC 17.46.140.
27. All buildings and yards shall be maintained in a neat and orderly manner. Landscaping shall be maintained in a healthy, presentable state per WMC 17.44.160.
28. All structures, buildings, fences, and walls shall be kept free of rust, corrosion, peeling paint, and other surface deterioration per WMC 17.44.160.
29. The north and west building elevations face the street and must meet the façade standards in WMC 17.46.160 (C). Revise the building elevations to comply with WMC 17.46.160 (C). Resubmit building elevations with the final civil engineering and revise prior to submitting building permits.
30. The applicant will be responsible for ensuring that their operation is complying with all performance standards of WMC 17.48 (hazards and nuisances including sound level, vibration, air emissions, smoke, dust, odors, industrial wastes, fire hazards, heat, glare, radioactivity and radio transmitters).
31. Submit for a permit for all permanent signs per WMC 17.52.080 and temporary signs per WMC 17.52.090. Applications must meet the permit requirements of WMC 17.52.140 and follow the process outlined in WMC 17.52.150.

32. Update the site plan to meet CCFR comments including “No Parking Fire Lane” signage and required number of hydrants. Comply with all other CCFR permitting requirements and inspection corrections.
33. Follow all Department of Ecology comments regarding solid waste management and water quality.
  - Solid Waste: Use only clean fill or obtain a solid waste permit. Dispose of all debris at an approved site.
  - Water Quality: Install erosion control measures prior to clearing, grading, construction. Do not discharge into waters of the state. Obtain a Construction Stormwater General Permit if required. Report any soil/groundwater contaminants found.
34. Follow all SWCAA comments regarding controlling asbestos, construction dust, and air pollution.
  - An asbestos inspection conducted by an AHERA-certified inspector is required before remodeling or demolishing the existing buildings.
  - Applicant must implement measures to control construction dust.
  - Applicant must register any new air contaminant sources. For example, welding activities may require permits.
35. Per WMC 19.10.070, the applicant is required to submit for final civil plan approval and submit a final site plan application.
36. Revise the BLA map showing dashed lines for old property lines and solid lines for new proposed property lines.
37. Revise the BLA map with the following required items:
  - a. Signature block. Contact Public Works for a template: 360-225-7999.
  - b. Legal descriptions
  - c. Any easements or covenants
38. The applicant is responsible for printing the map, obtaining signatures, filing with the Count, and providing a copy to the City. Follow the recording protocol in WMC 16.34.060.
  - a. Collect the required signatures on two 24" x 36" maps. Contact the City to arrange for signature. Additionally, provide an electronic copy.
  - b. After the City has signed the copies, record the map and any related documents with the County Auditor.
  - c. Submit one paper copy and an electronic copy of the recorded documents and map to the Community Development Department.
  - d. Record the BLA within three years from the date of this decision.

## **VI. APPEAL PROCEDURE**

As per WMC 19.08.020 and 19.08.030, this Notice of Decision may be appealed to the Hearing Examiner within 14 days of the date this decision is issued. The appeal with grounds for appeal in writing shall be submitted to the Community Development Department **by 5:00 p.m., March 25, 2021.**

Any person may appeal this threshold determination in accordance with WMC 19.06.050 and then by filing such appeal in writing with the Clerk-Treasurer for the City of Woodland, WA, for service to the SEPA responsible official within 14 calendar days of the SEPA determination being final. Per WMC 19.08.030, appeals of SEPA Threshold Determinations shall be reviewed by the Hearing Examiner at an open record predetermination hearing. Appeals must be submitted no later than **by 5:00 p.m., March 25, 2021.**

**Staff Contact:** Melissa Johnston, Associate Planner  
City of Woodland  
P.O. Box 9  
230 Davidson Ave  
Woodland, WA 98661  
[johnstonm@ci.woodland.wa.us](mailto:johnstonm@ci.woodland.wa.us)

## VII. NEXT STEPS

If there is no appeal to the decision, the applicant may move forward to develop the site.

- Submit final civil plans addressing the conditions above. Include Woodland standard details for water, sewer, erosion control, etc. as required to support the civil design when you submit drawings for final civil approval.
  - a. The details can be found at [www.ci.woodland.wa.us/departments/public-works/standards.php](http://www.ci.woodland.wa.us/departments/public-works/standards.php).
  - b. Submit final civil plans to: [johnstonm@ci.woodland.wa.us](mailto:johnstonm@ci.woodland.wa.us)
- Once civil plans are approved:
  - a. Upload approved plans to Clark County Fire and Rescue for electronic signature: [www.clarkfr.org](http://www.clarkfr.org). Print the plans once signed.
  - b. Contact Public Works to arrange for signature: 360-225-7999. Then, bring plans signed by Clark County Fire and Rescue to Public Works for signature.
  - c. Provide a .pdf to Public Works of signed plan set.
- Submit building, grading, and sign permits online: [www.ci.woodland.wa.us/documents/](http://www.ci.woodland.wa.us/documents/)
  - a. Contact Janice Fisher, Permit Technician, for assistance: 360-225-7299.
  - b. Pay any outstanding professional consulting services per Woodland Municipal Code, Ordinance 1097.
- Schedule a pre-construction meeting before beginning any construction activities. Contact Public Works at 360-225-7999 to schedule.
- Install all required landscaping and irrigation prior to applying for final occupancy.
- Submit one full-sized and one copy of reduced size (11" x 17") as-built drawings. In addition, submit a CD/thumb drive containing the as-built drawings in AutoCAD and pdf formats prior to applying for final occupancy.

**Date:** 3/11/2021

**Signature:** \_\_\_\_\_



*Melissa Johnston, Associate Planner*

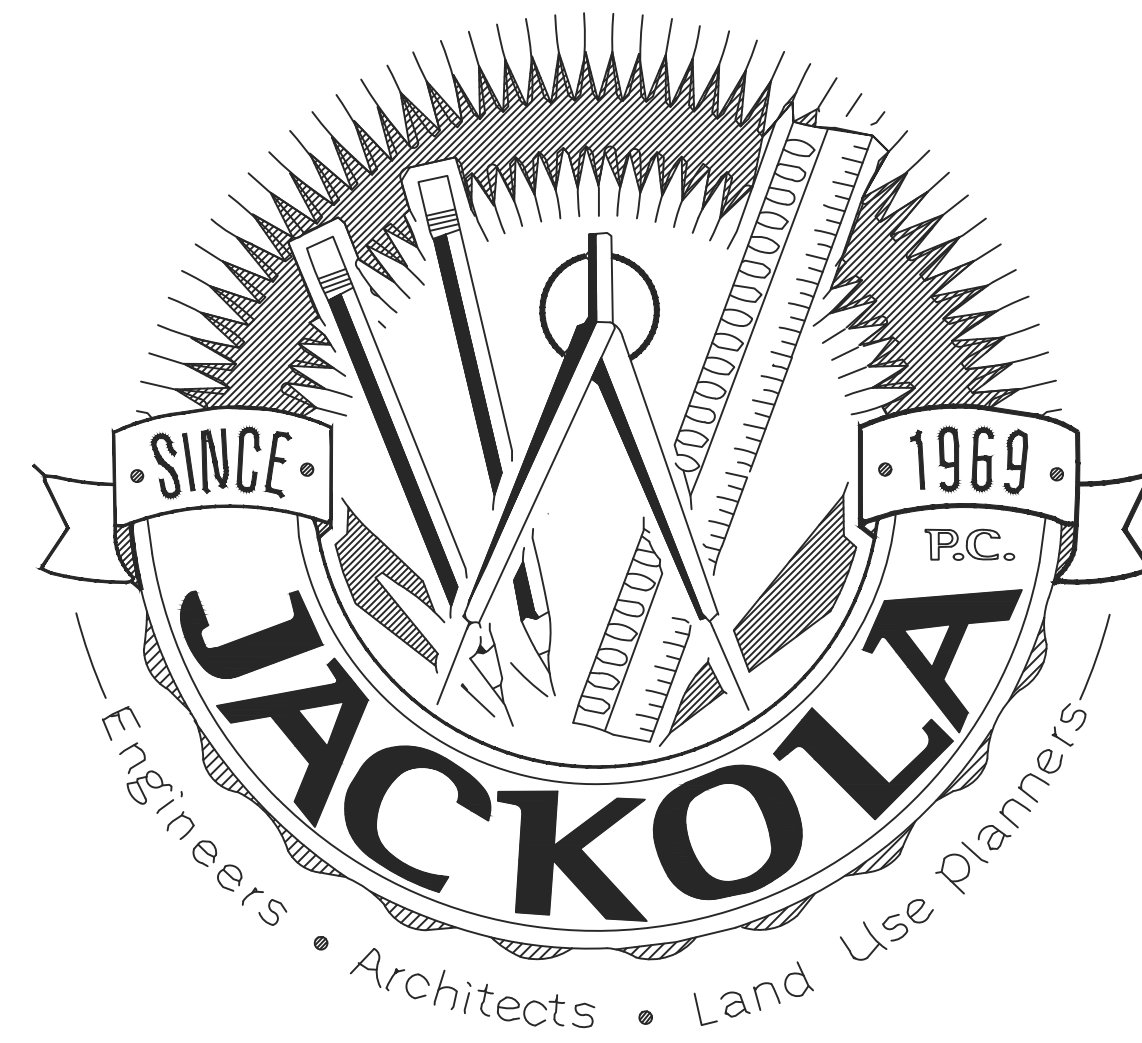
cc: Applicant  
Parties of Record  
File  
Website  
Mayor  
City Administrator

**ATTACHMENTS**

- A. Site Plan
- B. Building Elevations

**Attachment A**  
Site Plan





# ATLAS PLUMBING SHOP

## PRELIMINARY SITE PLAN REVIEW (TYPE II)

PORTION OF THE SOLOMON STRONG D.L.C. IN THE SW 1/4 OF SECTION 13, TOWNSHIP 5 NORTH, RANGE I WEST, W.M. COWLITZ COUNTY, WA  
 PARCEL NO. 50739, 50740, AND 50741  
 3.69 ACRES (159,865.2 SF)



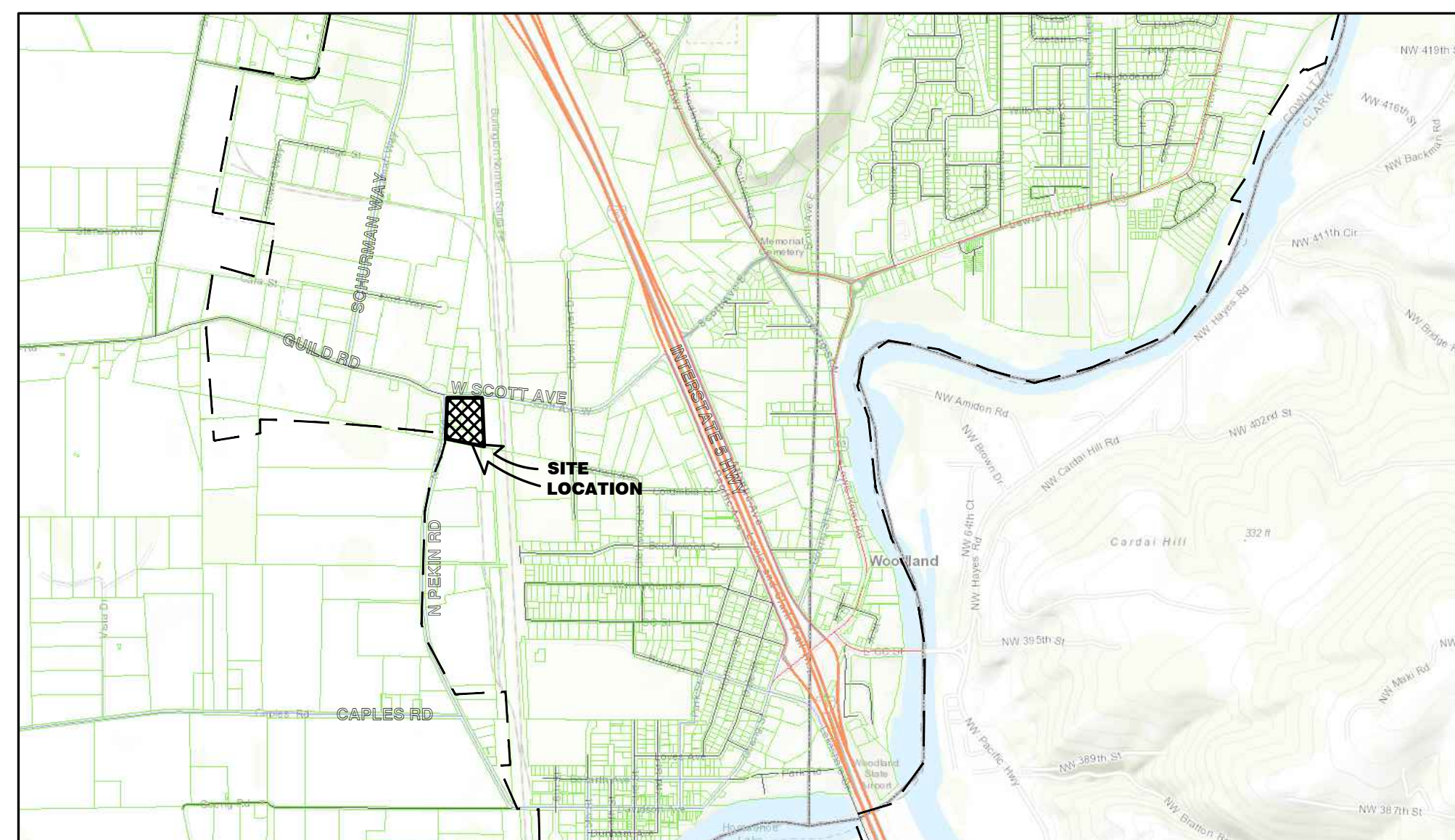
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### ABBREVIATIONS

<b>A</b>	AGENCY HAVING JURISDICTION	<b>M</b>	MAXIMUM
<b>AHJ</b>		<b>MIN</b>	MINIMUM
<b>B</b>	BUILDING	<b>MPWSS</b>	MT PUBLIC WORKS STANDARD SPECIFICATIONS
<b>BVCE</b>	BEGIN VERTICAL CURVE ELEVATION	<b>N</b>	NORTH
<b>BVCS</b>	BEGIN VERTICAL CURVE STATION	<b>NT</b>	NOT IN CONTRACT
<b>C</b>	CABLE TV	<b>NTS</b>	NOT TO SCALE
<b>CATV</b>		<b>O</b>	OPPOSITE
<b>COS</b>	CERTIFICATE OF SURVEY	<b>OPP</b>	OVERHEAD POWER
<b>CI</b>	CONSTRUCTION JOINT	<b>P</b>	POINT OF VERTICAL INTERSECTION
<b>D</b>	DETAIL	<b>PVI</b>	PROPERTY
<b>DTL</b>	DIAMETER	<b>PROP</b>	
<b>DIA</b>	DIMENSION	<b>R</b>	REFERENCE
<b>DIM</b>	DIVISION	<b>REQ'D</b>	REQUIRED
<b>DWG</b>	DRAWING	<b>REV</b>	REVISION
<b>E</b>	EAST	<b>ROW</b>	RIGHT-OF-WAY
<b>EA</b>	EDGE OF ASPHALT	<b>S</b>	SCHEDULE
<b>ELEC</b>	ELECTRIC	<b>SCH</b>	SIMILAR
<b>ELEV</b>	ELEVATION	<b>SIM</b>	SOUTH
<b>EQ</b>	EQUAL	<b>SPEC</b>	SPECIFICATION
<b>EQUIP</b>	EQUIPMENT	<b>STD</b>	STANDARD
<b>EVCE</b>	END VERTICAL CURVE ELEVATION	<b>T</b>	TYPICAL
<b>EVCS</b>	END VERTICAL CURVE STATION	<b>TYP</b>	TOP BACK OF CURB
<b>EXIST</b>	EXISTING	<b>TBC</b>	UNDERGROUND POWER
<b>F</b>	FIBER OPTIC	<b>UT</b>	UNDERGROUND TELEPHONE
<b>FO</b>		<b>UNO</b>	UNLESS NOTED OTHERWISE
<b>G</b>	GAS	<b>V</b>	VERTICAL
<b>GI</b>		<b>VERT</b>	
<b>H</b>	HEIGHT	<b>W</b>	WEST
<b>HORIZ</b>	HORIZONTAL	<b>w/</b>	WITH
<b>HR</b>	HOUR		
<b>I</b>	INTERNATIONAL BUILDING CODE		
<b>IIBC</b>			

### VICINITY MAP



### INDEX OF DRAWINGS

SHEET #	SHEET TITLE	RELEASE DATE	LATEST REVISION
T0.00	TITLE SHEET	TBD	
C0.10	EXISTING SITE PLAN	TBD	
C0.20	SITE DEMO PLAN	TBD	
<del>C0.30</del>	<del>EROSION CONTROL PLAN</del>	TBD	
C0.40	NEW BOUNDARY LINE LAYOUT	TBD	
C1.10	SITE PLAN	TBD	
C1.20	SITE UTILITY PLAN	TBD	
<del>C1.21</del>	<del>STORMWATER PLAN</del>	TBD	
C1.30	SITE GRADING PLAN	TBD	
C1.40	SITE LANDSCAPING PLAN	TBD	
C1.41	SITE LANDSCAPING DETAIL	TBD	
C1.42	LANDSCAPING NOTES AND DETAILS	TBD	
<del>C2.00</del>	<del>GENERAL NOTES AND DETAILS</del>	TBD	
<del>C2.10</del>	<del>DRY UTILITY NOTES AND DETAILS</del>	TBD	
<del>C2.20</del>	<del>WATER NOTES AND DETAILS</del>	TBD	
<del>C2.30</del>	<del>SEWER NOTES AND DETAILS</del>	TBD	
<del>C2.40</del>	<del>STORM NOTES AND DETAILS</del>	TBD	
<del>C2.50</del>	<del>EROSION CONTROL NOTES AND DETAILS</del>	TBD	
E0.11	ELECTRICAL PHOTOMETRIC PLAN	TBD	

### LEGEND

<ul style="list-style-type: none"> <li>■ PROPERTY FOUND AS NOTED</li> <li>◆ ANGLE POINT AND/OR INTERSECTING POINT (NOT SET)</li> <li>▲ TRAFFIC SIGN</li> <li>□ LIGHT POLE</li> <li>○ UTILITY POLE</li> <li>⊕ POWER POLE</li> <li>⊞ TRANSFORMER</li> <li>⊞ ELECTRIC METER</li> <li>⊞ CABLE PEDESTAL</li> <li>⊞ TELEPHONE PEDESTAL</li> <li>○ GAS METER</li> <li>○ BOLLARD</li> <li>⊞ WATER METER PIT</li> <li>⊞ WATER GATE VALVE</li> <li>⊞ WATER CURB STOP</li> <li>⊞ CAP</li> <li>⊞ FIRE HYDRANT</li> <li>⊞ YARD HYDRANT</li> <li>⊞ WATER TEE</li> <li>⊞ SANITARY SEWER CLEAN-OUT</li> <li>⊞ SANITARY SEWER MANHOLE</li> <li>⊞ STORM DRYWELL</li> <li>⊞ STORM MANHOLE</li> <li>⊞ STORM CATCH BASIN</li> <li>⊞ STORM CURB INLET</li> <li>3005.00(1) ■ EXISTING SPOT GRADE</li> <li>3008.00 ■ PROPOSED SPOT GRADE</li> <li>(3007.50) ■ PROPOSED TOP BACK OF CURB GRADE</li> </ul>	<ul style="list-style-type: none"> <li>— EXISTING FENCE (AS NOTED)</li> <li>— G — EXISTING GAS</li> <li>— (OHP) — EXISTING OVERHEAD POWER AND/OR TELEPHONE</li> <li>— (UP) — EXISTING UNDERGROUND POWER</li> <li>— (UT) — EXISTING UNDERGROUND PHONE OR CABLE</li> <li>— EXISTING WATER LINE</li> <li>— (SS) — EXISTING SANITARY SEWER MAIN</li> <li>— (SD) — EXISTING STORM DRAIN</li> <li>— 92 — EXISTING CONTOUR</li> <li>— — PROPERTY LINE</li> </ul>
<ul style="list-style-type: none"> <li>— PROPOSED FENCE</li> <li>— G — PROPOSED GAS LINE</li> <li>— (OHP) — PROPOSED OVERHEAD POWER</li> <li>— (UP) — PROPOSED UNDERGROUND POWER</li> <li>— (UT) — PROPOSED UNDERGROUND TELEPHONE/CABLE</li> <li>— W — PROPOSED WATER MAIN</li> <li>— (SS) — PROPOSED SANITARY SEWER MAIN</li> <li>— (SD) — PROPOSED STORM DRAIN</li> <li>— (92) — PROPOSED CONTOUR</li> </ul>	

### GENERAL INFORMATION

**APPLICANT:**  
 428 PEKIN, LLC  
 428 PEKIN ROAD, WOODLAND, WA 98674  
 SARAH@ATLASPLUMBINGCONTRACTORS.COM  
 360-887-8054

**OWNER:**  
 428 PEKIN, LLC  
 428 PEKIN ROAD, WOODLAND, WA 98674  
 SARAH@ATLASPLUMBINGCONTRACTORS.COM  
 360-887-8054

**CONTACT:**  
 SAM DUGUAY  
 JACKOLA ENGINEERING AND ARCHITECTURE  
 707 JEFFERSON STREET, VANCOUVER, WA 98660  
 SDUGUAY@JACKOLA.COM  
 360-852-8746

**ATLAS PLUMBING SHOP**  
 428 NORTH PEKIN ROAD  
 WOODLAND, WA 98674

DRAWN: EMS CHECKED: SLD

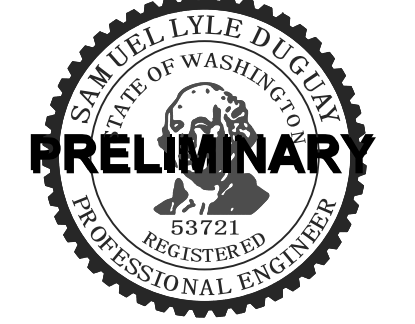
DATE: 01/07/2021

REVISIONS:

TITLE SHEET

T0.00

GENERAL NOTES:  
1. SURVEY PERFORMED BY OTHERS.



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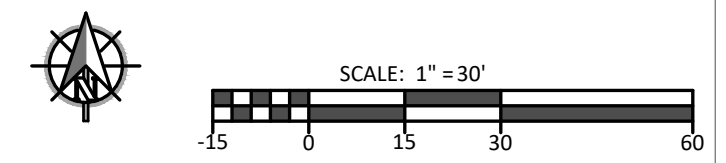
REVISIONS:

**EXISTING SITE LAYOUT**

**C0.10**

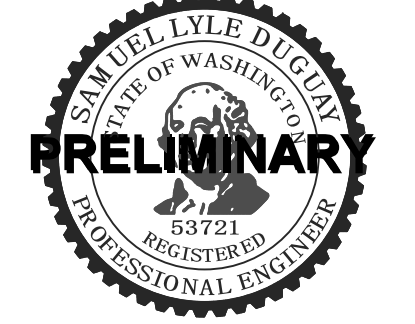


**1** EXISTING SITE LAYOUT  
1" = 30'



PROJECT #: 200810  
F:\client\2020\atlas plumbing\200810 preliminary\atlas\_plumbing\_C0.10.dwg

**KEYNOTES:**  
 1. KEYNOTE ABOUT SITE ITEMS.  
**GENERAL NOTES:**  
 1. GENERAL NOTE ABOUT THE SITE.



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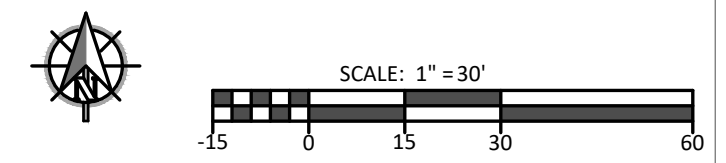
REVISIONS:

**SITE DEMO PLAN**

**C0.20**



**1 SITE DEMO PLAN**  
 1" = 30'



PROJECT #: 200810  
 F:\clients\2020\atlas plumbing\200810 preliminary\atlas\_plumbing\_C0.20.dwg

GENERAL NOTES:  
 1. 3-FOOT DEDICATION OF PROPERTY TO MEET 33-FOOT HALF-WIDTH ROW.



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 WOODLAND, WA 98674

DRAWN: EMS CHECKED: SLD

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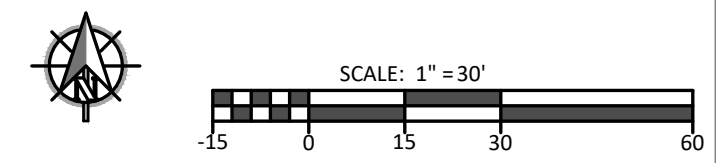
REVISIONS:

**NEW BOUNDARY LINE LAYOUT**

**C0.40**



1 NEW BOUNDARY LINE LAYOUT  
 1" = 30'



PROJECT #: 200810  
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- KEYNOTES:**
1. CUT AND CAP EXISTING WATER MAIN.
  2. NEW 12" WATER MAIN.
  3. INSTALL FIRE HYDRANT.
  4. 12" TO 2" WATER REDUCER.
  5. 2" BLOW-OFF HYDRANT IN CITY ROW.
  6. 2" DOMESTIC WATER TAP, SERVICE AND METER PER DTL.X/C2.XX.
  7. 6" FIRE SUPPRESSION SERVICE.
  8. IRRIGATION SLEEVE. DESIGN BY OTHERS.
  9. NEW 8" SANITARY SEWER MAIN.
  10. MANHOLE PER DTL. X/C2.XX.
  11. 4" SANITARY SEWER SERVICE PER DTL. X/C2.XX.
  12. 4" SANITARY CLEANOUT PER DTL. X/C2.XX.
  13. 12" STORM PIPE PER DTL. X/C2.XX.
  14. 12" PERFORATED STORM PIPE WITH WASHED ROCK AND DRAIN FABRIC PER DTL. X/C2.XX.
  15. 6" ROOF DRAIN.
  16. CATCH BASIN PER DTL. X/C2.XX.
  17. FLOW SPLITTER PER DTL. X/C2.XX.
  18. PRETREATMENT PER DTL. X/C2.XX.
  19. TREATMENT PER DTL. X/C2.XX.
  20. UNDERGROUND INFILTRATION PER DTL. X/C2.XX.
  21. INSTALL UNDERGROUND POWER. COORDINATE WITH UTILITY COMPANY.
  22. RELOCATED TRANSFORMER PER UTILITY COMPANY. SEE ELECTRICAL DESIGN FOR MORE DETAIL.
  23. NEW 1.5" GAS SERVICE. COORDINATE WITH UTILITY COMPANY.
  24. NEW GAS METER, COORDINATE WITH UTILITY COMPANY.
- GENERAL NOTES:**
- 1.



**NOT FOR CONSTRUCTION**

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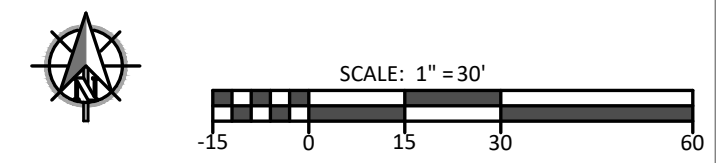
DATE: 01/07/2021

REVISIONS:

**SITE UTILITY PLAN**

**C1.20**

**1 SITE UTILITY PLAN**  
 1" = 30'



PROJECT #: 200810 F:\clients\2020\atlas plumbing\200810 preliminary\atlas\_plumbing\_C1.20.dwg

LEGEND:  
 502.79(e) EXISTING SPOT GRADE  
 500.13 DESIGN SPOT GRADE  
 500.13 DESIGN TBC GRADE



**NOT FOR CONSTRUCTION**

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**ATLAS PLUMBING SHOP**

428 NORTH PEKIN ROAD  
 WOODLAND, WA 98674

DRAWN: EMS CHECKED: SLD

DATE: 01/07/2021

REVISIONS:

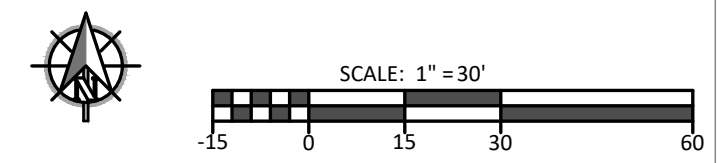
**SITE GRADING PLAN**

**C1.30**



PROJECT #: 200810  
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**1 SITE GRADING PLAN**  
 1" = 30'





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**ATLAS PLUMBING SHOP**

428 NORTH PEKIN ROAD  
 WOODLAND, WA 98674

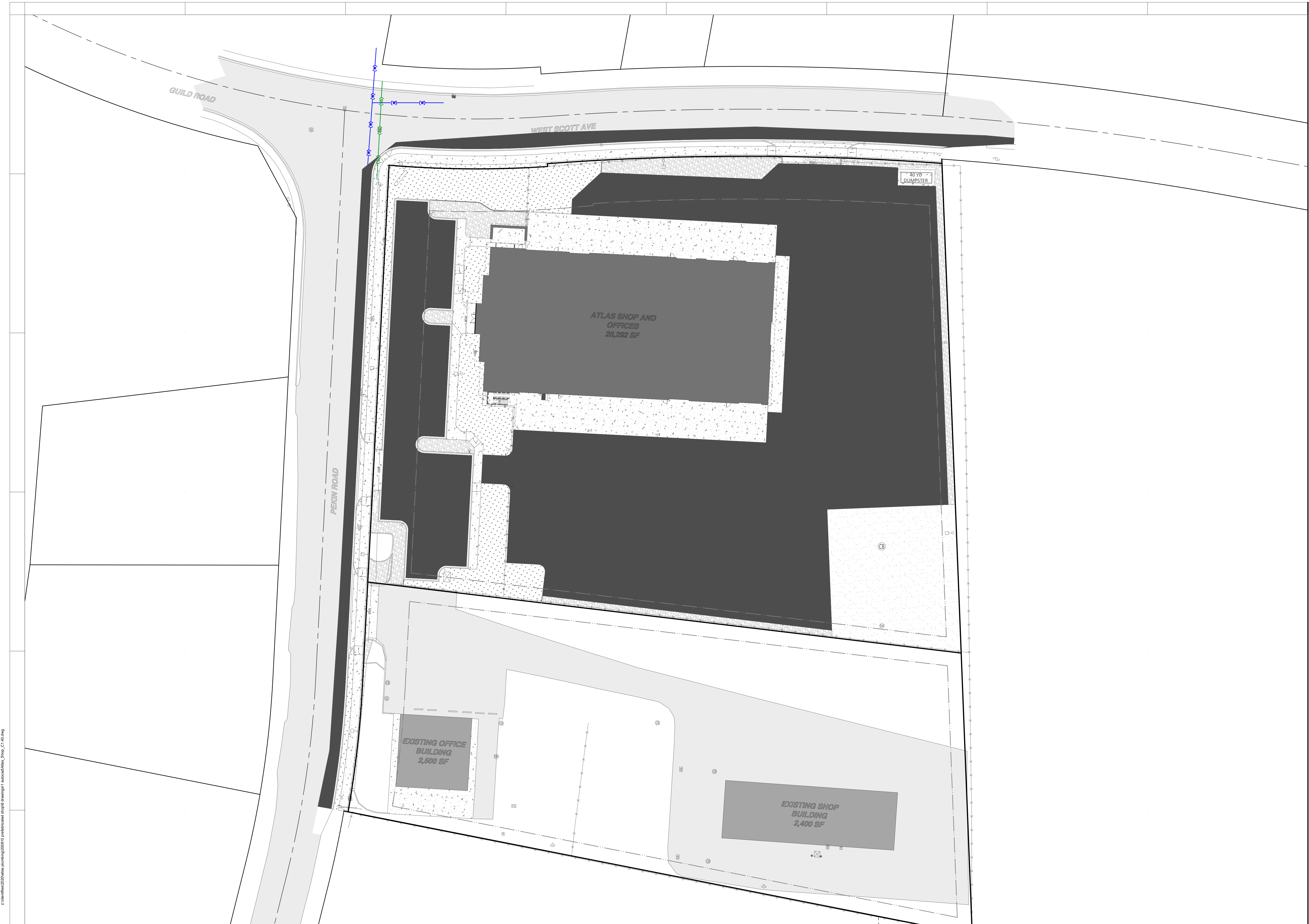
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DATE: 01/07/2021

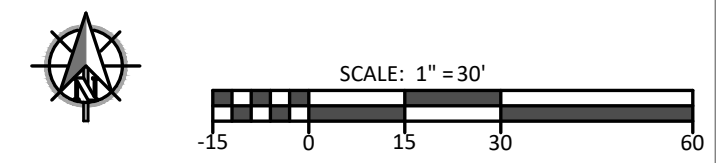
REVISIONS:

**SITE  
 LANDSCAPING  
 PLAN**

**C1.40**



**1 SITE LANDSCAPING PLAN**  
1" = 30'



PROJECT #: 200810  
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**ATLAS PLUMBING SHOP**

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WOODLAND, WA 98674

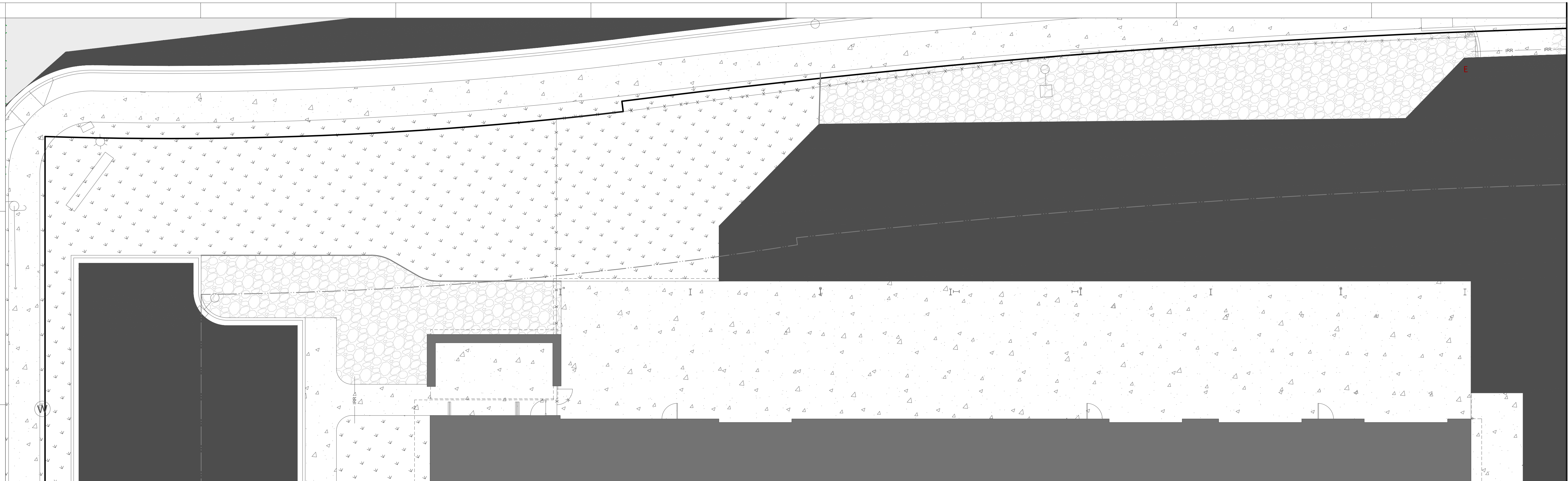
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DATE: 01/07/2021

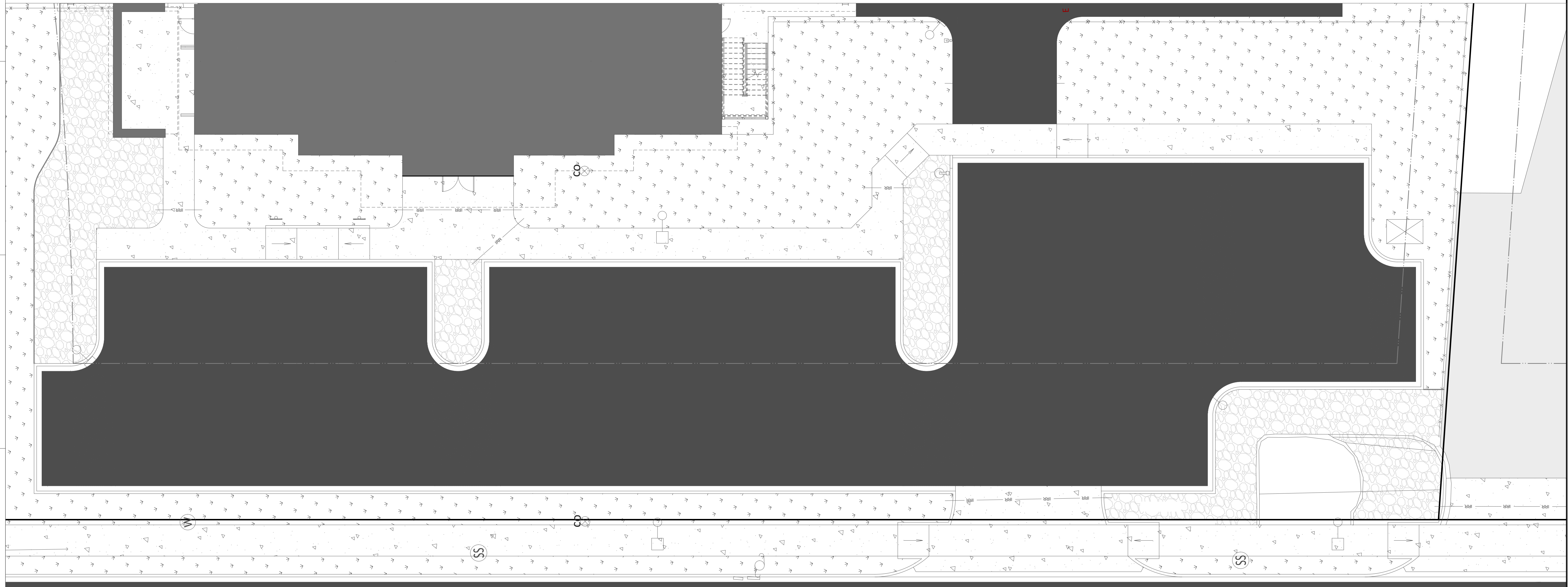
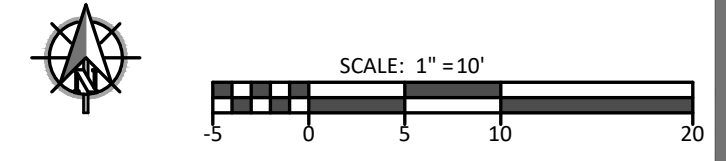
REVISIONS:

**SITE  
LANDSCAPING  
DETAIL**

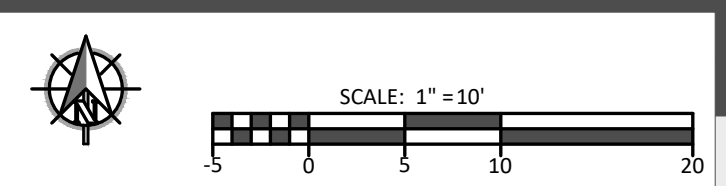
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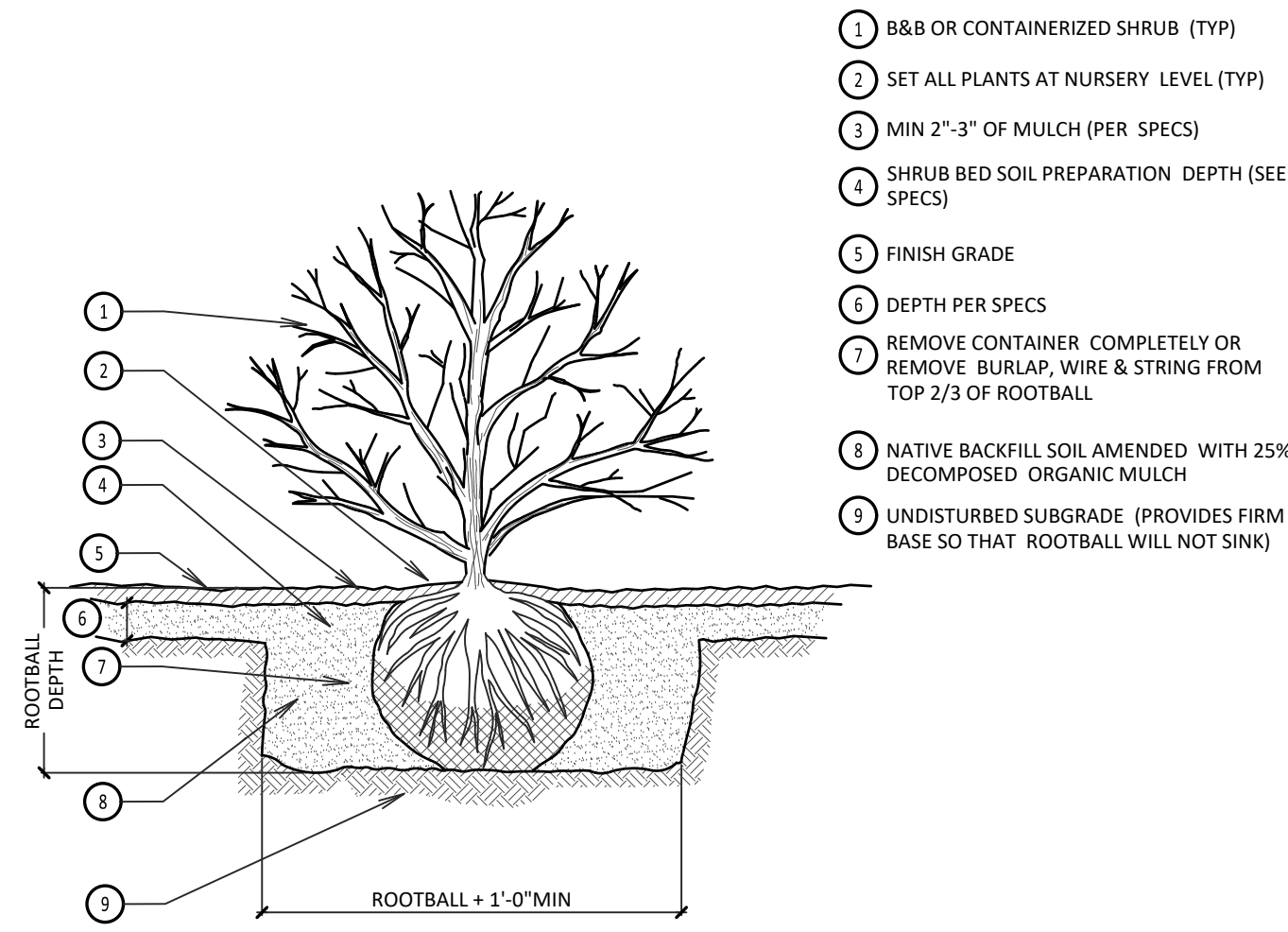
**1 NORTH LANDSCAPING DETAIL**  
1" = 10'



**2 WEST LANDSCAPING DETAIL**  
1" = 10'

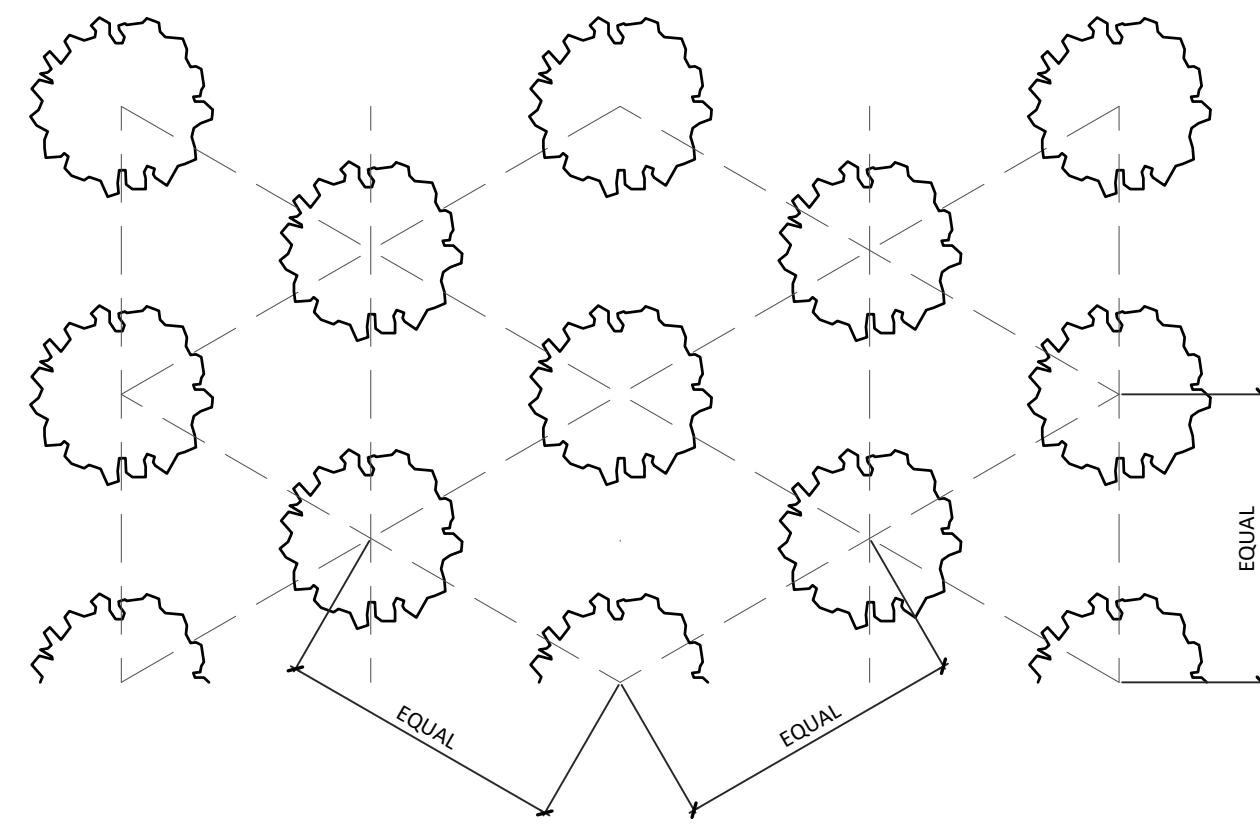


PROJECT #: 200810  
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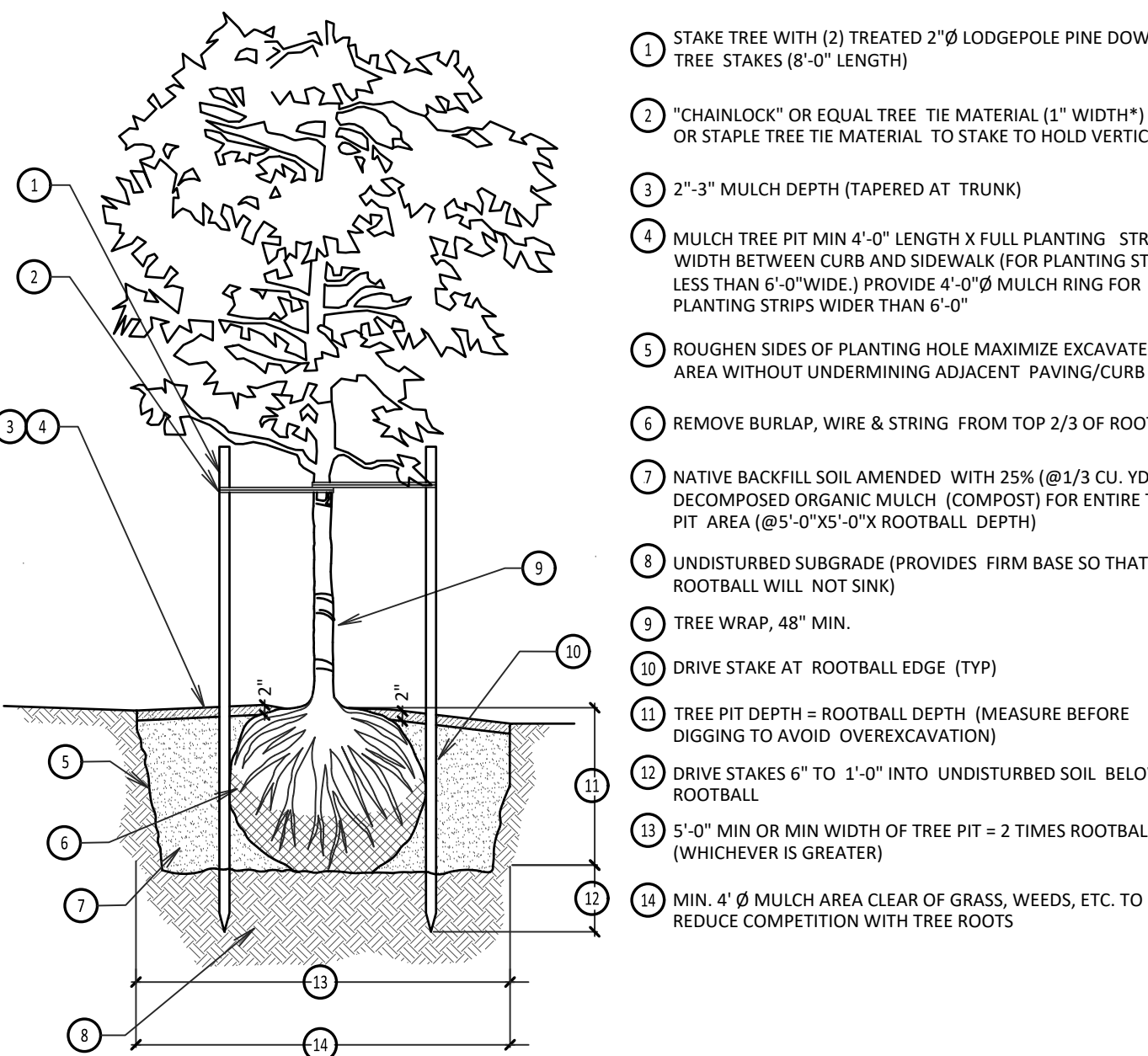


- 1 B&B OR CONTAINERIZED SHRUB (TYP)
- 2 SET ALL PLANTS AT NURSERY LEVEL (TYP)
- 3 MIN 2"-3" OF MULCH (PER SPECS)
- 4 SHRUB BED SOIL PREPARATION DEPTH (SEE SPECS)
- 5 FINISH GRADE
- 6 DEPTH PER SPECS
- 7 REMOVE CONTAINER COMPLETELY OR REMOVE BURLAP, WIRE & STRING FROM TOP 2/3 OF ROOTBALL
- 8 NATIVE BACKFILL SOIL AMENDED WITH 25% DECOMPOSED ORGANIC MULCH
- 9 UNDISTURBED SUBGRADE (PROVIDES FIRM BASE SO THAT ROOTBALL WILL NOT SINK)

**1 SHRUB PLANTING DETAIL**  
1/4" = 1'-0"

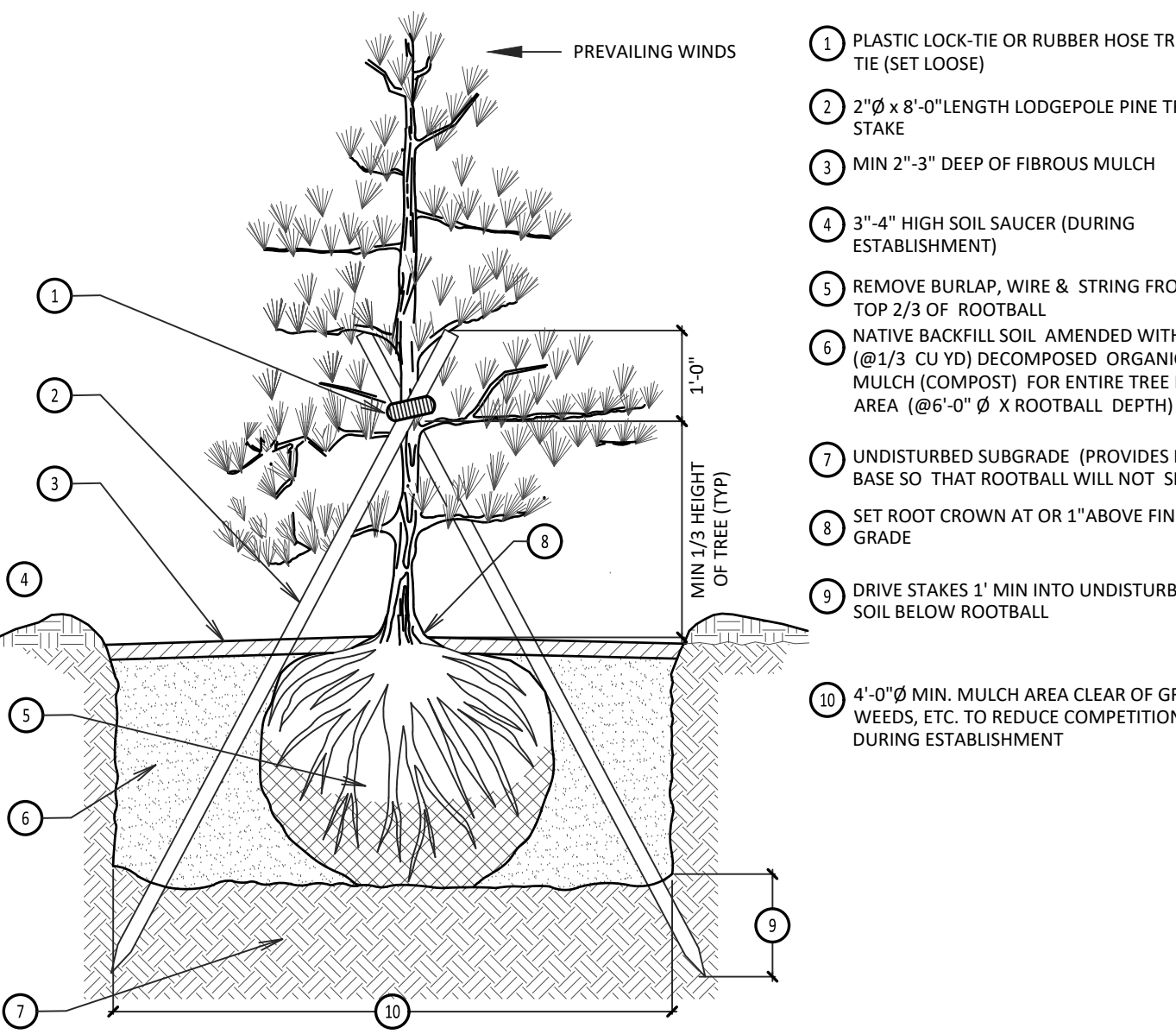


**4 GROUNDCOVER PLANTING DETAIL**  
1/4" = 1'-0"



- 1 STAKE TREE WITH (2) TREATED 2"Ø LODGEPOLE PINE DOWELED TREE STAKES (8'-0" LENGTH)
- 2 "CHAINLOCK" OR EQUAL TREE TIE MATERIAL (1" WIDTH\*) NAIL OR STAPLE TREE TIE MATERIAL TO STAKE TO HOLD VERTICALLY
- 3 2"-3" MULCH DEPTH (TAPERED AT TRUNK)
- 4 MULCH TREE PIT MIN 4'-0" LENGTH X FULL PLANTING STRIP WIDTH BETWEEN CURB AND SIDEWALK (FOR PLANTING STRIPS LESS THAN 6'-0" WIDE.) PROVIDE 4'-0"Ø MULCH RING FOR PLANTING STRIPS WIDER THAN 6'-0"
- 5 ROUGHEN SIDES OF PLANTING HOLE MAXIMIZE EXCAVATED AREA WITHOUT UNDERMINING ADJACENT PAVING/CURB
- 6 REMOVE BURLAP, WIRE & STRING FROM TOP 2/3 OF ROOTBALL
- 7 NATIVE BACKFILL SOIL AMENDED WITH 25% (@1/3 CU YD.) DECOMPOSED ORGANIC MULCH (COMPOST) FOR ENTIRE TREE PIT AREA (@6'-0"Ø X ROOTBALL DEPTH)
- 8 UNDISTURBED SUBGRADE (PROVIDES FIRM BASE SO THAT ROOTBALL WILL NOT SINK)
- 9 TREE WRAP, 48" MIN.
- 10 DRIVE STAKE AT ROOTBALL EDGE (TYP)
- 11 TREE PIT DEPTH = ROOTBALL DEPTH (MEASURE BEFORE DIGGING TO AVOID OVEREXCAVATION)
- 12 DRIVE STAKES 6" TO 1'-0" INTO UNDISTURBED SOIL BELOW ROOTBALL
- 13 5'-0" MIN OR MIN WIDTH OF TREE PIT = 2 TIMES ROOTBALL (WHICHEVER IS GREATER)
- 14 MIN. 4" Ø MULCH AREA CLEAR OF GRASS, WEEDS, ETC. TO REDUCE COMPETITION WITH TREE ROOTS

**2 DECIDUOUS TREE PLANTING DETAIL**  
1/4" = 1'-0"



- 1 PLASTIC LOCK TIE OR RUBBER HOSE TREE TIE (SET LOOSE)
- 2 2"Ø x 8'-0" LENGTH LODGEPOLE PINE TREE STAKE
- 3 MIN 2"-3" DEEP OF FIBROUS MULCH
- 4 3"-4" HIGH SOIL SAUCER (DURING ESTABLISHMENT)
- 5 REMOVE BURLAP, WIRE & STRING FROM TOP 2/3 OF ROOTBALL
- 6 NATIVE BACKFILL SOIL AMENDED WITH 25% (@1/3 CU YD.) DECOMPOSED ORGANIC MULCH (COMPOST) FOR ENTIRE TREE PIT AREA (@6'-0"Ø X ROOTBALL DEPTH)
- 7 UNDISTURBED SUBGRADE (PROVIDES FIRM BASE SO THAT ROOTBALL WILL NOT SINK)
- 8 SET ROOT CROWN AT OR 1" ABOVE FINISH GRADE
- 9 DRIVE STAKES 1' MIN INTO UNDISTURBED SOIL BELOW ROOTBALL
- 10 4'-0"Ø MIN. MULCH AREA CLEAR OF GRASS, WEEDS, ETC. TO REDUCE COMPETITION DURING ESTABLISHMENT

**3 CONIFEROUS PLANTING DETAIL**  
1/4" = 1'-0"

**KEYNOTES:**

- 1 SHRUB PLANTING PER DTL.
  - 2 DECIDUOUS TREE PLANTING PER DTL.
  - 3 CONIFEROUS PLANTING PER DTL.
  - 4 INFILL ALTERED LANDSCAPE BED WITH MATCHING MATERIALS.
  - 5 CONCRETE EDGING.
  - 6 TREE AND SHRUB PLANTERS TO CONTAIN 12" MIN. TOPSOIL, WEED BARRIER, AND ROCK OR MULCH PER PLAN. PROVIDE 1" IRRIGATION LINE FROM ZONE VALVE AND DRIP IRRIGATE.
- LANDSCAPE ROCK - MATCH EXISTING  
HYDROSEED  
SOD

**GENERAL NOTES:**

- 1 CONTRACTOR SHALL VERIFY PLANT QUANTITIES. IF THERE IS A DISCREPANCY BETWEEN THE QUANTITIES LISTED IN THE PLAN LEGEND AND THE QUANTITIES SHOWN ON THE PLAN, THE PLAN SHALL PREVAIL.
- 2 STAKE ALL PROPOSED TREE LOCATIONS FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO DIGGING TREE PITS. THE OWNER RESERVES THE RIGHT TO ADJUST LOCATION AND SPACING OF PLANTS.
- 3 PLANT SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SIMILAR IN SIZE, SHAPE, AND FOLIAGE TYPE TO THE PLANT BEING REPLACED AND MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- 4 ALL PLANTS SHALL MEET OR EXCEED INDUSTRY STANDARDS FOR SIZE AND QUALITY. SUBSTANDARD PLANT MATERIAL WILL BE REJECTED BY THE OWNER'S REPRESENTATIVE.
- 5 REPLACE AND RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION OR TO THE OWNER'S SATISFACTION.
- 6 VERIFY BELOW GRADE CONDITIONS AND UTILITY LOCATIONS (EXISTING AND PROPOSED) PRIOR TO DIGGING.
- 7 COORDINATE ALL PLANTING WITH LOCATIONS OF UTILITY POLES, STORMWATER STRUCTURES, CLEANOUTS, ELECTRICAL TRANSFORMERS, WATER METERS, FIRE HYDRANTS, AND ANY OTHER ABOVE OR BELOW GROUND UTILITIES AND STRUCTURES. CONTRACTOR MAY FIELD ADJUST OR ELIMINATE PLANTS THAT CONFLICT WITH UTILITIES WITH THE APPROVAL OF THE OWNER'S REPRESENTATIVE. LOCAL CODE REQUIREMENTS AND BEST INDUSTRY PRACTICES SHALL GOVERN THE DISTANCE BETWEEN PLANTINGS AND VARIOUS UTILITIES.
- 8 ALL PLANTINGS SHALL BE IRRIGATED BY A PERMANENT AUTOMATIC UNDERGROUND SYSTEM TO BE DESIGNED AND INSTALLED BY OTHERS. THE IRRIGATION SYSTEM SHALL INCLUDE; A RAIN SENSOR SHUTOFF DEVICE AND/OR A DRIP IRRIGATION SYSTEM FOR THE NEW LANDSCAPING.
- 9 REMOVE ALL CONSTRUCTION DEBRIS FROM THE SITE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING ANY LANDSCAPE WORK. CONSTRUCTION DEBRIS DISCOVERED BURIED IN PLANTING BEDS SHALL BE REMOVED PRIOR TO COMPLETING LANDSCAPE WORK.
- 10 ALL PLANTING AREAS SHALL BE PROVIDED WITH AT LEAST 12" OF NON-COMPACTED TOPSOIL OR COMPOST AMENDED NATIVE SOIL.
- 11 BLACK COMPOST MATERIAL SHALL BE INCORPORATED INTO THE TOP LAYER OF SOIL IN SEEDED AREAS. ADD ONE SHOVEL FULL OF COMPOST PER GALLON POT SIZE TO THE PLANTING PIT FOR EACH TREE, SHRUB, OR GROUNDCOVER PLANT.
- 12 IDENTIFY ALL PLANTING BEDS AND LAWN EDGES IN THE FIELD FOR REVIEW AND APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO PLANTING AND SEEDING OPERATIONS.
- 13 IF THE CONTRACTOR PROPOSED ANY DEVIATIONS FROM THE PLANTING PLANS, THOSE DEVIATIONS SHALL NOT CAUSE THE PLAN TO FALL BELOW MINIMUM CODE REQUIREMENTS.
- 14 TREES PLANTED CLOSER THAN 5' FROM PAVING SHALL BE INSTALLED WITH 12" DEEPROOT ROOT BARRIERS, OR AN APPROVED EQUAL, ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
- 15 ALL AREAS SUBJECT TO CLEARING AND GRADING THAT HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACE, INCORPORATED INTO A DRAINAGE FACILITY, OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL MAINTAIN SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP TS.13 PER THE 2019 SWMMWW, V-5.



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**ATLAS PLUMBING SHOP**  
428 NORTH PEKIN ROAD  
WOODLAND, WA 98674

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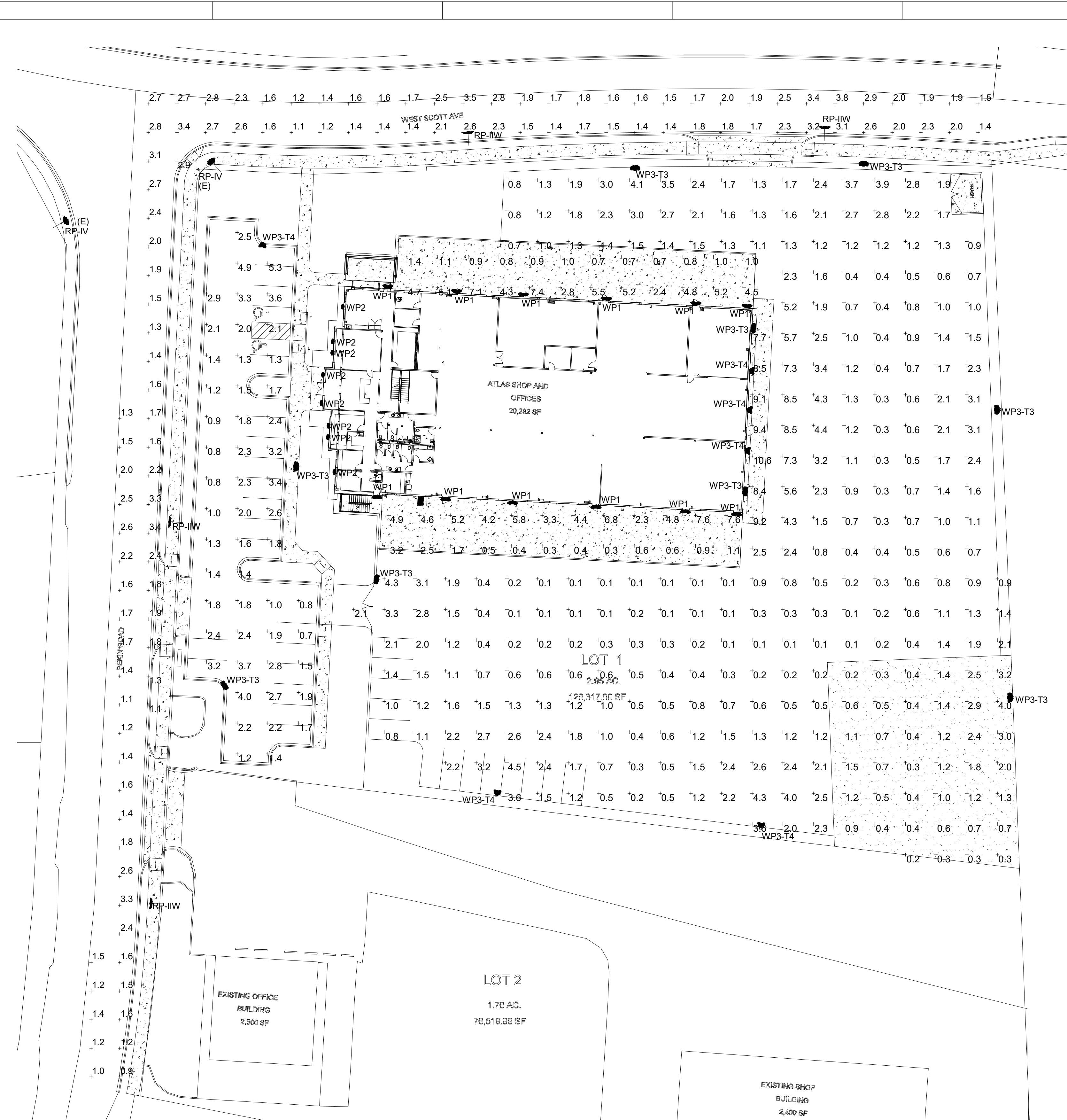
DATE: 01/07/2021

REVISIONS:

**LANDSCAPING NOTES AND DETAILS**

**C1.42**

PHOTOMETRIC STATISTICS					
CALCULATION ZONE	AVERAGE	MAXIMUM	MINIMUM	MAX/MIN	AVERAGE/MIN
ROADWAY	2.0 FC	3.8 FC	0.9 FC	4.2:1	2.3:1
PARKING LOT WEST	2.1 FC	5.3 FC	0.7 FC	7.6:1	3.0:1
PARKING LOT SOUTH/EAST	1.6 FC	10.6 FC	0.1 FC	106.0:1	16.0:1
OVERHANG N	2.9 FC	7.4 FC	0.7 FC	10.6:1	4.1:1
OVERHANG S	3.1 FC	7.6 FC	0.3 FC	25.3:1	10.3:1



**1 PHOTOMETRIC SITE PLAN**  
1" = 30'-0"



**ATLAS PLUMBING WAREHOUSE**  
 428 NORTH PEKIN ROAD  
 WOODLAND, WA 98674

DRAWN: Author CHECKED: Checker  
 DATE: 12/02/2020  
 REVISIONS:

**ELECTRICAL PHOTOMETRIC PLAN**  
**E0.11**

PROJECT #/Project Number: BIM 2020/Rev: 2020/MEP20 Central Atlas Warehouse\_BE\_001.rvt

# **Attachment B**

Building Elevations



**DESIGN DEVELOPMENT**

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**ATLAS PLUMBING SHOP**

428 NORTH PEKIN ROAD  
WOODLAND, WA 98674

DRAWN: MRC CHECKED: DAP

DATE: 12/02/2020

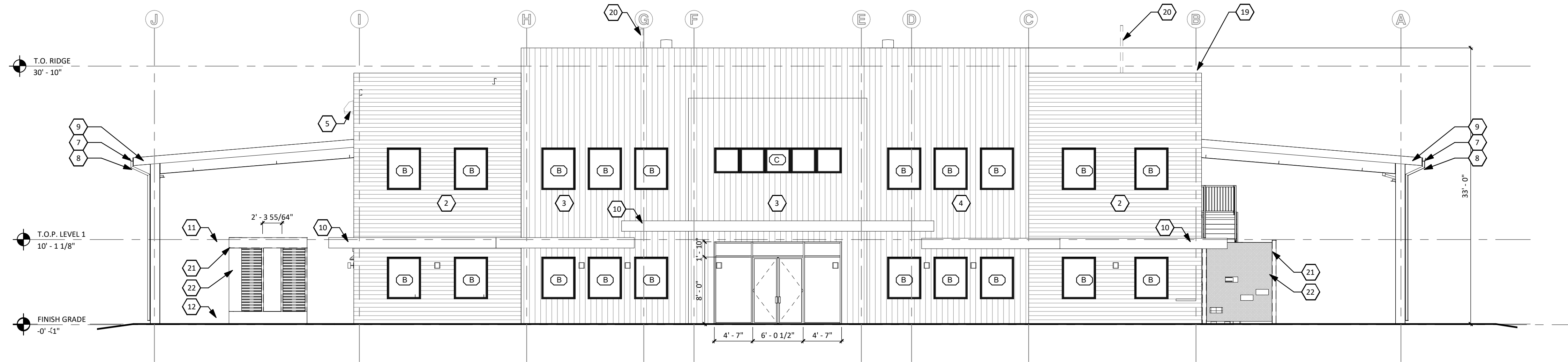
REVISIONS:

**EXTERIOR ELEVATIONS**

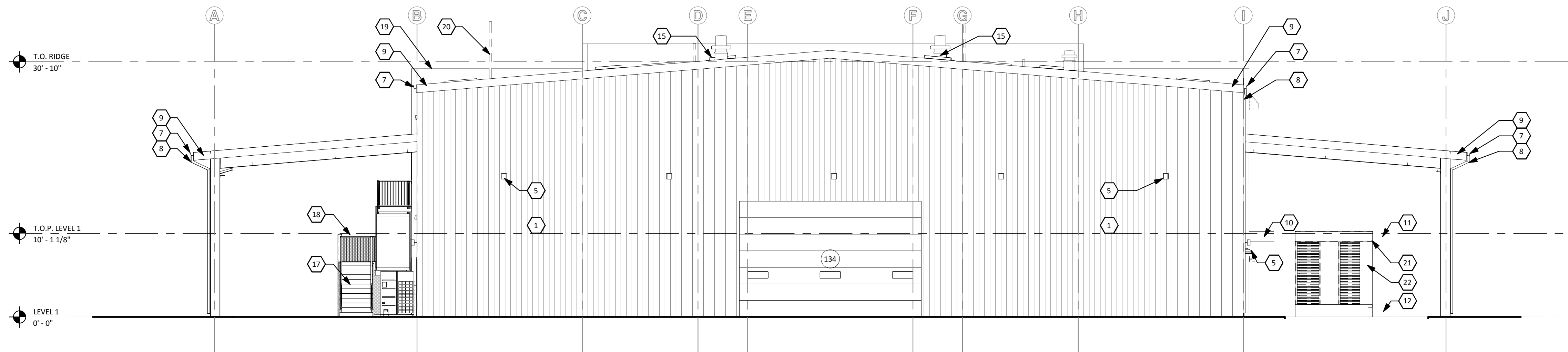
**A4.00**

ELEVATION KEYNOTES	
1	VERTICAL METAL SIDING 1
2	HORIZONTAL METAL SIDING
3	VERTICAL METAL SIDING 2
4	VERTICAL METAL SIDING 3
5	LIGHT FIXTURE, SEE ELECTRICAL
6	STANDING SEAM METAL ROOF
7	GUTTER
8	DOWNSPOUT
9	FASCIA
10	METAL AWNING
11	AWNING TO BE CONSTRUCTED OF TUBE STEEL

ELEVATION KEYNOTES	
12	WELDED METAL PANEL PLANTER
13	18"X18" WALL LOUVER
14	GAIRD RAIL
15	SKYLIGHT BY STRUCTURAL VENDOR
16	24"X24" WALL LOUVER
17	MECHANICAL UNIT, SEE MECHANICAL DWGS
18	EXTERIOR METAL STAIR, W/ CONCRETE TRENDS
19	PARAPET WALL
20	PIPE PENETRATION, SEE MEP DWGS
21	TUBE STEEL COLUMN
22	PERFORATED METAL PANEL



**1 EAST ELEVATION**  
1/8" = 1'-0"



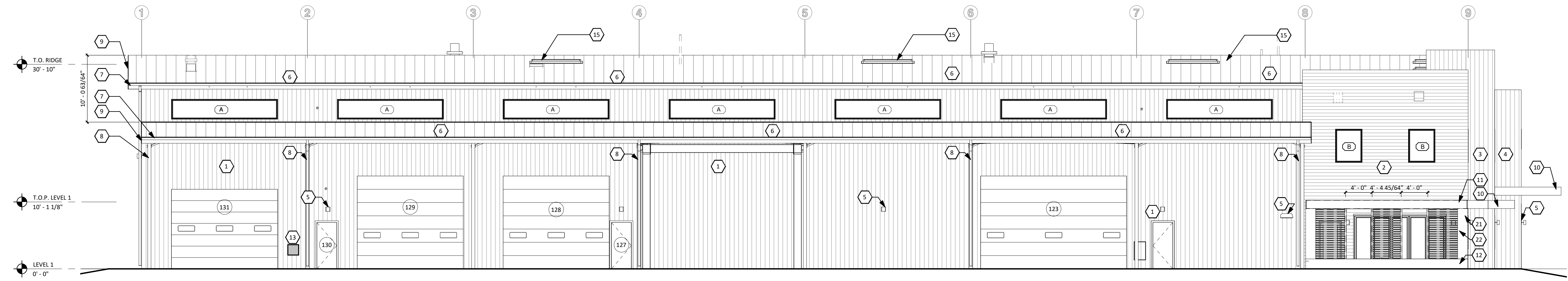
**2 WEST ELEVATION**  
1/8" = 1'-0"



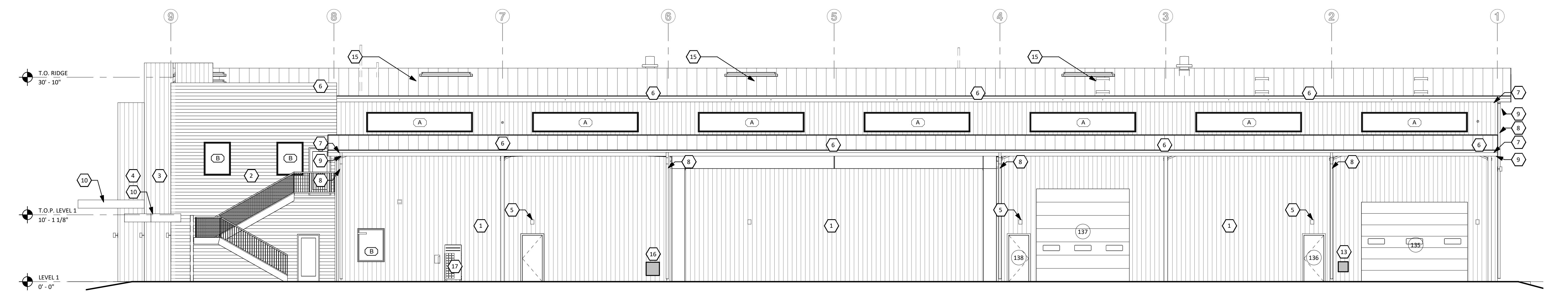
KALISPELL | BODZIMAN | VANCOUVER  
 406-755-5208 | 406-556-0707 | 360-852-8746  
 info@jackola.com jackola.com

ELEVATION KEYNOTES	
1	VERTICAL METAL SIDING 1
2	HORIZONTAL METAL SIDING
3	VERTICAL METAL SIDING 2
4	VERTICAL METAL SIDING 3
5	LIGHT FIXTURE, SEE ELECTRICAL
6	STANDING SEEM METAL ROOF
7	GUTTER
8	DOWNSPOUT
9	FASCIA
10	METAL AWNING
11	AWNING TO BE CONSTRUCTED OF TUBE STEEL

ELEVATION KEYNOTES	
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13	18"x18" WALL LOUVER
14	GAUARD RAIL
15	SKYLIGHT BY STRUCTURAL VENDOR
16	24"x24" WALL LOUVER
17	MECHANICAL UNIT, SEE MECHANICAL DWGS
18	EXTERIOR METAL STAIR, W/ CONCRETE TRENDS
19	PARAPET WALL
20	PIPE PENETRATION, SEE MEP DWGS
21	TUBE STEEL COLUMN
22	PERFORATED METAL PANEL



**1 SOUTH ELEVATION**  
 1/8" = 1'-0"



**2 NORTH ELEVATION**  
 1/8" = 1'-0"

**DESIGN DEVELOPMENT**

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**ATLAS PLUMBING SHOP**

428 NORTH PEKIN ROAD  
 WOODLAND, WA 98674

DRAWN: MRC CHECKED: DAP

DATE: 12/02/2020

REVISIONS:

**EXTERIOR ELEVATIONS**

**A4.10**