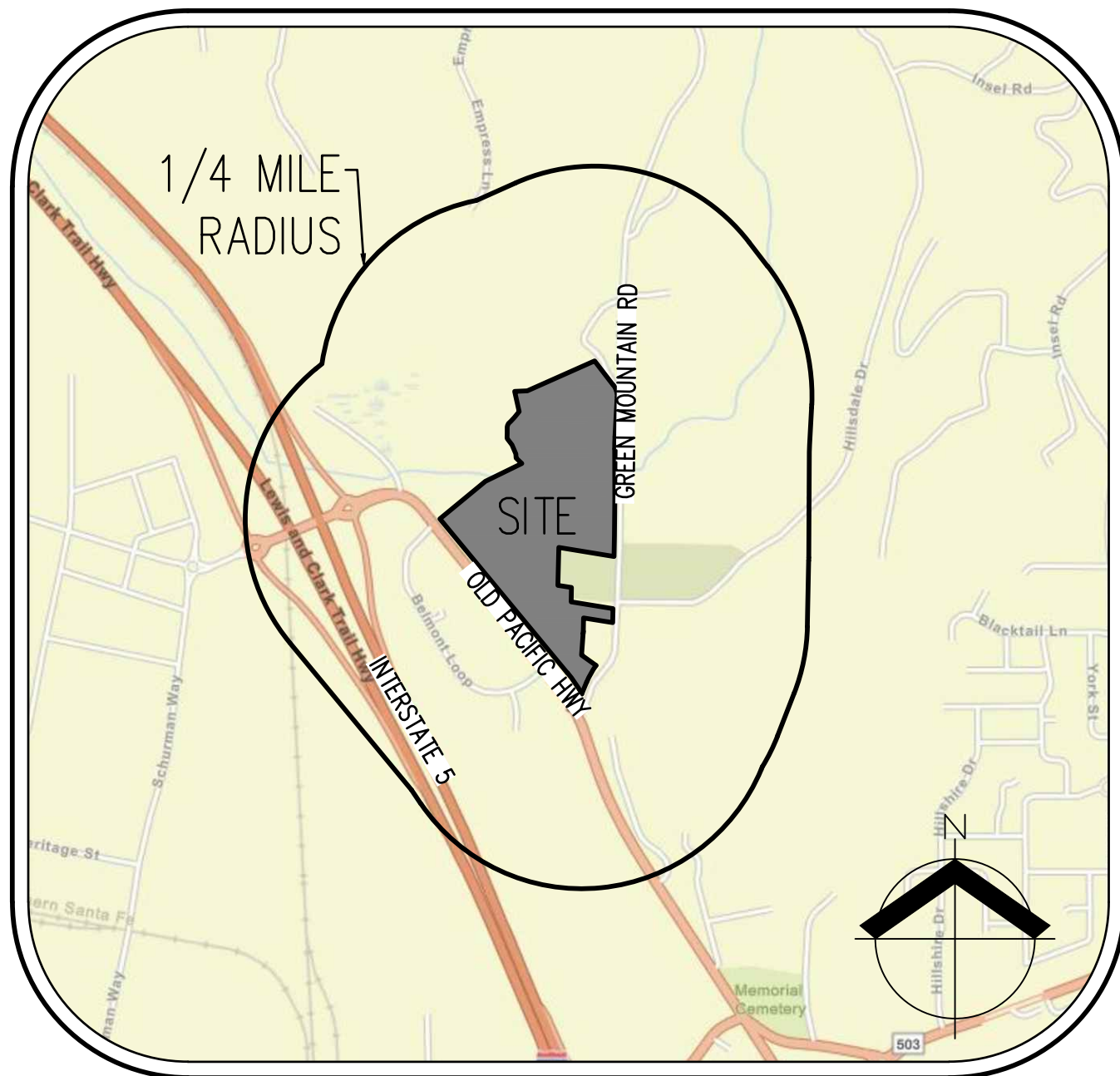


OAK VILLAGE APARTMENTS



VICINITY MAP
 N.T.S.

TYPE II SITE PLAN



SITE MAP
 N.T.S.

APPLICANT/OWNER

41ST AVENUE LLC
 CONTACT: MARK JEFFRIES
 18518 NW 41ST AVENUE
 RIDGEFIELD, WA 98645
 PH: (360) 518-1747
 E-MAIL: MSJEFFRIES7@MSN.COM

CONTACT

AKS ENGINEERING & FORESTRY, LLC.
 CONTACT: MICHAEL ANDREOTTI
 9600 NE 126TH AVENUE, SUITE 2520
 VANCOUVER, WA 98682
 PH: 360-487-6687
 FAX: 360-882-0426
 E-MAIL: ANDREOTTIM@AKS-ENG.COM

PROPERTY DESCRIPTION

LOCATED IN SECTION 12, TOWNSHIP 5 NORTH RANGE 1 WEST, WILLAMETTE MERIDIAN, COWLITZ COUNTY, WASHINGTON.
 PROPERTY SERIAL NO.'S 508630100, 508610100, 508620100, 508650100, 508680101, 508680100, 508690100, 508720100, 508610100

EXISTING LAND USE

VACANT; ZONED MDR AND C-2

PROJECT PURPOSE

CONSTRUCT 8-BUILDING, 186-UNIT APARTMENT COMPLEX WITH ASSOCIATED SITE IMPROVEMENTS. CONSTRUCT NEW PUBLIC ROAD BURRIS LANE AND FRONTAGE IMPROVEMENTS ALONG GREEN MOUNTAIN ROAD AND GREEN MOUNTAIN LOOP ROAD.

SITE AREA

OVERALL SITE AREA: 34.68 AC (1,510,870 SF)
 RESIDENTIAL SITE AREA: 9.75 AC (424,842 SF)

VERTICAL DATUM

ELEVATIONS ARE BASED ON NGS (WSDOT) BENCHMARK NO. X-533, LOCATED JUST SOUTH OF THE DRIVEWAY AT 1500 ATLANTIC AVENUE. ELEVATION = 30.07 FEET (NAVD 88).

SHEET INDEX

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| P1.0 COVER SHEET | P6.3 PROPOSED DEVELOPMENT PLAN |
| P2.0 EXISTING CONDITIONS PLAN | P6.4 PROPOSED DEVELOPMENT STREET DETAILS PLAN |
| P2.1 EXISTING CONDITIONS PLAN | P7.0 PRELIMINARY STORMWATER PLAN |
| P2.2 EXISTING CONDITIONS PLAN | P7.1 PRELIMINARY STORMWATER PLAN |
| P3.0 PRELIMINARY TREE PRESERVATION AND REMOVAL PLAN | P7.2 PRELIMINARY STORMWATER PLAN |
| P3.1 PRELIMINARY TREE PRESERVATION NOTES AND DETAILS | P7.3 PRELIMINARY STORMWATER PLAN |
| P4.0 PRELIMINARY DEMOLITION, GRADING, AND ESC PLAN | P8.0 PRELIMINARY SANITARY SEWER AND WATER PLAN |
| P4.1 PRELIMINARY DEMOLITION, GRADING, AND ESC PLAN | P8.1 PRELIMINARY SANITARY SEWER AND WATER PLAN |
| P4.2 PRELIMINARY DEMOLITION, GRADING, AND ESC PLAN | P8.2 PRELIMINARY SANITARY SEWER AND WATER PLAN |
| P4.3 PRELIMINARY DEMOLITION, GRADING, AND ESC PLAN | P9.0 PRELIMINARY LANDSCAPE AND LIGHTING PLAN |
| P5.0 PHASING PLAN | P9.1 PRELIMINARY LANDSCAPE AND LIGHTING PLAN |
| P6.0 PROPOSED DEVELOPMENT PLAN | P9.2 PRELIMINARY LANDSCAPE AND LIGHTING PLAN |
| P6.1 PROPOSED DEVELOPMENT PLAN | P9.3 PRELIMINARY LANDSCAPE PLANT SCHEDULE AND NOTES |
| P6.2 PROPOSED DEVELOPMENT PLAN | |

LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
DECIDUOUS TREE			STORM DRAIN CLEAN OUT		
CONIFEROUS TREE			STORM DRAIN CATCH BASIN		
FIRE HYDRANT			STORM DRAIN AREA DRAIN		
WATER BLOWOFF			STORM DRAIN MANHOLE		
WATER METER			GAS METER		
WATER VALVE			GAS VALVE		
DOUBLE CHECK VALVE			GUY WIRE ANCHOR		
AIR RELEASE VALVE			UTILITY POLE		
SANITARY SEWER CLEAN OUT			POWER VAULT		
SANITARY SEWER MANHOLE			POWER JUNCTION BOX		
SIGN			POWER PEDESTAL		
STREET LIGHT			COMMUNICATIONS VAULT		
MAILBOX			COMMUNICATIONS JUNCTION BOX		
			COMMUNICATIONS RISER		

	EXISTING	PROPOSED
RIGHT-OF-WAY LINE		
BOUNDARY LINE		
PROPERTY LINE		
CENTERLINE		
DITCH		
CURB		
EDGE OF PAVEMENT		
EASEMENT		
FENCE LINE		
GRAVEL EDGE		
POWER LINE		
OVERHEAD WIRE		
COMMUNICATIONS LINE		
FIBER OPTIC LINE		
GAS LINE		
STORM DRAIN LINE		
SANITARY SEWER LINE		
WATER LINE		

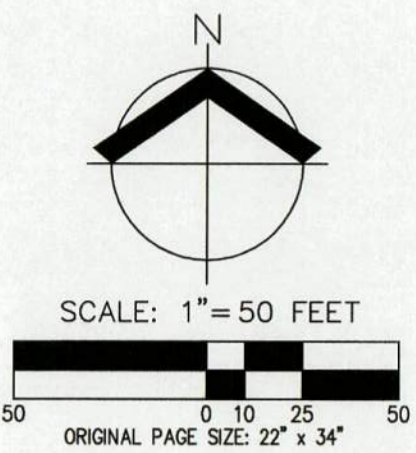
COVER SHEET
OAK VILLAGE APARTMENTS
41ST AVENUE LLC
WOODLAND, WASHINGTON



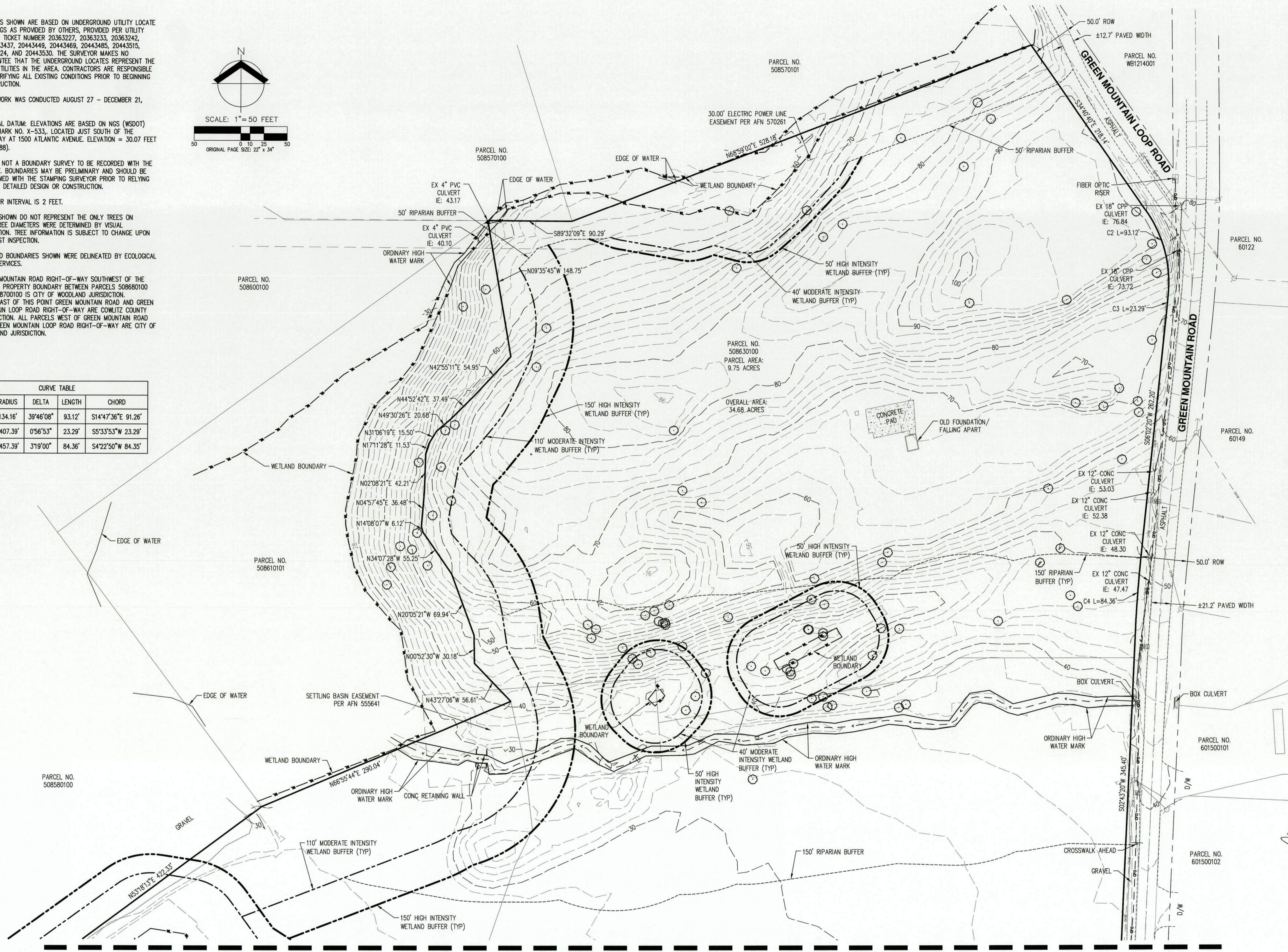
JOB NUMBER: 8344
 DATE: 06/24/2021
 DESIGNED BY: T.J.W./BDH
 DRAWN BY: T.J.W.
 CHECKED BY: BDH

NOTES:

- UTILITIES SHOWN ARE BASED ON UNDERGROUND UTILITY LOCATE MARKINGS AS PROVIDED BY OTHERS, PROVIDED PER UTILITY LOCATE TICKET NUMBER 20363227, 20363233, 20363242, 2020443437, 20443449, 20443469, 20443485, 20443515, 20443524, AND 20443530. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND LOCATES REPRESENT THE ONLY UTILITIES IN THE AREA. CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.
- FIELD WORK WAS CONDUCTED AUGUST 27 - DECEMBER 21, 2020.
- VERTICAL DATUM: ELEVATIONS ARE BASED ON NGS (WSDOT) BENCHMARK NO. X-533, LOCATED JUST SOUTH OF THE DRIVEWAY AT 1500 ATLANTIC AVENUE. ELEVATION = 30.07 FEET (NAVD 88).
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- CONTOUR INTERVAL IS 2 FEET.
- TREES SHOWN DO NOT REPRESENT THE ONLY TREES ON SITE. TREE DIAMETERS WERE DETERMINED BY VISUAL INSPECTION. TREE INFORMATION IS SUBJECT TO CHANGE UPON ARBORIST INSPECTION.
- WETLAND BOUNDARIES SHOWN WERE DELINEATED BY ECOLOGICAL LAND SERVICES.
- GREEN MOUNTAIN ROAD RIGHT-OF-WAY SOUTHWEST OF THE SHARED PROPERTY BOUNDARY BETWEEN PARCELS 508680100 AND 508700100 IS CITY OF WOODLAND JURISDICTION. NORTHEAST OF THIS POINT GREEN MOUNTAIN ROAD AND GREEN MOUNTAIN LOOP ROAD RIGHT-OF-WAY ARE COWLITZ COUNTY JURISDICTION. ALL PARCELS WEST OF GREEN MOUNTAIN ROAD AND GREEN MOUNTAIN LOOP ROAD RIGHT-OF-WAY ARE CITY OF WOODLAND JURISDICTION.



CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C2	134.16'	39°46'08"	93.12'	S14°47'36"E 91.26'
C3	1407.39'	0°56'53"	23.29'	S5°33'53"W 23.29'
C4	1457.39'	3°19'00"	84.36'	S4°22'50"W 84.36'



SEE SHEET P2.1

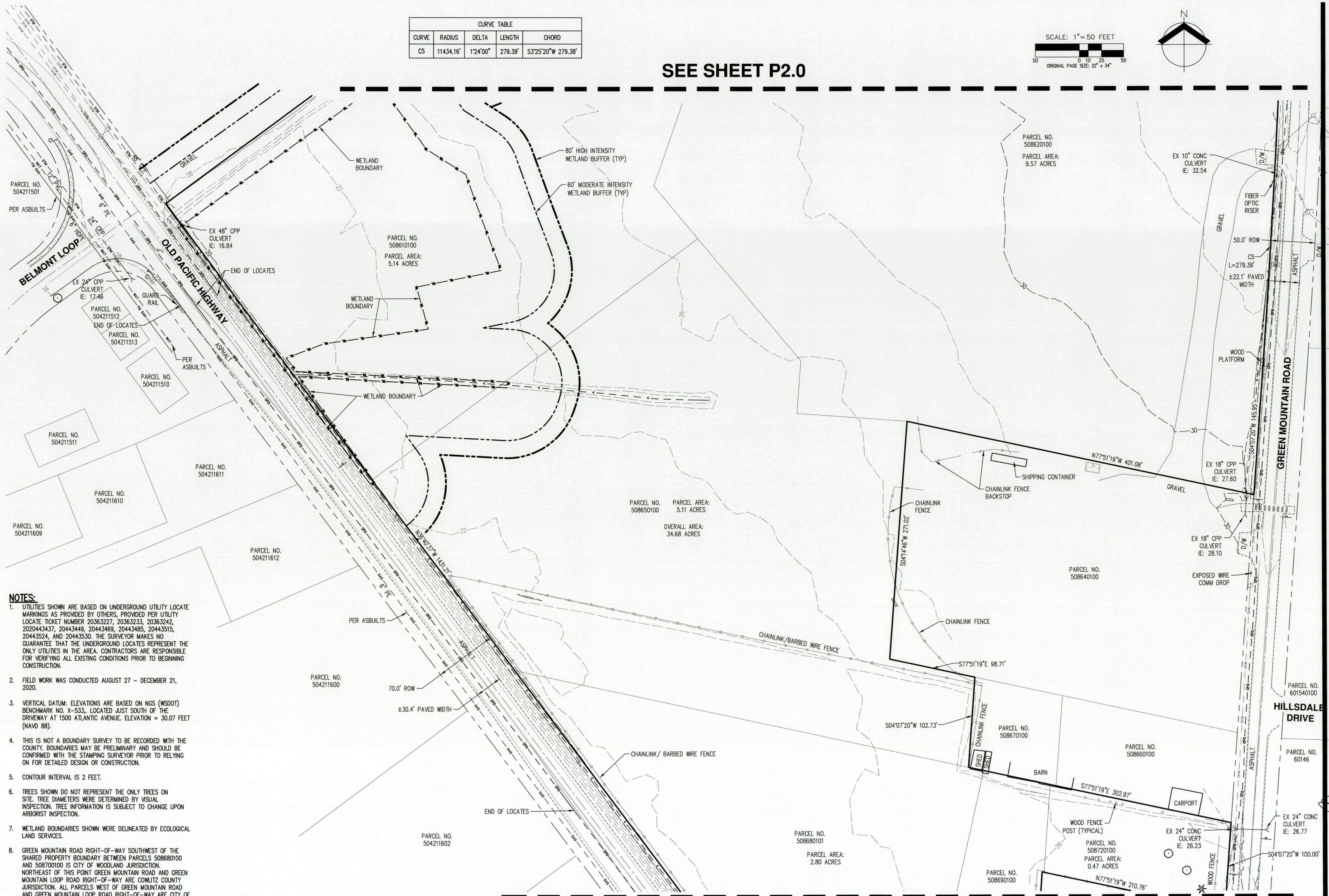
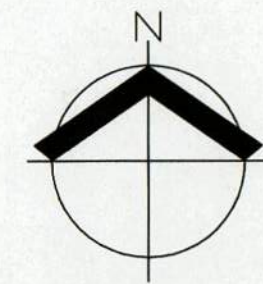
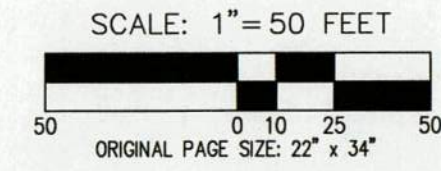
**EXISTING CONDITIONS PLAN
 OAK VILLAGE APARTMENTS
 41ST AVENUE LLC
 WOODLAND, WASHINGTON**



JOB NUMBER: 8344
 DATE: 06/24/2021
 DESIGNED BY:
 DRAWN BY: CJC
 CHECKED BY: JOH

CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C5	11434.16'	1°24'00"	279.39'	S3°25'20"W 279.38'

SEE SHEET P2.0



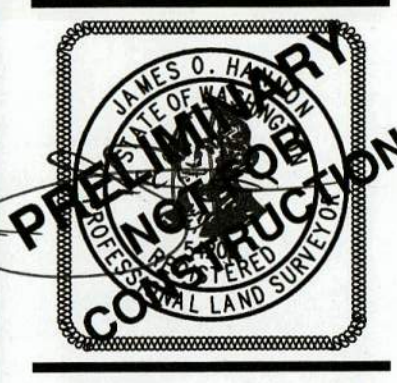
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SEE SHEET P2.2

AKS
 AKS ENGINEERING & FORESTRY, LLC
 9600 NE 126TH AVE, STE 2520
 WOODLAND, WA 98662
 360.882.0419
 WWW.AKS-ENG.COM

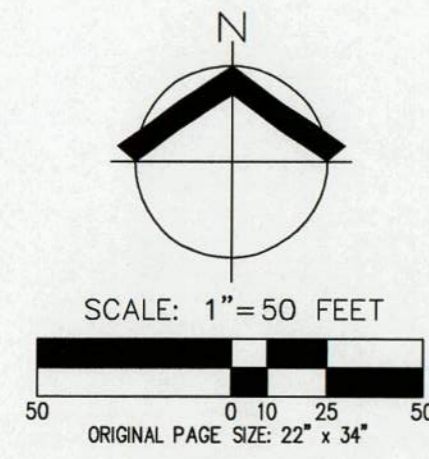
ENGINEERING · SURVEYING · NATURAL RESOURCES
 FORESTRY · PLANNING · LANDSCAPE ARCHITECTURE

**EXISTING CONDITIONS PLAN
 OAK VILLAGE APARTMENTS
 41ST AVENUE LLC
 WOODLAND, WASHINGTON**



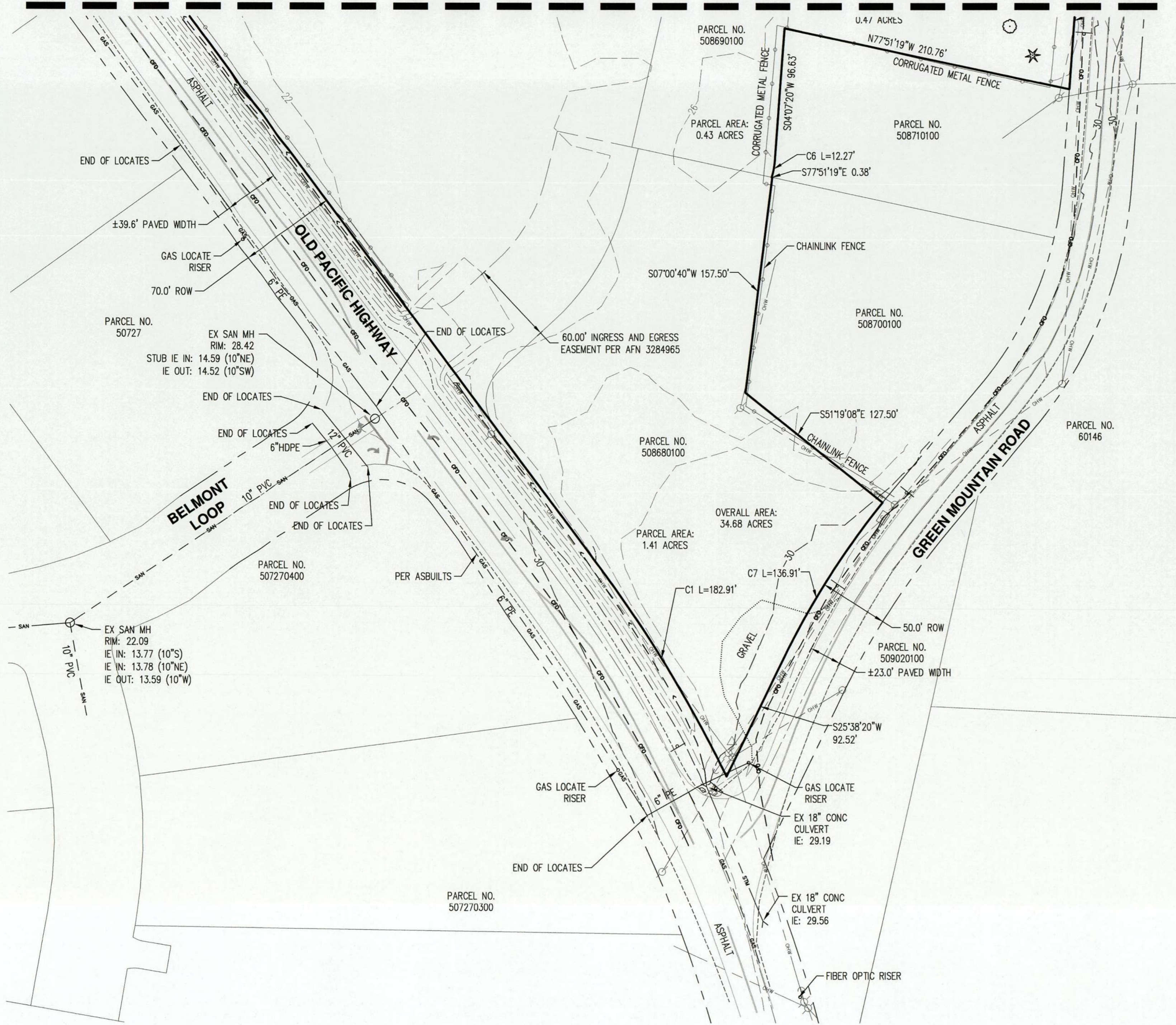
JOB NUMBER: 8344
 DATE: 06/24/2021
 DESIGNED BY:
 DRAWN BY: CJC
 CHECKED BY: JOH

P2.1



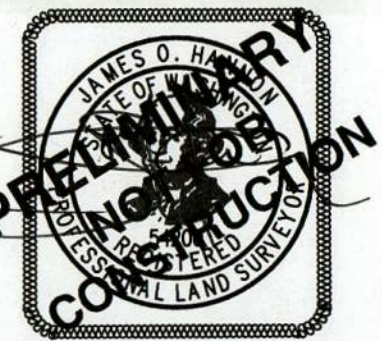
CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	984.93'	10°38'25"	182.91'	N31°21'24"W 182.65'
C6	52.78'	13°19'20"	12.27'	S10°47'00"W 12.24'
C7	597.96'	13°07'06"	136.91'	S32°11'53"W 136.61'

SEE SHEET P2.1



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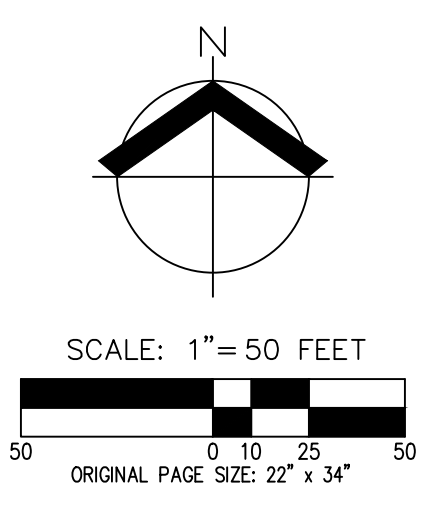
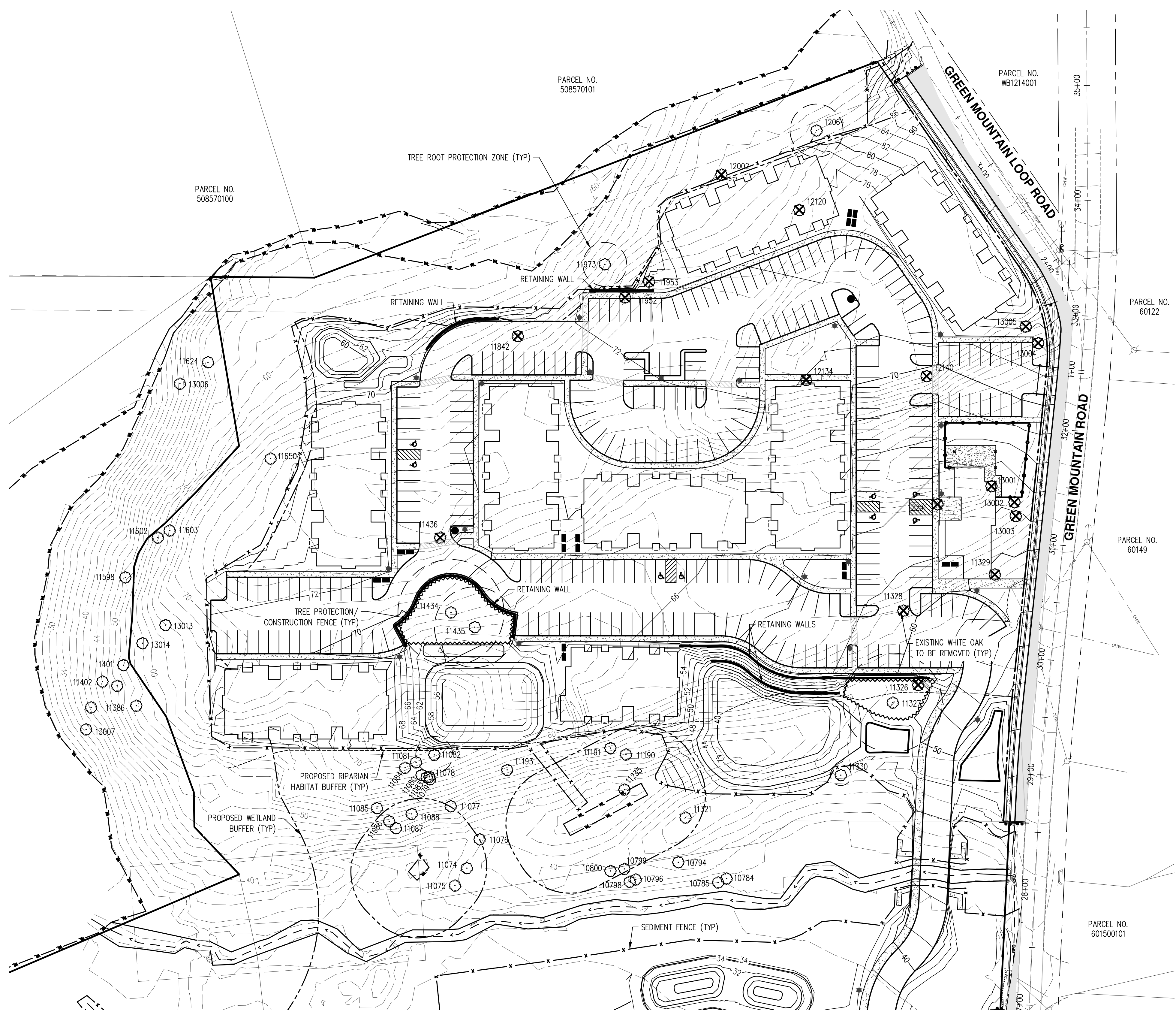
JOB NUMBER: 8344
 DATE: 06/24/2021
 DESIGNED BY:
 DRAWN BY: CJC
 CHECKED BY: JOH

PRELIMINARY TREE PRESERVATION AND REMOVAL PLAN
OAK VILLAGE APARTMENTS
41ST AVENUE LLC
WOODLAND, WASHINGTON

PRELIMINARY NOT FOR CONSTRUCTION

JOB NUMBER: 8344
 DATE: 06/24/2021
 DESIGNED BY: T.J.W./BDH
 DRAWN BY: T.J.W.
 CHECKED BY: BDH

P3.0



TREE TABLE			
TREE NUMBER	TYPE	DBH (IN.)	PRESERVE/REMOVE
10784	W.OAK	11	PRESERVE
10785	W.OAK	6	PRESERVE
10794	W.OAK	31	PRESERVE
10796	W.OAK	21,19	PRESERVE
10798	W.OAK	22,7	PRESERVE
10799	W.OAK	24,22	PRESERVE
10800	W.OAK	24,16	PRESERVE
11074	W.OAK	32	PRESERVE
11075	W.OAK	8	PRESERVE
11076	W.OAK	42	PRESERVE
11077	W.OAK	30	PRESERVE
11078	W.OAK	34	PRESERVE
11079	W.OAK	23	PRESERVE
11080	W.OAK	12,11	PRESERVE
11081	W.OAK	30	PRESERVE
11082	W.OAK	16	PRESERVE
11083	W.OAK	14	PRESERVE
11084	W.OAK	32	PRESERVE
11085	W.OAK	33	PRESERVE
11086	W.OAK	25	PRESERVE
11087	W.OAK	19	PRESERVE

TREE TABLE			
TREE NUMBER	TYPE	DBH (IN.)	PRESERVE/REMOVE
11088	W.OAK	25	PRESERVE
11190	W.OAK	35	PRESERVE
11191	W.OAK	27	PRESERVE
11193	W.OAK	34	PRESERVE
11235	W.OAK	12	PRESERVE
11321	W.OAK	32,29	PRESERVE
11326	W.OAK	30	REMOVE
11327	W.OAK	43	PRESERVE
11328	W.OAK	15	REMOVE
11329	W.OAK	17	REMOVE
11330	W.OAK	9	PRESERVE
11386	W.OAK	35	PRESERVE
11401	W.OAK	21	PRESERVE
11402	W.OAK	34	PRESERVE
11434	W.OAK	46	PRESERVE
11435	W.OAK	35	PRESERVE
11436	W.OAK	56	REMOVE
11598	W.OAK	24	PRESERVE
11602	W.OAK	24	PRESERVE
11603	W.OAK	31	PRESERVE
11624	W.OAK	36	PRESERVE

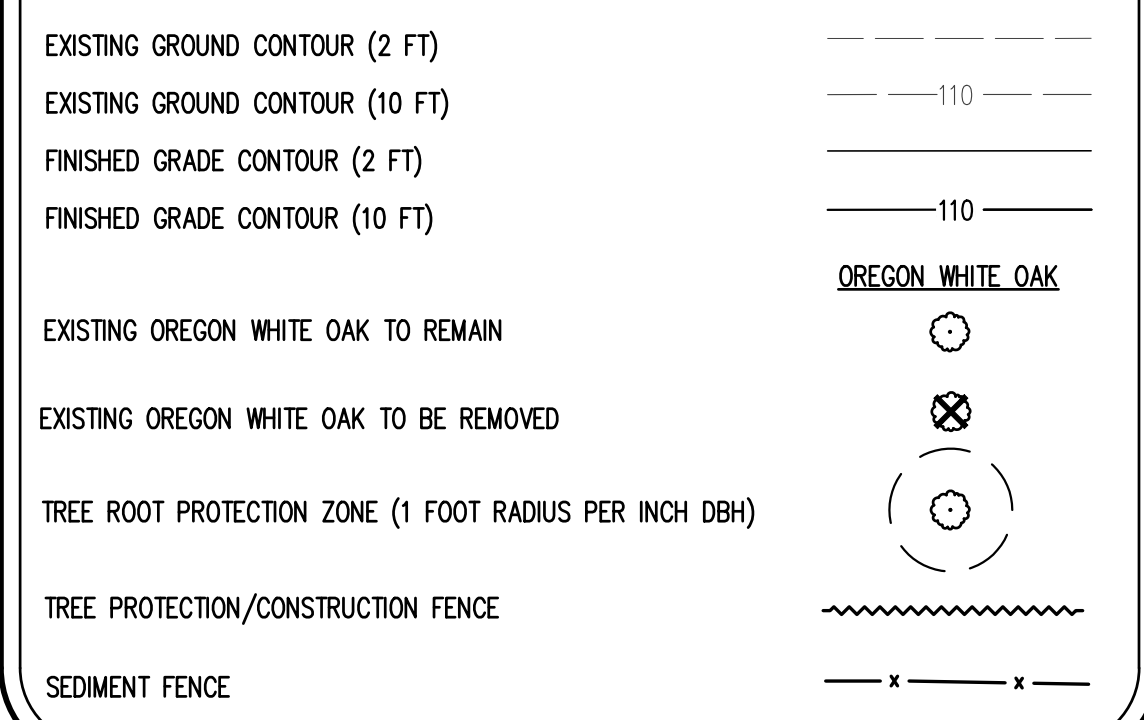
TREE TABLE			
TREE NUMBER	TYPE	DBH (IN.)	PRESERVE/REMOVE
11650	W.OAK	7	PRESERVE
11842	W.OAK	41	REMOVE
11952	W.OAK	9	REMOVE
11953	W.OAK	13	REMOVE
11973	W.OAK	19	PRESERVE
12002	W.OAK	33	REMOVE
12064	W.OAK	23	PRESERVE
12120	W.OAK	13	REMOVE
12134	W.OAK	19	REMOVE
12140	W.OAK	16	REMOVE
12291	W.OAK	12	REMOVE
13001	W.OAK	8	REMOVE
13002	W.OAK	10	REMOVE
13003	W.OAK	12	REMOVE
13004	W.OAK	11	REMOVE
13005	W.OAK	6	REMOVE
13006	W.OAK	31	PRESERVE
13007	W.OAK	35	PRESERVE
13013	W.OAK	5	PRESERVE
13014	W.OAK	8	PRESERVE

*2 ADDITIONAL OFF-SITE OREGON WHITE OAKS LOCATED BY ELS NOT INCLUDED IN TABLE.

GENERAL NOTES

- TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO DEMOLITION AND SITE GRADING ACTIVITIES. SEE DETAIL THIS SHEET.
- ALL SHRUBS WITHIN SIGHT DISTANCE TRIANGLES SHALL BE MAINTAINED SO THAT THE FOLIAGE HEIGHT ABOVE THE PAVEMENT DOES NOT EXCEED 2.5 FEET. STREET TREES WITHIN SIGHT DISTANCE TRIANGLES SHALL BE LIMBED UP TO A HEIGHT OF 10 FEET CONSISTENT WITH ANSI A300 STANDARDS TO PROVIDE SIGHT DISTANCE VISIBILITY.
- SEE THIS SHEET FOR TREE TABLE.
- PRESERVED TREES WILL REQUIRE PRUNING TO IMPROVE CROWN STRUCTURE AND REMOVE DEAD BRANCHES. SEE TREE PROTECTION NOTES, SHEET P3.1, FOR GENERAL PRUNING GUIDELINES.
- ONLY OREGON WHITE OAKS SHOWN. MORE TREES EXIST ON SITE AND ADDITIONAL PROTECTION MEASURES MAY BE NECESSARY DURING FINAL ENGINEERING.
- SEE SHEET P3.1 FOR TREE PROTECTION NOTES, TREE PROTECTION FENCE DETAIL, AND ARBORIST DISCLOSURE STATEMENT.
- TREE ROOT PROTECTION ZONE ONLY SHOWN FOR TREES TO BE PRESERVED THAT ARE LOCATED ADJACENT TO IMPROVEMENT IMPACTS.

LEGEND



BRYCE D. HANSON
 CERTIFICATE NUMBER: PN 75544
 EXPIRATION DATE: 06/30/22

TREE PROTECTION NOTES

- A. PLACING MATERIALS NEAR TREES – NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE PROTECTED AREA OF ANY TREE DESIGNATED TO REMAIN, INCLUDING, BUT NOT LIMITED TO, PARKING EQUIPMENT, PLACING SOLVENTS, STORING BUILDING MATERIALS AND SOIL DEPOSITS, DUMPING CONCRETE WASHOUT, ETC.
- B. ATTACHMENTS TO TREES – DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY OBJECT TO ANY TREE DESIGNATED FOR PROTECTION.
- C. PROTECTIVE BARRIER – BEFORE DEVELOPMENT, LAND CLEARING, FILLING OR ANY LAND ALTERATION FOR WHICH A TREE REMOVAL PERMIT IS REQUIRED, THE CONTRACTOR:
 - C.A. SHALL ERECT AND MAINTAIN READILY VISIBLE PROTECTIVE TREE FENCING ALONG THE OUTER EDGE AND COMPLETELY SURROUNDING THE PROTECTED AREA OF ALL PROTECTED TREES OR GROUP OF TREES. FENCES SHALL BE CONSTRUCTED PER THE DETAIL ON THIS SHEET.
 - C.B. MAY BE REQUIRED TO COVER WITH MULCH TO A DEPTH OF AT LEAST SIX (6) INCHES OR WITH PLYWOOD OR SIMILAR MATERIAL IN THE AREAS ADJOINING THE CRITICAL ROOT ZONE OF A TREE IN ORDER TO PROTECT ROOTS FROM DAMAGE CAUSED BY HEAVY EQUIPMENT.
 - C.C. SHALL PROHIBIT EXCAVATION OR COMPACTING OF EARTH OR OTHER POTENTIALLY DAMAGING ACTIVITIES WITHIN THE BARRIERS.
 - C.D. MAY BE REQUIRED TO MINIMIZE ROOT DAMAGE BY EXCAVATING A TWO (2) FOOT DEEP TRENCH, AT EDGE OF CRITICAL ROOT ZONE, TO CLEANLY SEVER THE ROOTS OF TREES TO BE RETAINED. ROOTS ONE (1) INCH DIAMETER OR GREATER SHALL BE CLEANLY CUT WITH A SAW OR PRUNERS.
 - C.E. MAY BE REQUIRED TO HAVE CORRECTIVE PRUNING PERFORMED ON PROTECTED TREES IN ORDER TO AVOID DAMAGE FROM MACHINERY OR BUILDING ACTIVITY. MAY BE REQUIRED TO MAINTAIN TREES THROUGHOUT THE CONSTRUCTION PERIOD BY WATERING AND FERTILIZING.
 - C.F. SHALL MAINTAIN THE PROTECTIVE BARRIERS IN PLACE UNTIL THE PROJECT ARBORIST AUTHORIZES THEIR REMOVAL OR A FINAL CERTIFICATE OF OCCUPANCY IS ISSUED, WHICHEVER OCCURS FIRST.
 - C.G. SHALL ENSURE THAT ANY LANDSCAPING DONE IN THE PROTECTED ZONE SUBSEQUENT TO THE REMOVAL OF THE BARRIERS SHALL BE ACCOMPLISHED WITH LIGHT MACHINERY OR HAND LABOR.
- D. GRADE
 - D.A. THE GRADE SHALL NOT BE ELEVATED OR REDUCED WITHIN THE CRITICAL ROOT ZONE OF TREES TO BE PRESERVED WITHOUT THE PROJECT ARBORIST'S AUTHORIZATION. THE PROJECT ARBORIST MAY ALLOW COVERAGE OF UP TO ONE HALF OF THE AREA OF THE TREE'S CRITICAL ROOT ZONE WITH LIGHT SOILS (NO CLAY) TO THE MINIMUM DEPTH NECESSARY TO CARRY OUT GRADING OR LANDSCAPING PLANS, IF IT WILL NOT IMPERIL THE SURVIVAL OF THE TREE. AERATION DEVICES MAY BE REQUIRED TO ENSURE THE TREE'S SURVIVAL.
 - D.B. IF THE GRADE ADJACENT TO A PRESERVED TREE IS RAISED SUCH THAT IT COULD SLOUGH OR ERODE INTO THE TREES CRITICAL ROOT ZONE, IT SHALL BE PERMANENTLY STABILIZED TO PREVENT SUFFOCATION OF THE ROOTS.
 - D.C. THE APPLICANT SHALL NOT INSTALL AN IMPERVIOUS SURFACE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE TO BE RETAINED WITHOUT THE AUTHORIZATION OF THE PROJECT ARBORIST. THE PROJECT ARBORIST MAY REQUIRE SPECIFIC CONSTRUCTION METHODS AND/OR USE OF AERATION DEVICES TO ENSURE THE TREE'S SURVIVAL AND TO MINIMIZE THE POTENTIAL FOR ROOT INDUCED DAMAGE TO THE IMPERVIOUS SURFACE.
 - D.D. TO THE GREATEST EXTENT PRACTICAL, UTILITY TRENCHES SHALL BE LOCATED OUTSIDE OF THE CRITICAL ROOT ZONE OF TREES TO BE RETAINED. THE PROJECT ARBORIST MAY REQUIRE THAT UTILITIES BE TUNNELED UNDER THE ROOTS OF TREES TO BE RETAINED IF THE PROJECT ARBORIST DETERMINES THAT TRENCHING WOULD SIGNIFICANTLY REDUCE THE

- CHANGES OF THE TREE'S SURVIVAL.
- D.E. TREE AND OTHER VEGETATION TO BE RETAINED SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. CLEARING OPERATIONS SHALL BE CONDUCTED SO AS TO EXPOSE THE SMALLEST PRACTICAL AREA OF SOIL TO EROSION FOR THE LEAST POSSIBLE TIME. TO CONTROL EROSION, SHRUBS, GROUND COVER, AND STUMPS SHALL BE MAINTAINED ON THE INDIVIDUAL LOTS, WHERE FEASIBLE. WHERE NOT FEASIBLE, APPROPRIATE EROSION CONTROL PRACTICES SHALL BE IMPLEMENTED PURSUANT TO 2014 WA ECV STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON (SMMWW).
- E. DIRECTIONAL FELLING OF TREES SHALL BE USED TO AVOID DAMAGE TO TREES DESIGNATED FOR RETENTION.
- F. ADDITIONAL REQUIREMENTS – THE PROJECT ARBORIST MAY REQUIRE ADDITIONAL TREE PROTECTION MEASURES WHICH ARE CONSISTENT WITH ACCEPTED URBAN FORESTRY PRACTICES.
- G. ENCROACHMENT INTO THE ROOT PROTECTION ZONE IS ALLOWED WITH PROJECT ARBORIST APPROVAL AS DESCRIBED IN THE FOLLOWING NOTES:
 - G.A. EXCAVATION IN THE TOP 24 INCHES OF THE SOIL IN THE CRITICAL ROOT ZONE AREA SHOULD BEGIN AT THE EXCAVATION LINE THAT IS CLOSEST TO THE TREE.
 - G.B. THE EXCAVATION SHOULD BE DONE BY HAND/SHOVEL OR WITH A BACKHOE AND A MAN WITH A SHOVEL, PRUNING SHEARS, AND A PRUNING SAW.
 - G.C. IF DONE BY HAND, ALL ROOTS 1 INCH OR LARGER SHOULD BE PRUNED AT THE EXCAVATION LINE.
 - G.D. IF DONE WITH BACKHOE (MOST LIKELY SCENARIO), THEN THE OPERATOR SHALL START THE CUT AT THE EXCAVATION LINE AND CAREFULLY "FEEL" FOR ROOT/RESISTANCE. WHEN THERE IS RESISTANCE, THE MAN WITH THE SHOVEL HAND DIGS AROUND THE ROOTS AND PRUNES THE ROOTS LARGER THAN 1 INCH DIAMETER.
 - G.E. THE BACKHOE IS TO REMAIN OFF OF THE TREE ROOTS TO BE PRESERVED AT ALL TIMES.
 - G.F. ALL ROOTS SHALL BE CUT CLEANLY WITH PRUNING SHEARS OR A PRUNING SAW.
 - G.G. PROJECT ARBORIST MUST BE ONSITE DURING ANY WORK WITHIN THE TREE ROOT PROTECTION ZONE.
- H. TREE PROTECTION ZONE IS DEFINED AS ALL AREAS BOUND AND PROTECTING THE OPTIMAL TREE PROTECTION ZONE.
- I. TIMELINE FOR CLEARING, GRADING, AND INSTALLATION OF TREE PROTECTION MEASURES: WORK WILL BEGIN IMMEDIATELY FOLLOWING FINAL APPROVAL BY THE CITY. TREE PROTECTION MEASURES WILL BE DONE DURING CLEARING AND ANY GRADING WILL FOLLOW.
- J. PRUNING/TREE REMOVAL NOTES: THE WORK TO BE COMPLETED UNDER THIS PROJECT SHALL CONSIST OF TREE REMOVAL AND TREE TRIMMING AS LISTED.
 - J.A. THE CONTRACTOR SHALL PROVIDE ADEQUATE CREW OF MEN, EQUIPMENT AND MATERIALS TO SAFELY AND EFFICIENTLY COMPLETE THE ASSIGNED WORK. EACH SUCH CREW SHALL INCLUDE AN INDIVIDUAL WHO SHALL BE DESIGNATED AS THE CREW SUPERVISOR AND WHO SHALL BE RESPONSIBLE FOR THE CREW'S ACTIVITIES AND WHO SHALL RECEIVE INSTRUCTION FROM THE OWNER OR THE OWNER'S REPRESENTATIVE AND DIRECT THE CREW TO ACCOMPLISH SUCH WORK.
 - J.B. WHENEVER A TREE, WHICH IS NOT SCHEDULED TO BE REMOVED, MUST BE TRIMMED OR PRUNED, THE CONTRACTOR SHALL INSURE THAT SUCH TRIMMING AND PRUNING IS CARRIED OUT UNDER THE DIRECT SUPERVISION OF A LICENSED ARBORIST. ALL PRUNING AND TRIMMING SHALL BE PERFORMED IN ACCORDANCE WITH THE PROVISIONS OF ANSI A 300 "STANDARD PRACTICES FOR TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE".
 - J.C. THE CONTRACTOR SHALL BE REQUIRED TO CUT TREES TO A HEIGHT OF APPROXIMATELY 12". THE STUMPS AND ROOTS SHALL BE GROUND DOWN A MINIMUM OF TWELVE (12) INCHES BELOW NORMAL GROUND LEVEL.

- J.D. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE LATEST GOVERNMENTAL SAFETY REGULATIONS. ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ANSI Z133.1 "PRUNING, TRIMMING, REPAIRING, MAINTAINING AND REMOVING TREES AND CUTTING BRUSH-SAFETY REQUIREMENTS" WITH SPECIAL EMPHASIS GIVEN TO THE REQUIREMENT THAT ONLY QUALIFIED LINE-CLEARANCE TREE TRIMMERS BE ASSIGNED TO WORK WHERE A POTENTIAL ELECTRICAL HAZARD EXISTS.
- J.E. THE CONTRACTOR SHALL MAKE ALL THE NECESSARY ARRANGEMENTS WITH ANY UTILITY THAT MUST BE PROTECTED OR RELOCATED IN ORDER TO ACCOMPLISH THE WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE PROTECTION OF THE OPERATING CONDITION OF ALL ACTIVE UTILITIES WITHIN THE AREA OF CONSTRUCTION AND THEY SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO EXISTING UTILITIES.
- J.F. ANY MATERIAL RESULTING FROM THE TRIMMING OR REMOVAL OF ANY TREES SHALL BECOME THE RESPONSIBILITY OF THE CONTRACTOR.
- J.G. HAZARDOUS TREES-REPORTING – ANY PERSON ENGAGED IN TRIMMING OR PRUNING WHO BECOMES AWARE OF A TREE OF DOUBTFUL STRENGTH, THAT COULD BE DANGEROUS TO PERSONS AND PROPERTY, SHALL REPORT SUCH TREE(S) TO THE OWNER OR THE OWNERS REPRESENTATIVE. SUCH TREES SHALL INCLUDE THOSE THAT ARE OVER MATURE, DISEASED, OR SHOWING SIGNS OF DECAY OR OTHER STRUCTURAL WEAKNESS.
- J.H. DAMAGES-ANY DAMAGE CAUSED BY THE CONTRACTOR, INCLUDING, BUT NOT LIMITED TO, BROKEN SIDEWALK, CURB, RUTTED LAWN, BROKEN WATER SHUT-OFFS, WIRE DAMAGE, BUILDING DAMAGE, STREET DAMAGE, ETC., WILL BE REPAIRED OR REPLACED IN A TIMELY MANNER, TO THE OWNER'S SATISFACTION, AND ALL COSTS PAID BY THE CONTRACTOR.
- J.I. ANY BRUSH CLEARING REQUIRED WITHIN THE TREE PROTECTION ZONE SHALL BE ACCOMPLISHED WITH HAND OPERATED EQUIPMENT.
- J.J. TREES TO BE REMOVED SHALL BE FELLED SO AS TO FALL AWAY FROM TREE ROOT PROTECTION ZONES AND TO AVOID PULLING AND BREAKING OF ROOTS TO REMAIN.
- J.K. ALL DOWNED BRUSH AND TREES SHALL BE REMOVED FROM THE TREE PROTECTION ZONE EITHER BY HAND OR WITH EQUIPMENT SITTING OUTSIDE THE TREE ROOT PROTECTION ZONE. EXTRACTION SHALL OCCUR BY LIFTING THE MATERIAL OUT, NOT BY SKIDDING IT ACROSS THE GROUND.
- J.L. IF TEMPORARY HAUL OR ACCESS ROADS MUST PASS OVER THE ROOT AREA OF TREES TO BE RETAINED A ROADBED OF 6 INCHES OF MULCH OR GRAVEL SHALL BE CREATED TO PROTECT THE SOIL. THE ROADBED MATERIAL SHALL BE REPLENISHED AS NECESSARY TO MAINTAIN A 6-INCH DEPTH.
- J.M. PRUNING. TREES SHALL BE PRUNED PRIOR TO THE START OF CONSTRUCTION. TREES SHALL BE CROWN CLEANED TO REMOVE THE DEADWOOD 2 INCHES IN DIAMETER AND OVER. TREES SHALL BE CROWN THINNED BY 10-20%. CROWNS MAY BE RAISED BY REMOVING BOTTOM BRANCHES AS NECESSARY UP TO 14 FEET HIGH TO GIVE CLEARANCE FOR ANY CONSTRUCTION TRAFFIC, ACTIVITIES, ETC. ALL WORK TO BE DONE IN ACCORDANCE WITH ANSI A300 PRUNING STANDARDS. REMOVE ANY LIMBS OF DOUBTFUL STRENGTH THAT COULD BE DANGEROUS TO PERSONS AND PROPERTY.

ARBORIST DISCLOSURE STATEMENT

ARBORISTS ARE TREE SPECIALISTS WHO USE THEIR EDUCATION, KNOWLEDGE, TRAINING, AND EXPERIENCE TO EXAMINE TREES, RECOMMEND MEASURES TO ENHANCE THE HEALTH OF TREES, AND ATTEMPT TO REDUCE THE RISK OF LIVING NEAR TREES. THE CLIENT AND JURISDICTION MAY CHOOSE TO ACCEPT OR DISREGARD THE RECOMMENDATIONS OF THE ARBORIST, OR SEEK ADDITIONAL ADVICE.

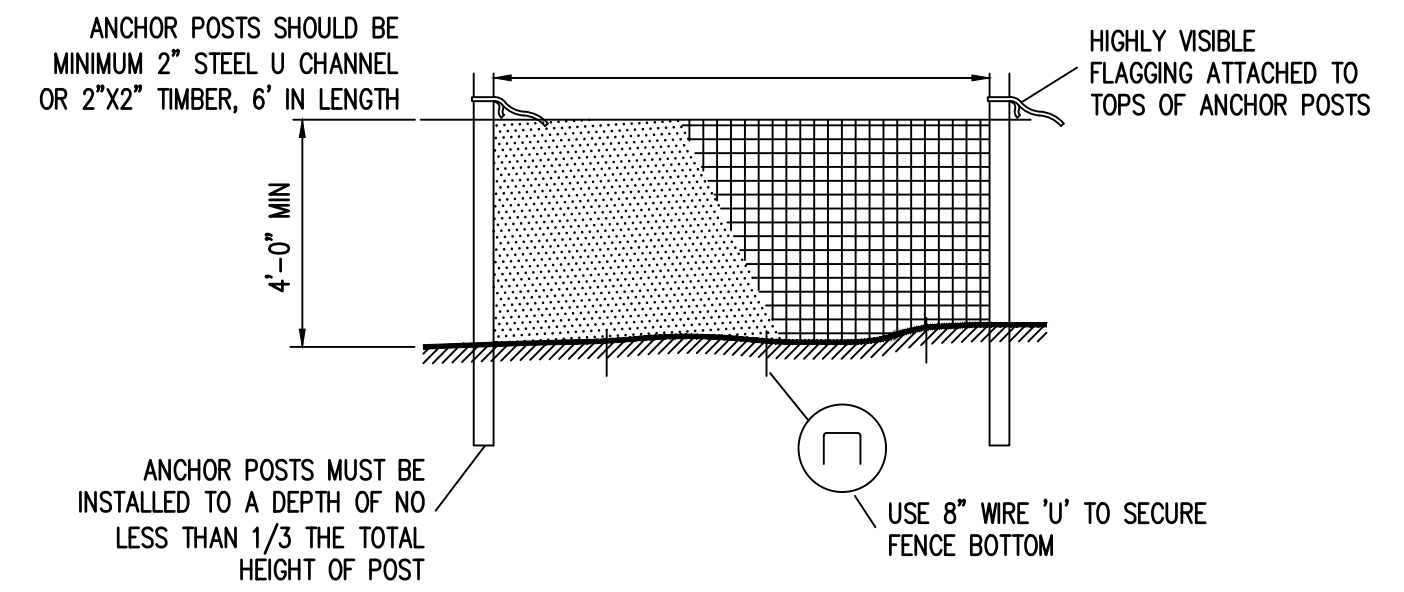
ARBORISTS CANNOT DETECT EVERY CONDITION THAT COULD POSSIBLY LEAD TO THE STRUCTURAL FAILURE OF A TREE. TREES ARE LIVING ORGANISMS THAT FAIL IN WAYS WE DO NOT FULLY UNDERSTAND. CONDITIONS ARE OFTEN HIDDEN WITHIN TREES AND BELOW GROUND. ARBORISTS CANNOT GUARANTEE THAT A TREE WILL BE HEALTHY OR SAFE UNDER ALL CIRCUMSTANCES, OR FOR A SPECIFIED PERIOD OF TIME. LIKEWISE, REMEDIAL TREATMENTS, LIKE MEDICINE, CANNOT BE GUARANTEED.

TREES CAN BE MANAGED, BUT THEY CANNOT BE CONTROLLED. TO LIVE NEAR TREES IS TO ACCEPT SOME DEGREE OF RISK. THE ONLY WAY TO ELIMINATE ALL RISK ASSOCIATED WITH TREES IS TO ELIMINATE ALL TREES.

AT THE COMPLETION OF CONSTRUCTION, ALL TREES MUST ONCE AGAIN BE REVIEWED TO EVALUATE THEIR HAZARD RATING. LAND CLEARING AND REMOVAL OF ADJACENT TREES CAN EXPOSE PREVIOUSLY UNSEEN DEFECTS AND OTHERWISE HEALTHY TREES CAN BE DAMAGED DURING CONSTRUCTION.

TREE INFORMATION GATHERED UNDER THE SUPERVISION OF BRYCE HANSON, CERTIFIED ARBORIST, WITH AKS ENGINEERING AND FORESTRY, LLC.

TREES SHOWN TO BE SAVED WILL BE EVALUATED BY THE PROJECT ARBORIST PRIOR TO, DURING, AND AFTER CONSTRUCTION. TREES ADVERSELY AFFECTED BY CONSTRUCTION AND/OR DETERMINED TO BE A SAFETY HAZARD WILL BE REMOVED.

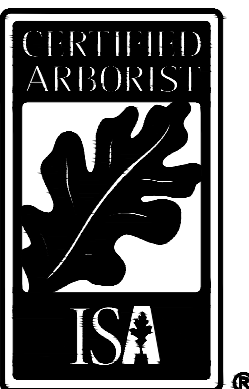


TREE PROTECTION FENCE NOTES

1. BLAZE ORANGE OR BLUE PLASTIC MESH FENCE FOR TREE PROTECTION DEVICE, ONLY.
2. BOUNDARIES OF PROTECTION AREA WILL BE ESTABLISHED IN THE FIELD BY THE ARBORIST PRIOR TO CONSTRUCTION.
3. BOUNDARIES OF PROTECTION AREA SHOULD BE STAKED AND FLAGGED BY THE ARBORIST, OR UNDER THE SUPERVISION OF THE ARBORIST, PRIOR TO INSTALLING DEVICES.
4. AVOID DAMAGE TO CRITICAL ROOT ZONE. DO NOT DAMAGE OR SEVER LARGE ROOTS WHEN INSTALLING POSTS.
5. TREE PROTECTION TO BE INSTALLED PRIOR TO CONSTRUCTION AND REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETED.

PLASTIC MESH TREE PROTECTION FENCE

NOT TO SCALE



BRYCE D. HANSON
 CERTIFICATE NUMBER: PN 7554A
 EXPIRATION DATE: 06/30/22

Bryce D. Hanson



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PRELIMINARY TREE PRESERVATION NOTES AND DETAILS

OAK VILLAGE APARTMENTS

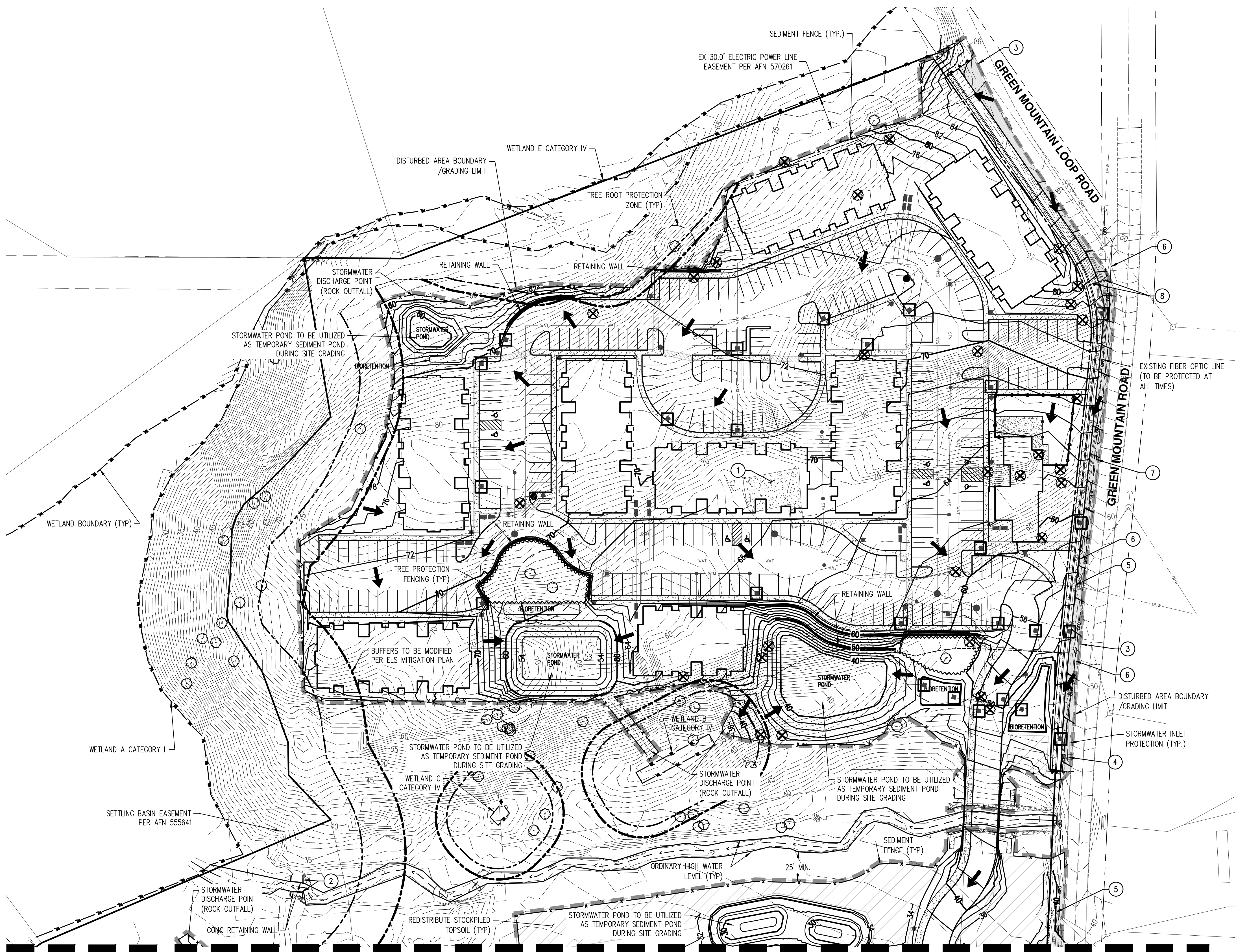
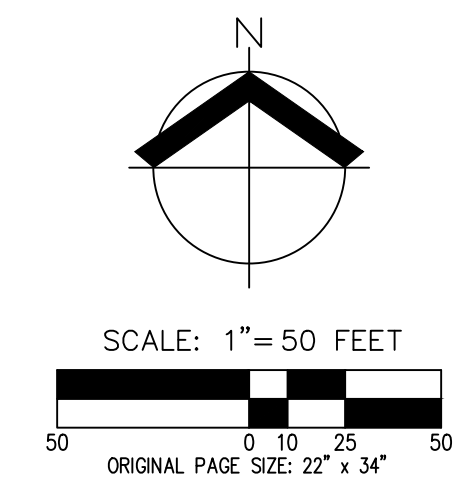
41ST AVENUE LLC

WOODLAND, WASHINGTON

PRELIMINARY
 NOT FOR
 CONSTRUCTION

JOB NUMBER:	8344
DATE:	06/24/2021
DESIGNED BY:	TJW/BDH
DRAWN BY:	TJW
CHECKED BY:	BDH

P3.1



- GENERAL NOTES**
1. TREE PROTECTION AND SEDIMENT FENCING SHALL BE INSTALLED PRIOR TO DEMOLITION. SEE SHEET P3.0 FOR ADDITIONAL INFORMATION.
 2. THERE ARE NO EXISTING BUILDINGS ON SITE.
 3. EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO AND DURING CONSTRUCTION PER CITY OF WOODLAND MUNICIPAL CODE CHAPTER 15.10.
 4. PROPOSED STORMWATER PONDS TO BE UTILIZED AS TEMPORARY SEDIMENT PONDS DURING SITE GRADING. ALL SEDIMENT TO BE REMOVED PRIOR TO FINAL STABILIZATION AND PLANTING.
 5. REFERENCE THE MITIGATION PLAN BY ELS FOR ALL DISTURBANCES IN AND ADJACENT TO THE WETLANDS, STREAMS, AND OREGON WHITE OAKS.

- DEMOLITION KEYED NOTES**
1. REMOVE EXISTING CONCRETE PAD AND FOUNDATION.
 2. REMOVE EXISTING CONCRETE RETAINING WALLS. COORDINATE WITH MITIGATION PLAN PREPARED BY ELS (JUNE 2021).
 3. SAWCUT EXISTING ASPHALT CONCRETE PAVEMENT FOR ROADWAY WIDENING (TYP).
 4. RELOCATE EXISTING MAILBOX (TYP). COORDINATE WITH POSTMASTER.
 5. RELOCATE EXISTING POWER POLE. COORDINATE WITH UTILITY PROVIDER.
 6. REMOVE EXISTING STORMWATER CULVERT.
 7. REMOVE EXISTING STORMWATER ROADSIDE DITCH IMPACTED BY GREEN MOUNTAIN ROAD FRONTAGE IMPROVEMENTS (TYP).
 8. RELOCATE EXISTING YIELD AND ROAD NAME SIGN.

GRADING QUANTITIES

CUT: 71,800 C.Y.
 FILL: 110,200 C.Y.

STRIPPINGS (CUT): 38,200 C.Y.

NOTE: CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES FOR BID PURPOSES.

DISTURBED AREA: ±24.5 AC

LEGEND

EXISTING GROUND CONTOUR (2 FT)	---102---
EXISTING GROUND CONTOUR (10 FT)	---110---
FINISHED GRADE CONTOUR (2 FT)	---102---
FINISHED GRADE CONTOUR (10 FT)	---110---
EXISTING OREGON WHITE OAK TO REMAIN	○
EXISTING OREGON WHITE OAK TO BE REMOVED	⊗
TREE ROOT PROTECTION ZONE (1 FOOT RADIUS PER INCH DBH)	○
TREE PROTECTION/CONSTRUCTION FENCE	~~~~~
SEDIMENT FENCE	-x-x-
GRAVEL CONSTRUCTION ENTRANCE	▨
CATCH BASIN / INLET PROTECTION	□
CONCRETE WASHOUT	⊗
GRADING/DISTURBED LIMIT	-----
TEMPORARY STOCKPILE AREA	▬▬▬
STAGING/FUELING AREA	▬▬▬
TEMPORARY SEDIMENT TRAP	▬▬▬
FLOW ARROW	→

SEE SHEET P4.2

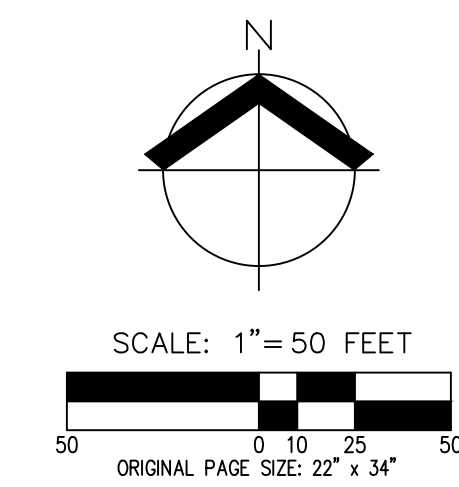
SEE SHEET P4.1

PRELIMINARY DEMOLITION, GRADING, AND ESC PLAN
OAK VILLAGE APARTMENTS
41ST AVENUE LLC
WOODLAND, WASHINGTON



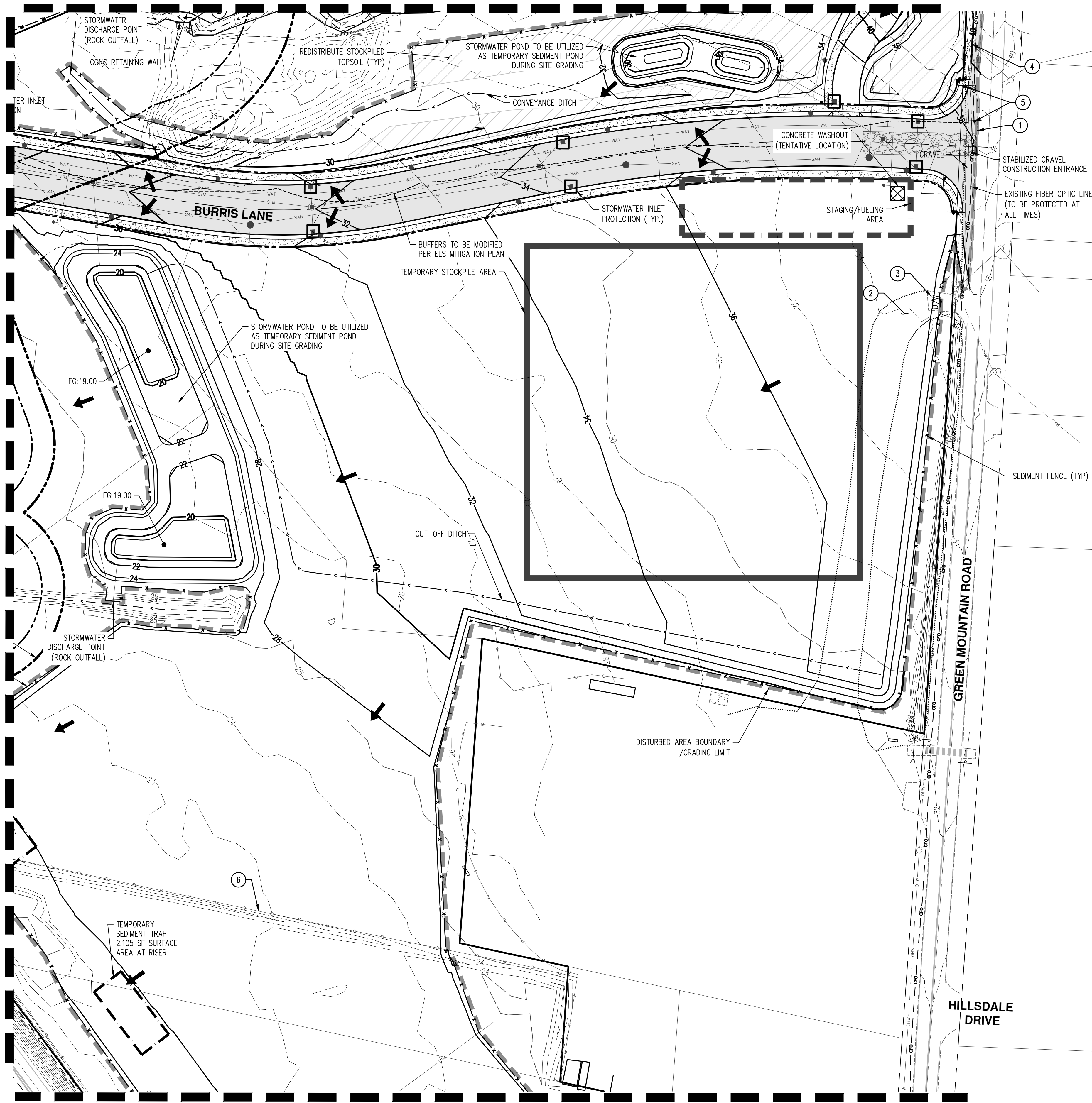
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DEMOLITION KEYED NOTES

1. SAWCUT EXISTING ASPHALT CONCRETE PAVEMENT FOR ROADWAY WIDENING (TYP).
2. REMOVE EXISTING GRAVEL AREA WITHIN DISTURBED LIMITS (TYP).
3. REMOVE EXISTING ASPHALT CONCRETE PAVEMENT WITHIN DISTURBED LIMITS.
4. RELOCATE EXISTING POWER POLE. COORDINATE WITH UTILITY PROVIDER.
5. RELOCATE EXISTING CROSSWALK AHEAD SIGN.
6. REMOVE EXISTING FENCE WITHIN DISTURBED LIMITS.

GRADING QUANTITIES

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LEGEND

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EXISTING GROUND CONTOUR (10 FT)	- - - - -110- - - - -
FINISHED GRADE CONTOUR (2 FT)	— — — — —102— — — — —
FINISHED GRADE CONTOUR (10 FT)	— — — — —110— — — — —
EXISTING OREGON WHITE OAK TO REMAIN	
EXISTING OREGON WHITE OAK TO BE REMOVED	
TREE ROOT PROTECTION ZONE (1 FOOT RADIUS PER INCH DBH)	
TREE PROTECTION/CONSTRUCTION FENCE	
SEDIMENT FENCE	
GRAVEL CONSTRUCTION ENTRANCE	
CATCH BASIN / INLET PROTECTION	
CONCRETE WASHOUT	
GRADING/DISTURBED LIMIT	
TEMPORARY STOCKPILE AREA	
STAGING/FUELING AREA	
TEMPORARY SEDIMENT TRAP	
FLOW ARROW	

SEE SHEET P4.3

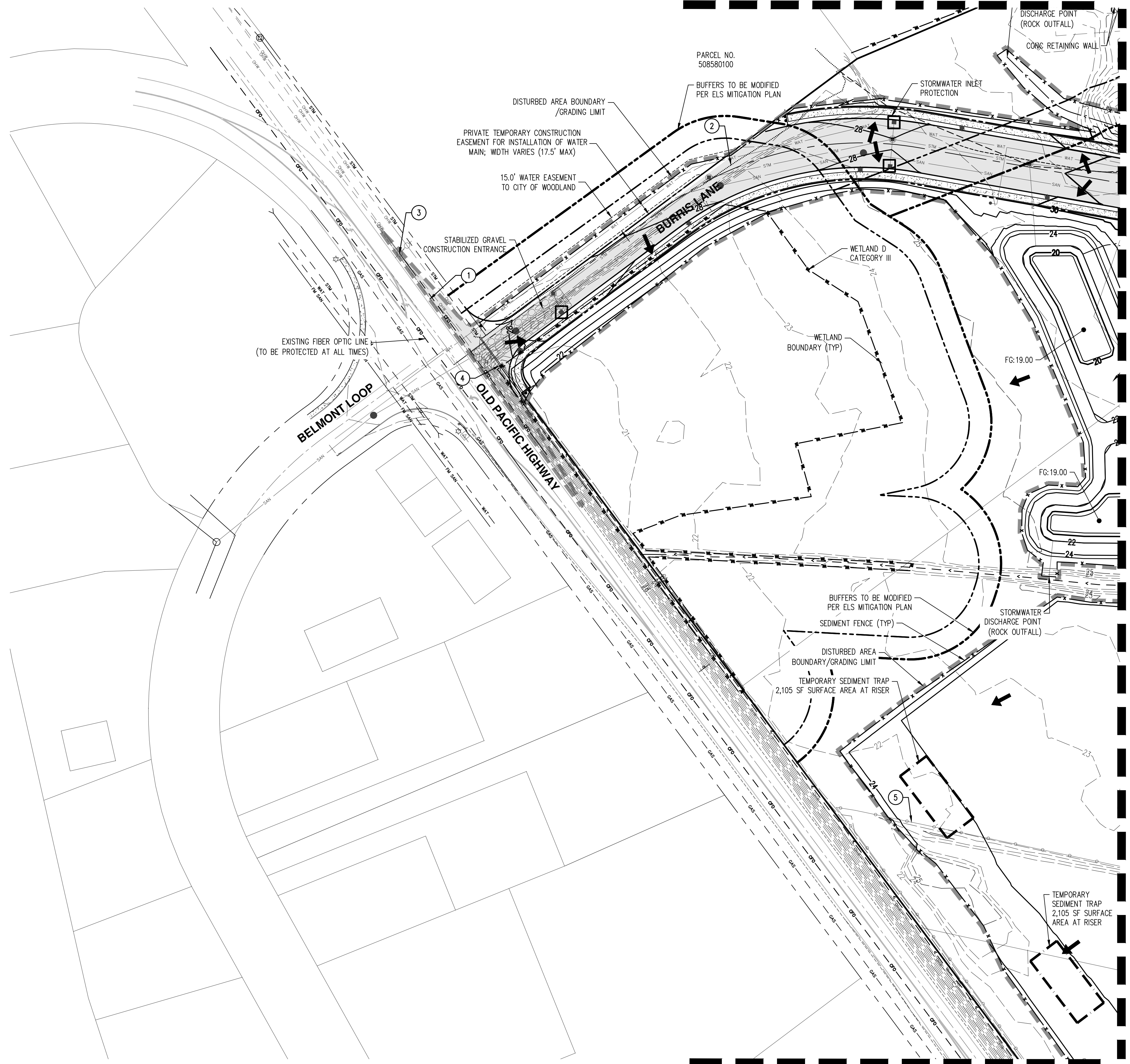
PRELIMINARY DEMOLITION, GRADING, AND ESC PLAN
OAK VILLAGE APARTMENTS
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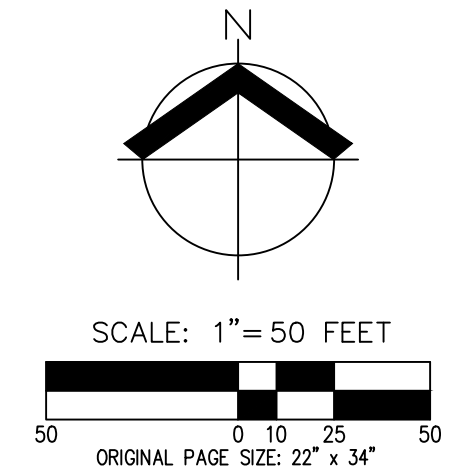
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P4.1

SEE SHEET P4.0



SEE SHEET P4.3



GENERAL NOTES

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DEMOLITION KEYPED NOTES #

1. SAWCUT EXISTING ASPHALT CONCRETE PAVEMENT FOR ROADWAY WIDENING (TYP).
2. REMOVE EXISTING GRAVEL WITHIN DISTURBED LIMITS (TYP).
3. RELOCATE EXISTING POWER POLE. COORDINATE WITH UTILITY PROVIDER.
4. EXTEND EXISTING STORMWATER CULVERT SOUTHEAST ALONG ROADSIDE DITCH BEYOND FRONTAGE IMPROVEMENTS IMPACT.
5. REMOVE EXISTING FENCE WITHIN DISTURBED LIMITS.

GRADING QUANTITIES

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STRIPPINGS (CUT): 38,200 C.Y.

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DISTURBED AREA: ±24.5 AC

LEGEND

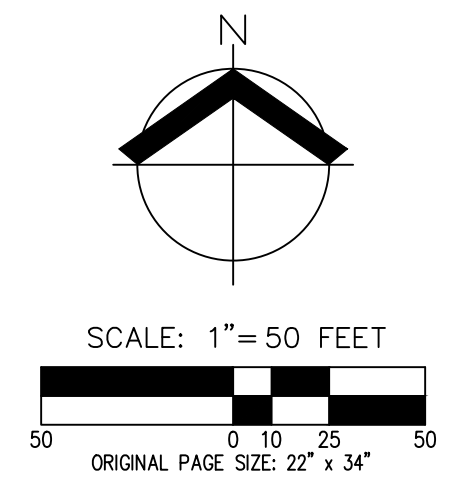
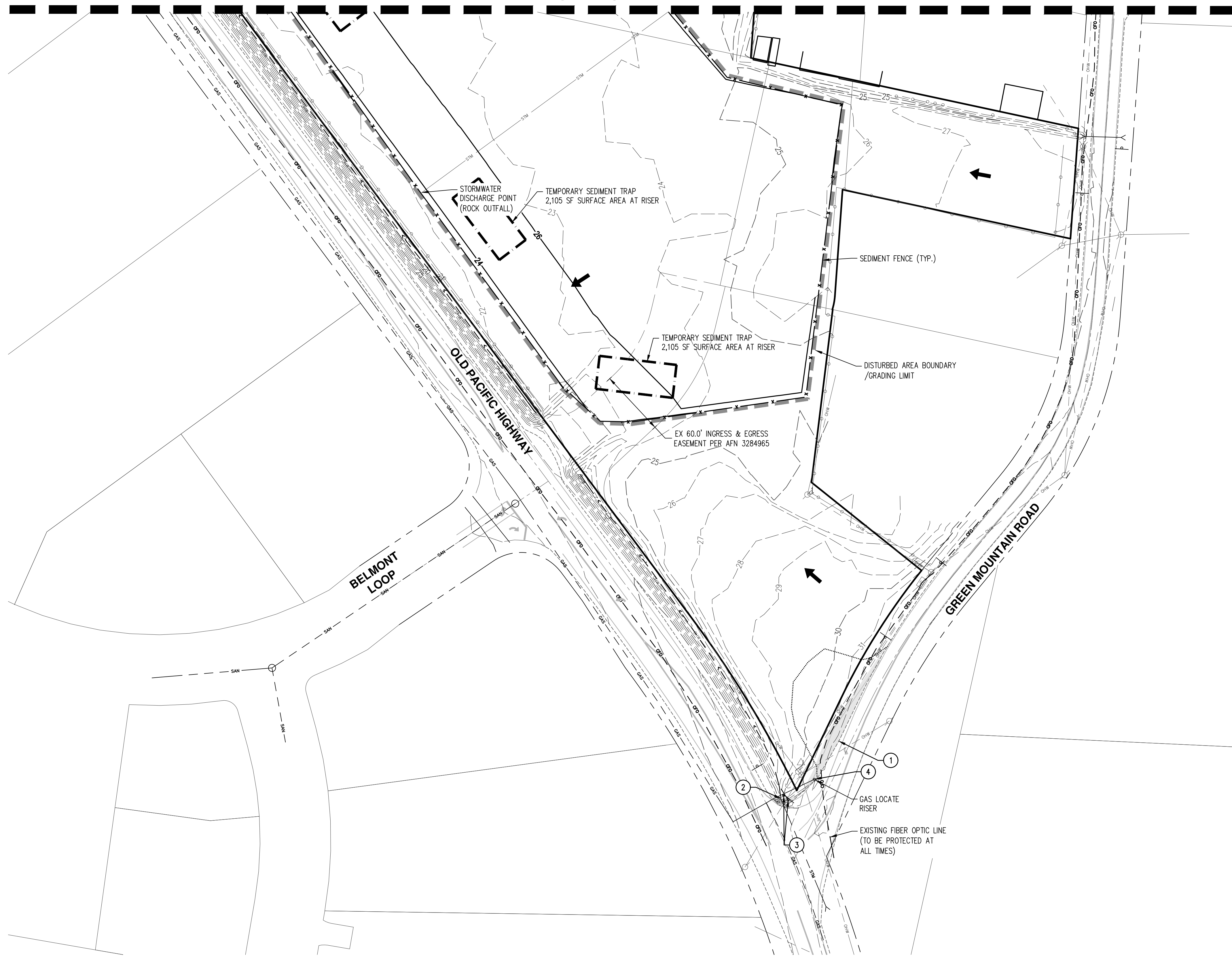
EXISTING GROUND CONTOUR (2 FT)	---102---
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FINISHED GRADE CONTOUR (2 FT)	---102---
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OREGON WHITE OAK	○
EXISTING OREGON WHITE OAK TO REMAIN	○
EXISTING OREGON WHITE OAK TO BE REMOVED	⊗
TREE ROOT PROTECTION ZONE (1 FOOT RADIUS PER INCH DBH)	○
TREE PROTECTION/CONSTRUCTION FENCE	~ ~ ~ ~ ~
SEDIMENT FENCE	— x — x —
GRAVEL CONSTRUCTION ENTRANCE	▨
CATCH BASIN / INLET PROTECTION	□
CONCRETE WASHOUT	⊗
GRADING/DISTURBED LIMIT	- - - - -
TEMPORARY STOCKPILE AREA	▬▬▬▬▬
STAGING/FUELING AREA	▬▬▬▬▬
TEMPORARY SEDIMENT TRAP	▬▬▬▬▬
FLOW ARROW	➔



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CHECKED BY:	BDH

AKS DRAWING FILE: 8344 P4 GRADING EROSION DEMOLITION | LAYOUT: P4.2

SEE SHEET P4.1



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DEMOLITION KEYED NOTES

1. SAWCUT EXISTING ASPHALT CONCRETE PAVEMENT FOR ROADWAY WIDENING (TYP).
2. EXTEND EXISTING STORMWATER CULVERT NORTHWEST ALONG ROADSIDE DITCH BEYOND ROADWAY WIDENING IMPACT.
3. RELOCATE EXISTING STOP AND ROAD NAME SIGN.
4. RELOCATE EXISTING GAS RISER AND ASSOCIATED SIGN. COORDINATE WITH UTILITY PROVIDER.

GRADING QUANTITIES

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STRIPPINGS (CUT): 38,200 C.Y.

NOTE: CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES FOR BID PURPOSES.

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LEGEND

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EXISTING OREGON WHITE OAK TO REMAIN	○
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TREE ROOT PROTECTION ZONE (1 FOOT RADIUS PER INCH DBH)	○
TREE PROTECTION/CONSTRUCTION FENCE	~ ~ ~ ~
SEDIMENT FENCE	x x x x
GRAVEL CONSTRUCTION ENTRANCE	▨
CATCH BASIN / INLET PROTECTION	□
CONCRETE WASHOUT	⊠
GRADING/DISTURBED LIMIT	- - - -
TEMPORARY STOCKPILE AREA	— — — —
STAGING/FUELING AREA	— — — —
TEMPORARY SEDIMENT TRAP	- - - -
FLOW ARROW	→

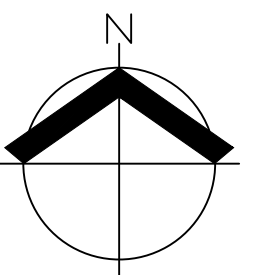
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P4.3

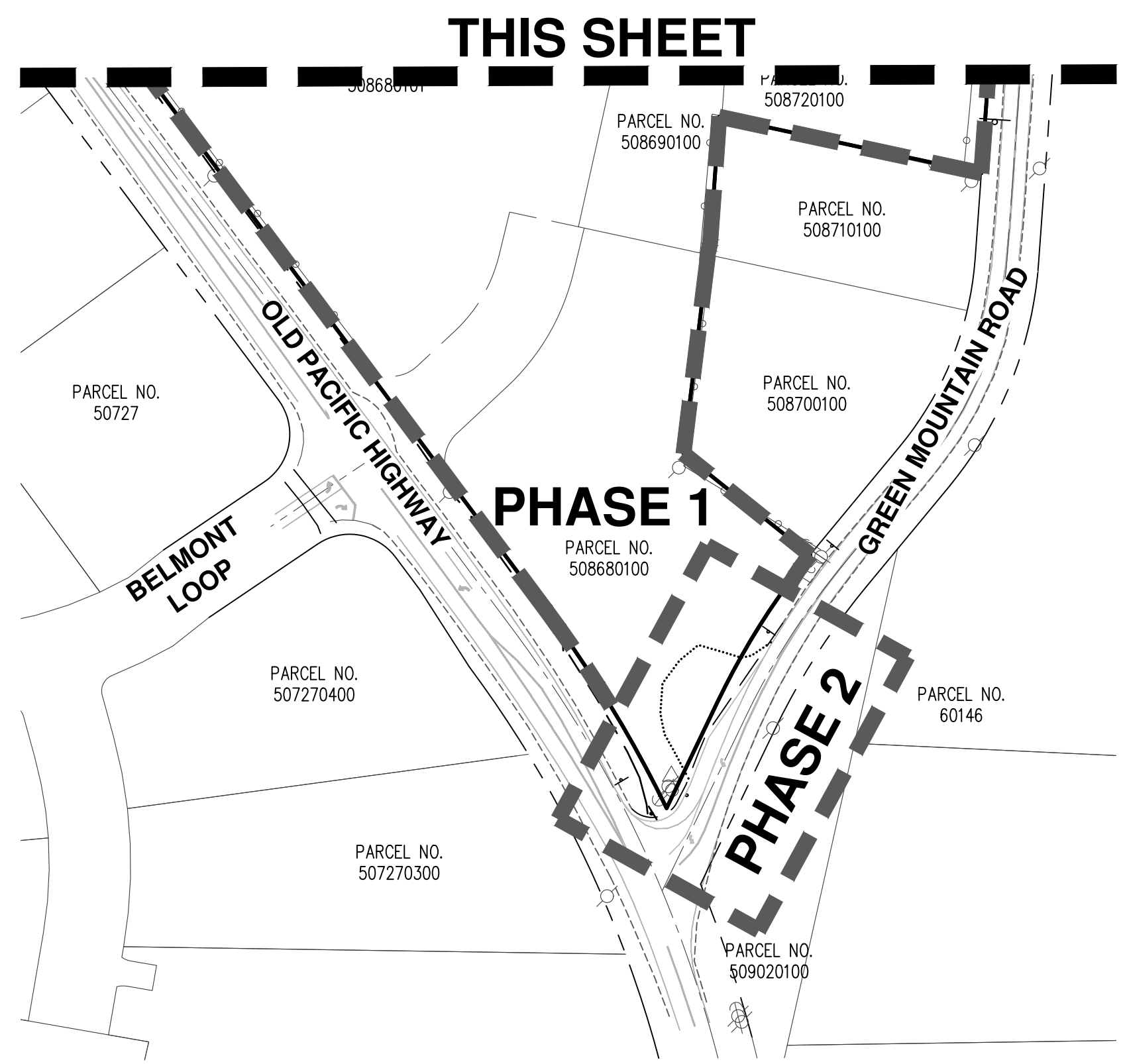
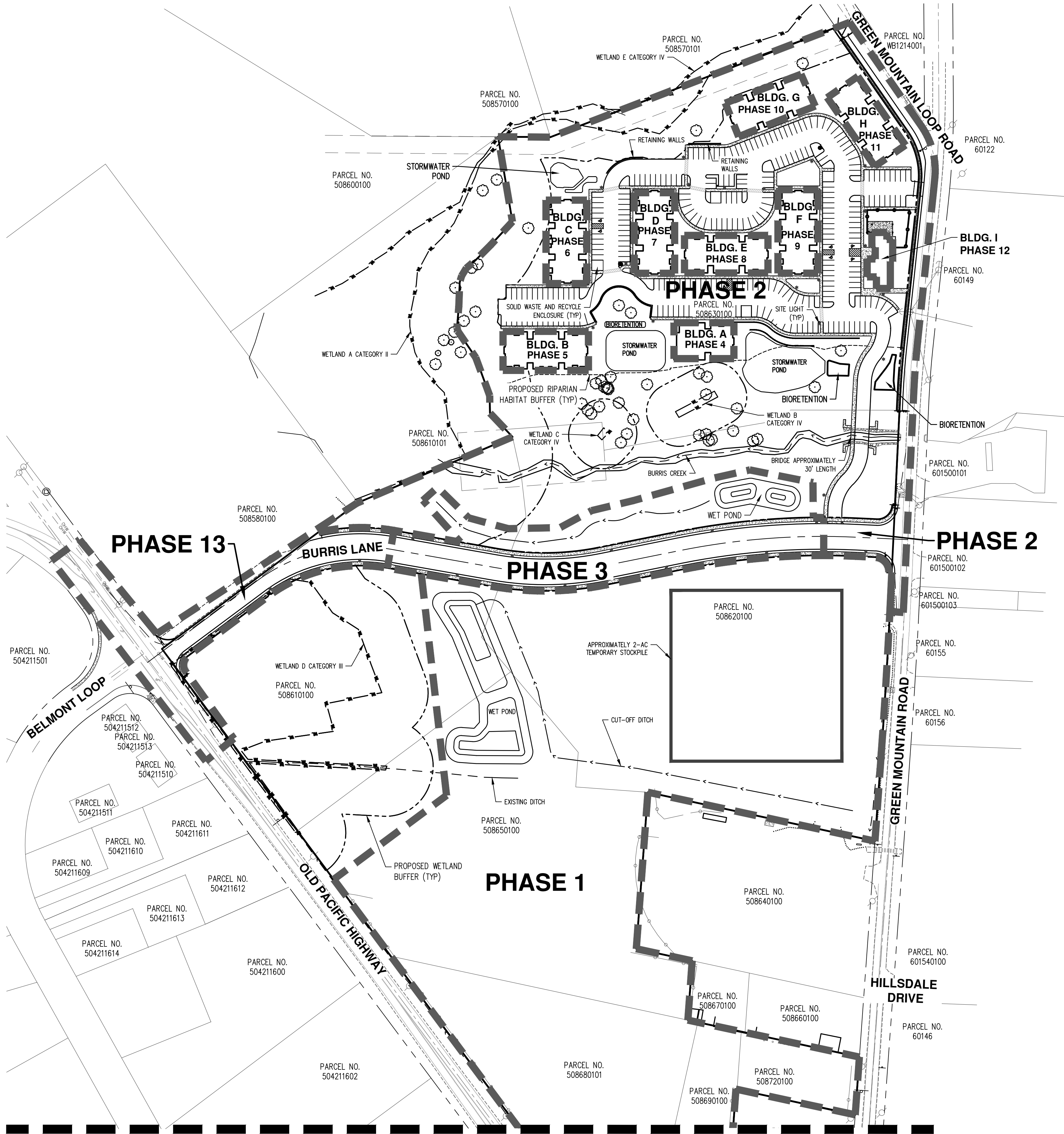


SCALE: 1" = 100 FEET
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PHASING NOTES

- PHASE 1: EARLY SITE GRADING AND TEMPORARY STOCKPILE ON PARCEL 508620100. INCLUDES AREAS WITHIN PHASES 1, 2, AND 3.
- PHASE 2: CONSTRUCT APARTMENT SITE INCLUDING GREEN MOUNTAIN ROAD AND GREEN MOUNTAIN LOOP ROAD FRONTAGES. CONSTRUCT EASTERN PORTION OF BURRIS LANE CONNECTING TO APARTMENT SITE AND OLD PACIFIC HIGHWAY / GREEN MOUNTAIN ROAD INTERSECTION IMPROVEMENTS. CONSTRUCT WATER AND SANITARY SEWER WITHIN BURRIS LANE AND APARTMENT SITE.
- PHASE 3: CONSTRUCT BURRIS LANE IMPROVEMENTS.
- PHASES 4-12: INDIVIDUAL APARTMENT BUILDINGS AND AMENITIES BUILDING.
- PHASE 13: CONSTRUCT BURRIS LANE FULL AND HALF-WIDTH IMPROVEMENTS AND OLD PACIFIC HIGHWAY TURN LANE.

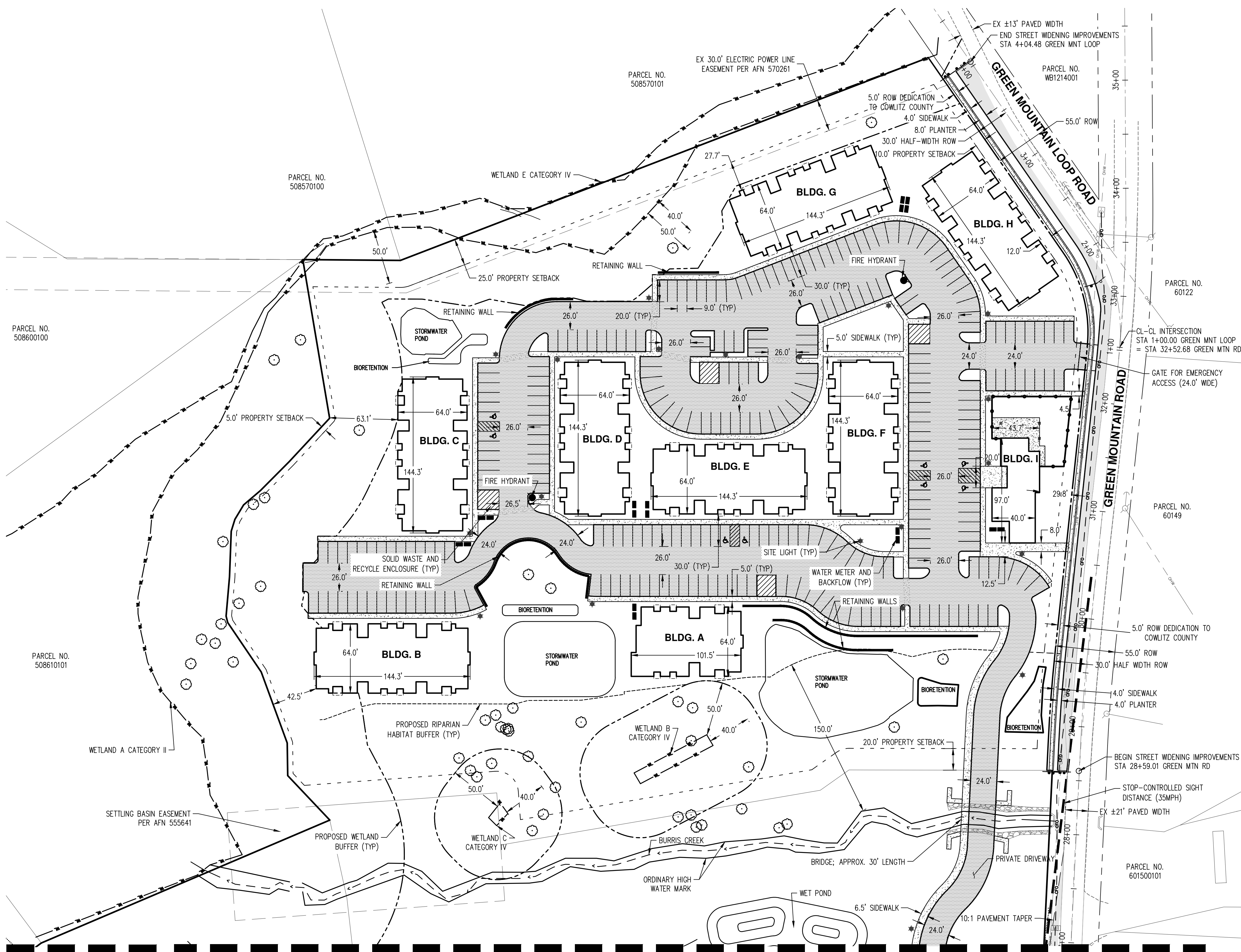
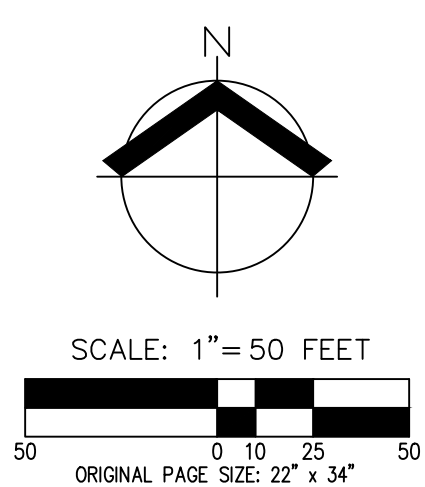
*PHASE NUMBERING DOES NOT INDICATE SEQUENCE OF CONSTRUCTION.



**PHASING PLAN
 OAK VILLAGE APARTMENTS
 41ST AVENUE LLC
 WOODLAND, WASHINGTON**



JOB NUMBER:	8344
DATE:	06/24/2021
DESIGNED BY:	TJW/BDH
DRAWN BY:	TJW
CHECKED BY:	BDH



GENERAL NOTES

- ROADWAY WIDENING AND FRONTAGE IMPROVEMENTS ARE PROPOSED FOR GREEN MOUNTAIN ROAD AND GREEN MOUNTAIN LOOP ROAD.
- STORMWATER QUALITY AND QUANTITY REQUIREMENTS WILL BE MET THROUGH THE USE OF BIORETENTION, WET PONDS, AND DETENTION PONDS.
- THE PROPOSED PROJECT INCLUDES THE CONSTRUCTION OF 8 APARTMENT BUILDINGS AND 1 AMENITIES BUILDING.
- THE PROPOSED BUILDINGS WILL BE CONNECTED TO PUBLIC WATER AND SANITARY SEWER PROVIDED BY THE CITY OF WOODLAND.
- PROPOSED LIGHTING AND LANDSCAPING NOT SHOWN FOR CLARITY. SEE SHEETS P9.0 - P9.3 FOR PRELIMINARY LANDSCAPE AND LIGHTING PLAN.
- PARKING REQUIREMENTS WERE DETERMINED PER WOODLAND MUNICIPAL CODE SECTION 17.56.050, ASSUMING ALL UNITS WILL BE ONE OR TWO BEDROOM.
- THERE ARE NO OUTDOOR STORAGE AREAS PROPOSED ON SITE.
- TWO FIRE HYDRANT LOCATIONS ARE PROPOSED AS SHOWN ON THE RESIDENTIAL SITE.
- SEE TYPICAL ROADWAY SECTIONS ON SHEET P6.4.
- GREEN MOUNTAIN ROAD RIGHT-OF-WAY SOUTHWEST OF THE SHARED PROPERTY BOUNDARY BETWEEN PARCELS 508680100 AND 508700100 IS CITY OF WOODLAND JURISDICTION. NORTHEAST OF THIS POINT GREEN MOUNTAIN ROAD AND GREEN MOUNTAIN LOOP ROAD RIGHT-OF-WAY ARE COWLITZ COUNTY JURISDICTION. ALL PARCELS WEST OF GREEN MOUNTAIN ROAD AND GREEN MOUNTAIN LOOP ROAD RIGHT-OF-WAY ARE CITY OF WOODLAND JURISDICTION.
- THE PROPERTY IS NOT KNOWN TO BE LOCATED WITHIN THE 100-YEAR FLOOD PLAIN.
- STORMWATER FACILITIES ON PRIVATE SITE SHALL BE PRIVATELY OWNED AND MAINTAINED. AN ACCESS AND INSPECTION EASEMENT WITH DEFINED EXTENTS OR IN THE FORM OF A COVENANT RUNNING WITH THE LAND SHALL BE GRANTED TO THE CITY OF WOODLAND.
- PROPOSED WATER MAINS, STRUCTURES, AND HYDRANTS OUTSIDE PUBLIC RIGHT-OF-WAY WILL BE LOCATED WITHIN MINIMUM 15' WIDE EASEMENTS TO THE CITY OF WOODLAND. THESE ARE NOT DISPLAYED ON THIS PLAN FOR CLARITY.
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- A PRIVATE TEMPORARY CONSTRUCTION EASEMENT IS PROPOSED ALONG THE SHARED PROPERTY LINE WITH PARCEL 508580100 FOR THE INSTALLATION OF THE PROPOSED WATER MAIN (17.5'

BUILDING INFORMATION

BUILDING	FOOTPRINT (SF)	STORIES	UNITS
A	5,967	3	18
B	8,137	3	24
C	8,137	3	24
D	8,137	3	24
E	8,137	3	24
F	8,137	3	24
G	8,137	3	24
H	8,137	3	24
I	3,443	1	NA (AMENITIES BUILDING)

SEE SHEET P6.2

SEE SHEET P6.1

OVERALL SITE STATISTICS

GROSS AREA:	1,510,870	SF	(34.68 AC)
ROW AREA:	504,433	SF	(11.58 AC)
NET AREA:	1,006,437	SF	(23.10 AC)
IMPERVIOUS AREA:	280,090	SF	(6.43 AC) (27.8%)
LANDSCAPING AREA:	445,507	SF	(10.22 AC) (44.3%)
CRITICAL AREA:	280,840	SF	(6.45 AC) (27.9%)

RESIDENTIAL SITE STATISTICS (PARCEL 508630-100)

GROSS AREA:	424,842	SF	(9.75 AC)
ROW AREA:	3,528	SF	(0.08 AC)
NET AREA:	421,314	SF	(9.67 AC)
IMPERVIOUS AREA:	192,970	SF	(4.43 AC) (45.8%)
LANDSCAPING AREA:	93,633	SF	(2.15 AC) (22.2%)
CRITICAL AREA:	134,711	SF	(3.09 AC) (32.0%)
*PARKING AREA:	105,789	SF	(2.43 AC) (25.1%)
*LOT COVERAGE AREA (BUILDING AREA)	66,369	SF	(1.52 AC) (15.8%)

*INCLUDED IN IMPERVIOUS AREA

RESIDENTIAL SITE PARKING STATISTICS (PARCEL 508630-100)

REQUIRED: SEE NOTE 6	
REQUIRED MULTIFAMILY PARKING STALLS (1.5/UNIT*186 UNITS):	279
PROPOSED STANDARD PARKING STALLS (9' X 20'):	271
*PROPOSED ADA PARKING STALLS (9' X 20'):	8
TOTAL PROPOSED PARKING STALLS:	279

*INCLUDES 2 ADA VAN PARKING STALLS

SURFACING LEGEND

NEW PRIVATE AC PAVEMENT	
NEW PUBLIC AC PAVEMENT	
NEW CEMENT CONCRETE SIDEWALK	

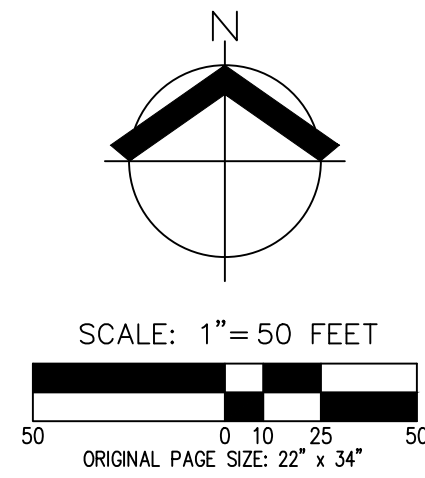
**PROPOSED DEVELOPMENT PLAN
 OAK VILLAGE APARTMENTS
 41ST AVENUE LLC
 WOODLAND, WASHINGTON**



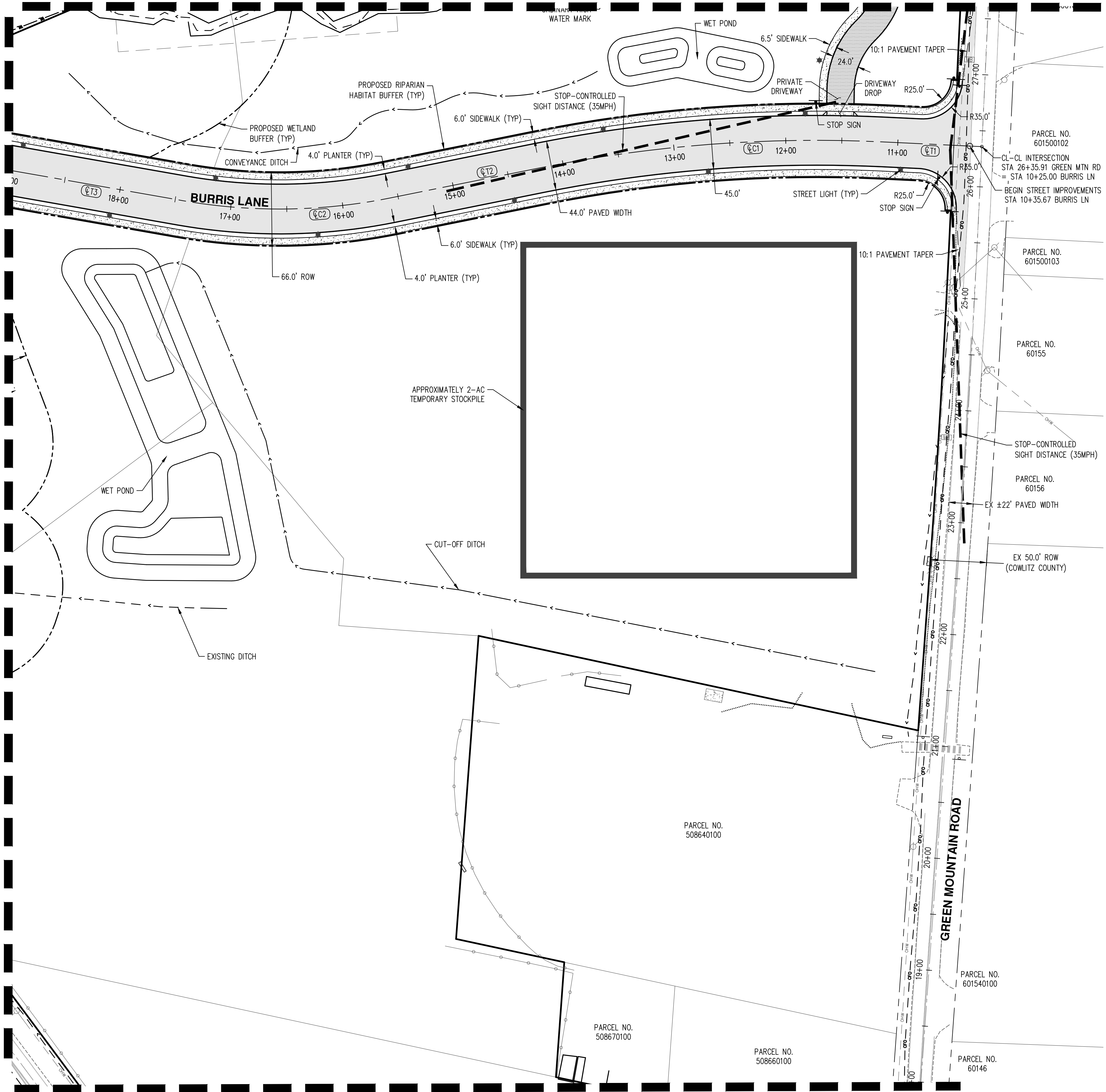
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P6.0

SEE SHEET P6.0



SEE SHEET P6.2



SEE SHEET P6.3

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CURVE/TANGENT	STATION	RADIUS	LENGTH	DELTA	CHORD	TANGENT/CHORD BEARING
Q/T1	10+25.00		88.40'			N87°16'40"W
Q/C1	11+13.40	1250.00'	307.44'	14°05'31"	306.66	S85°40'34"W
Q/T2	14+20.84		136.60'			S78°37'49"W
Q/C2	15+57.44	500.00'	186.17'	21°19'59"	185.09	S89°17'49"W
Q/T3	17+43.61		182.81'			N80°02'12"W
Q/C3	19+26.41	300.00'	244.31'	46°39'36"	237.62	S76°38'00"W
Q/T4	21+70.72		231.36'			S53°18'13"W

SURFACING LEGEND

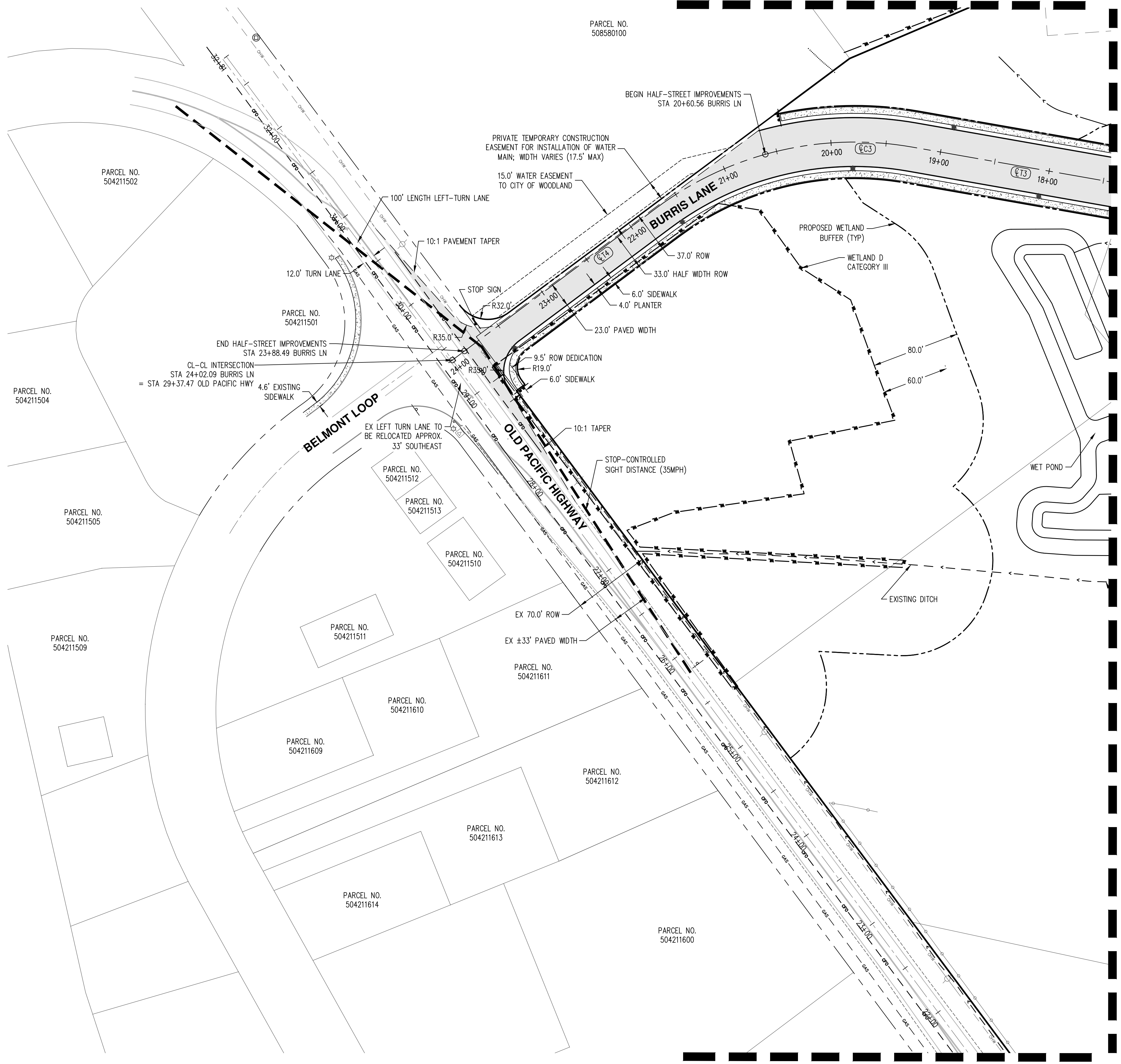
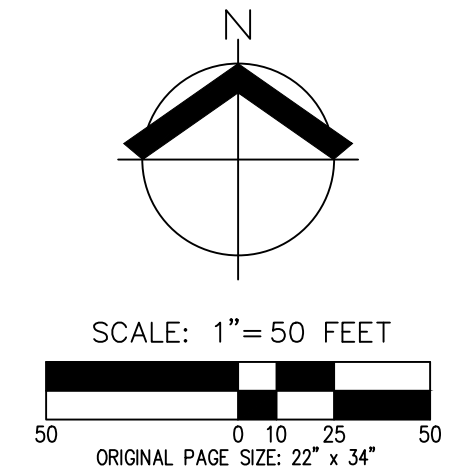
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 OAK VILLAGE APARTMENTS
 41ST AVENUE LLC
 WOODLAND, WASHINGTON**



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 DATE: 06/24/2021
 DESIGNED BY: T.J.W./BDH
 DRAWN BY: T.J.W.
 CHECKED BY: BDH

SEE SHEET P6.0



SEE SHEET P6.1

SEE SHEET P6.3

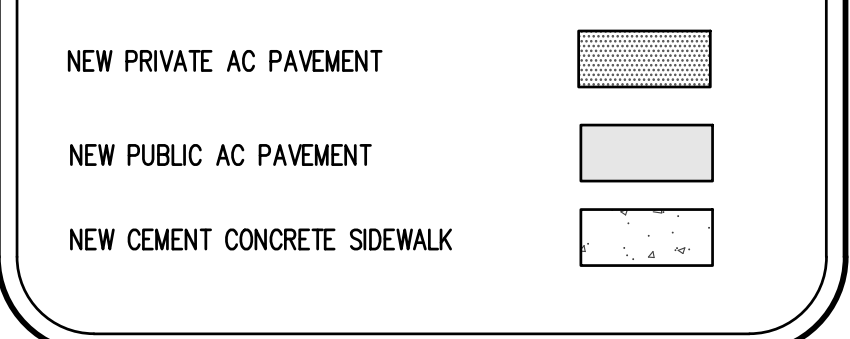
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SURFACING LEGEND



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WOODLAND, WASHINGTON**

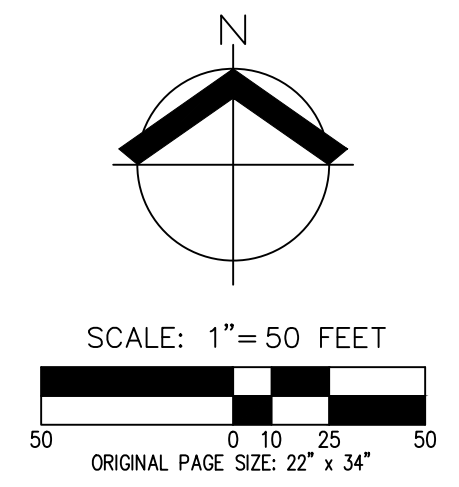


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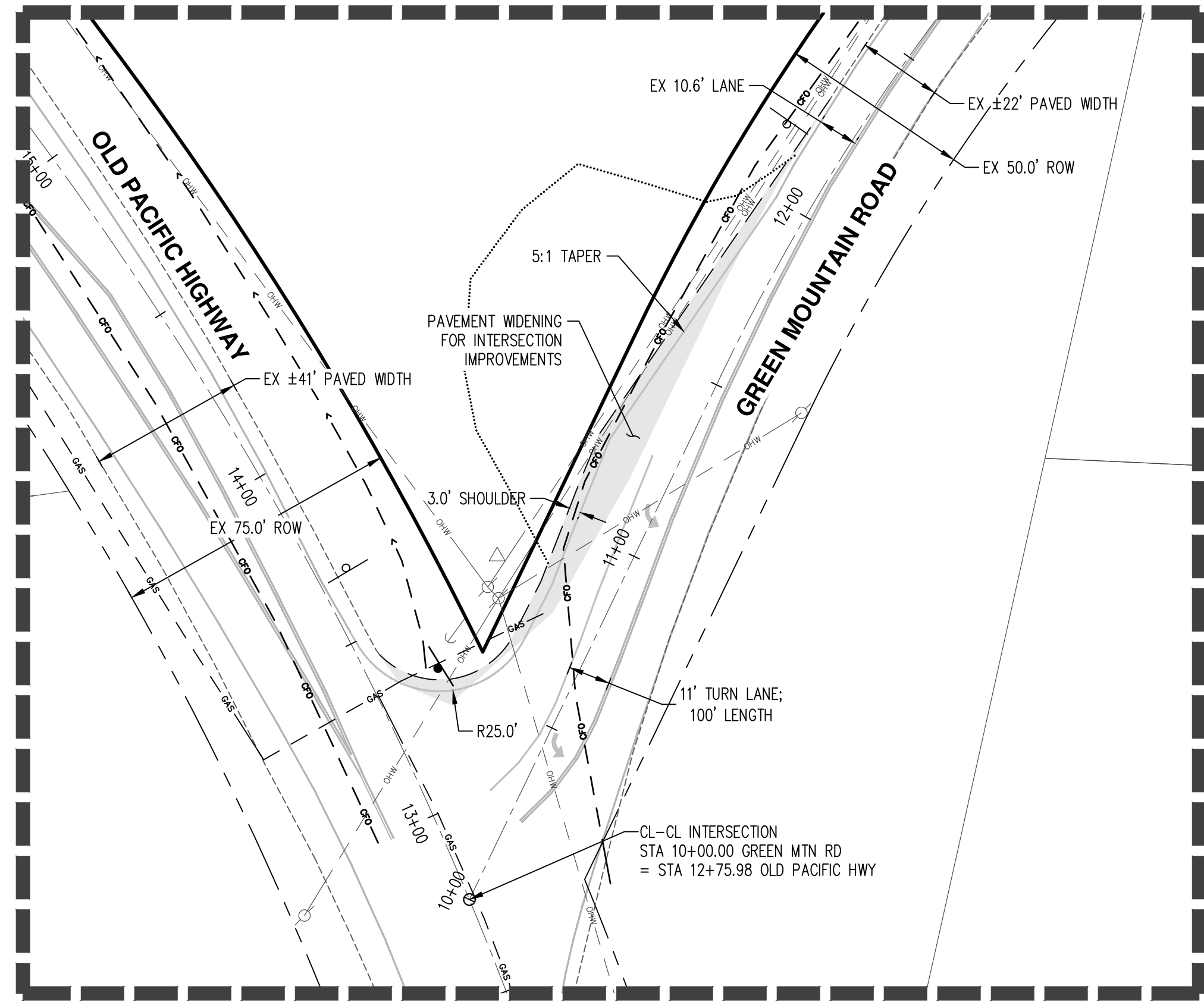
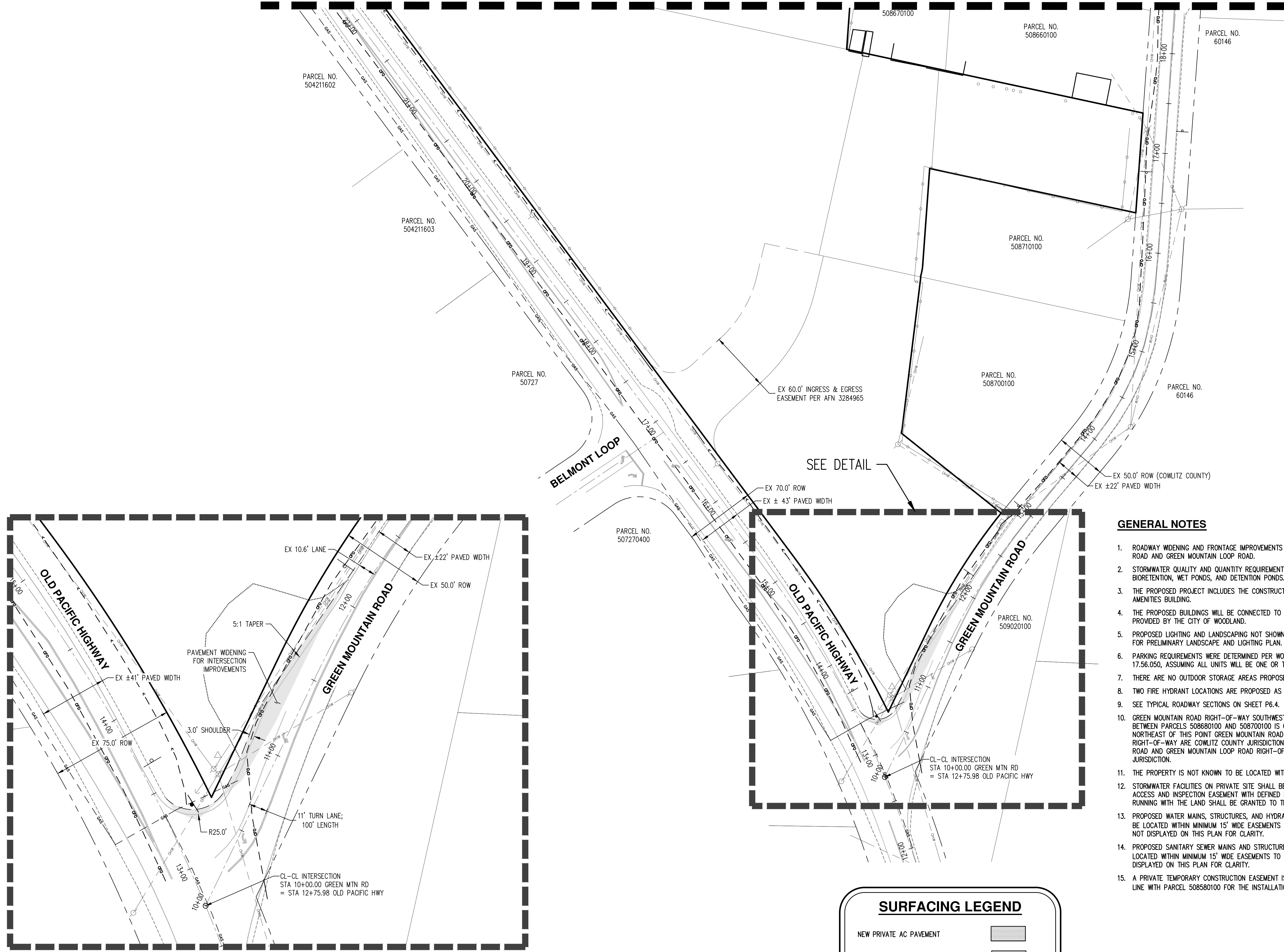
P6.2

AKS
AKS ENGINEERING & FORESTRY, LLC
9600 NE 176TH AVE, STE 2520
VANCOUVER, WA 98682
360.882.0419
WWW.AKS-ENG.COM
ENGINEERING • SURVEYING • NATURAL RESOURCES
FORESTRY • PLANNING • LANDSCAPE ARCHITECTURE

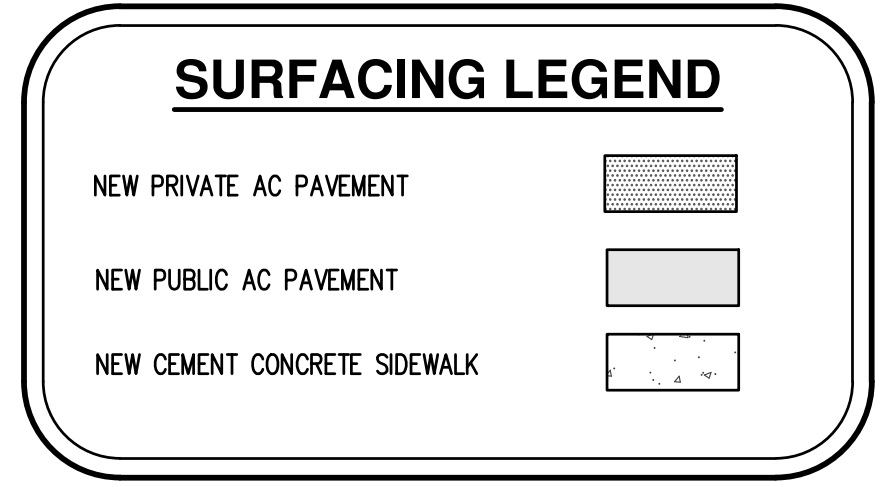
SEE SHEET P6.1



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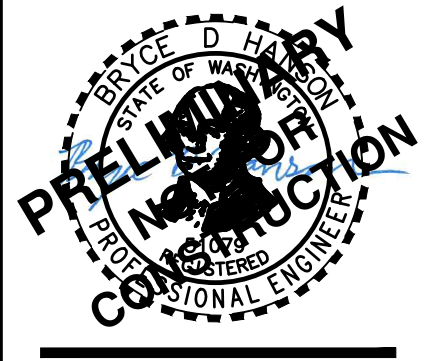
DETAIL
SCALE: 1" = 30'



GENERAL NOTES

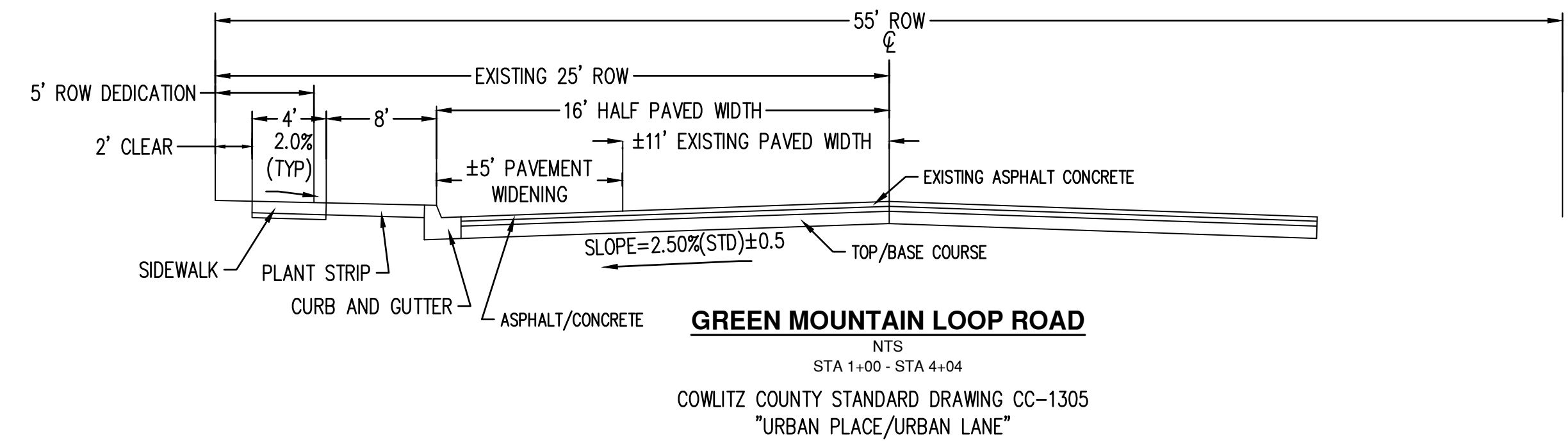
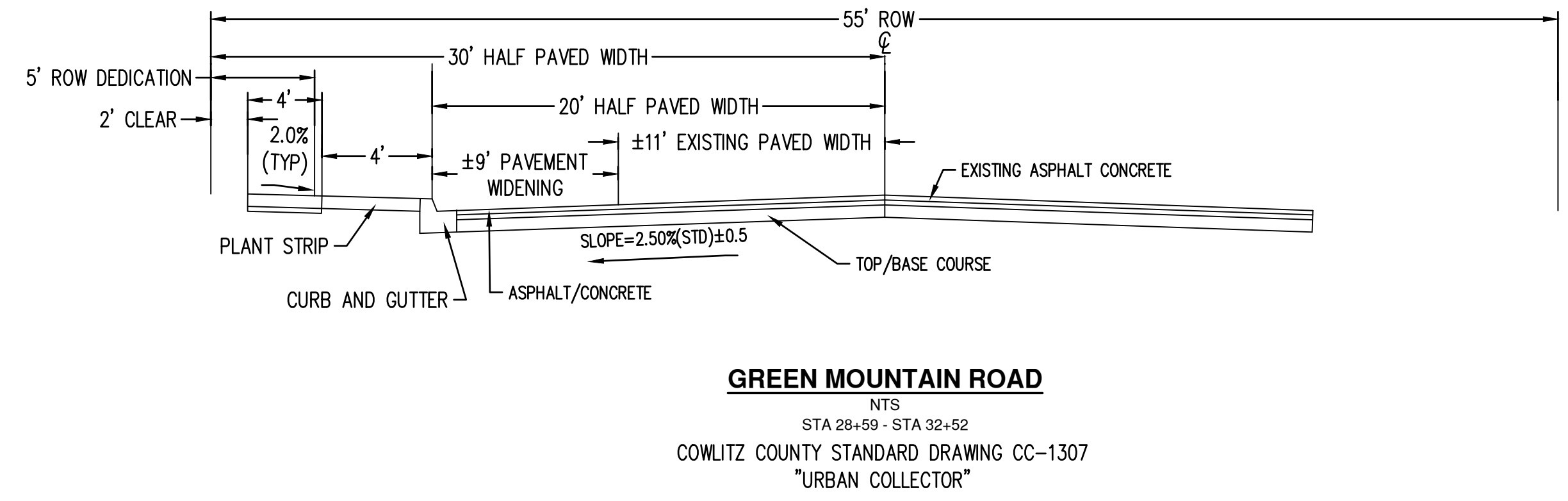
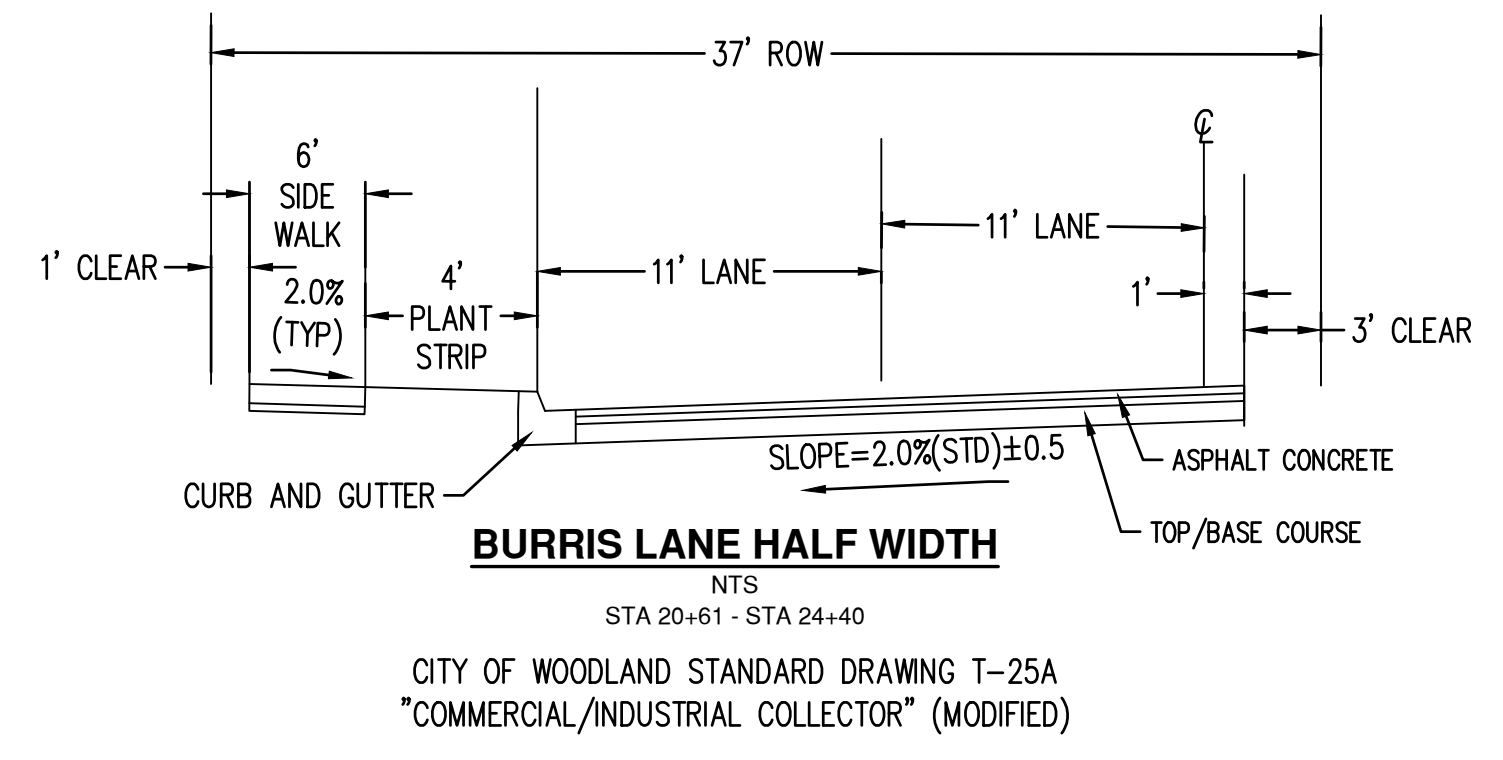
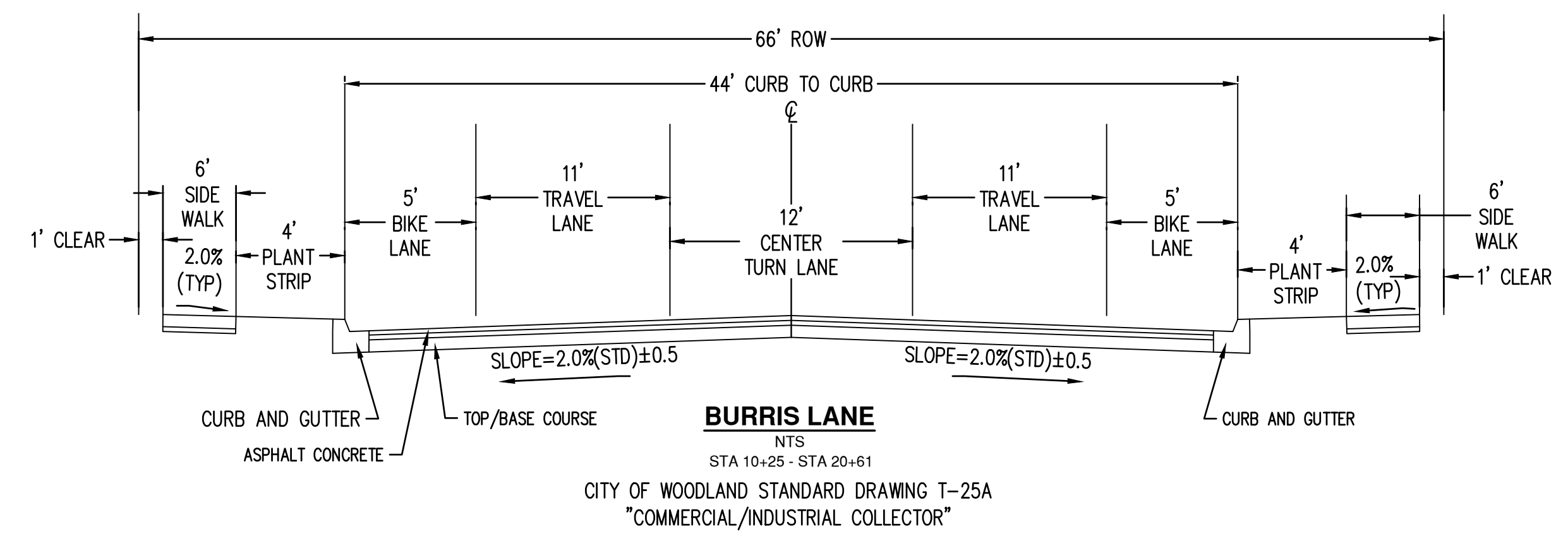
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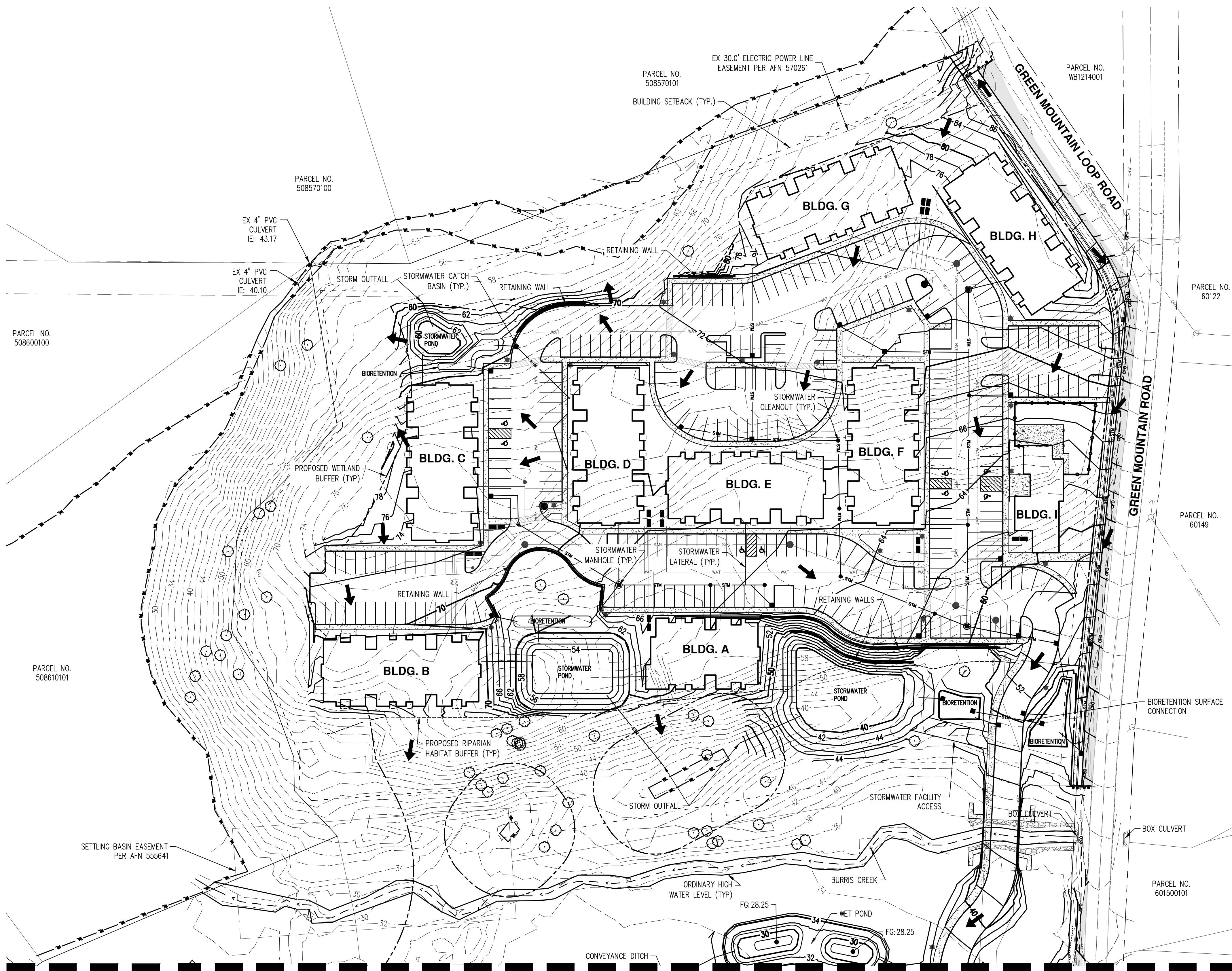
P6.3



PROPOSED DEVELOPMENT STREET DETAILS PLAN
OAK VILLAGE APARTMENTS
41ST AVENUE LLC
WOODLAND, WASHINGTON

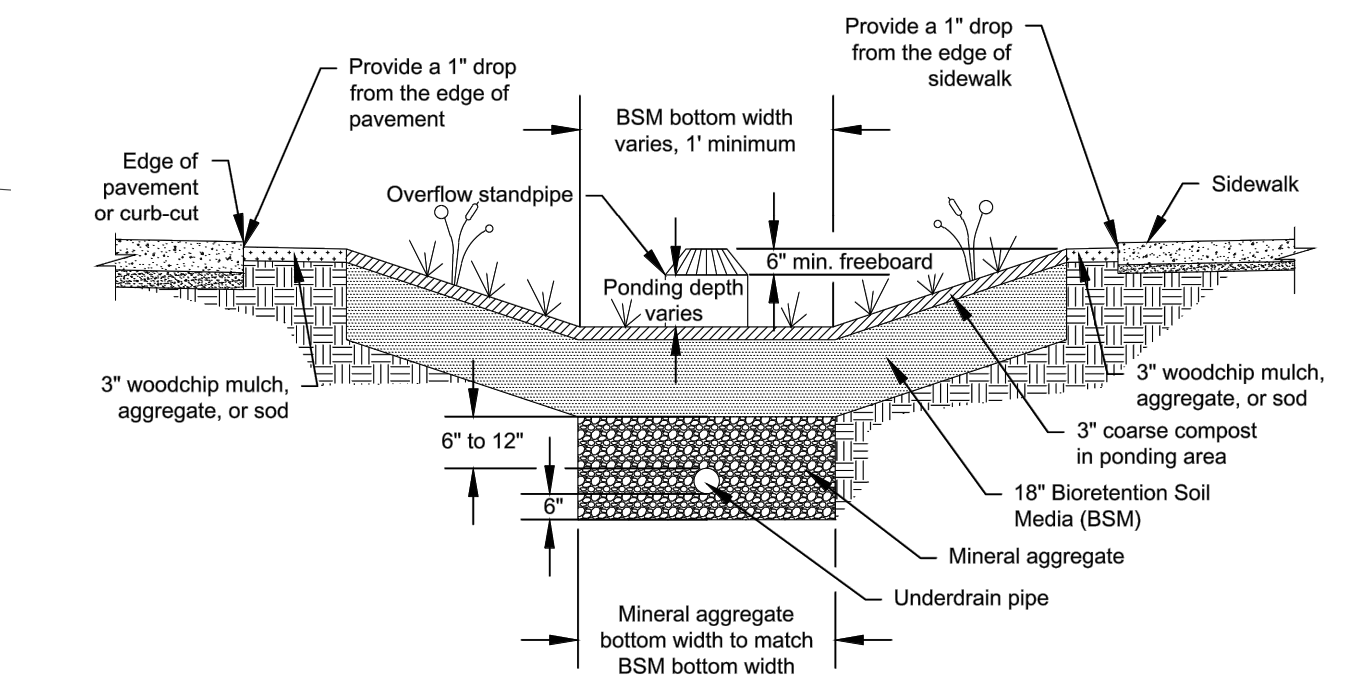
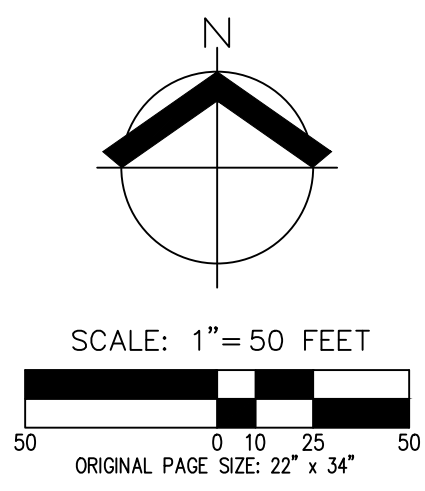


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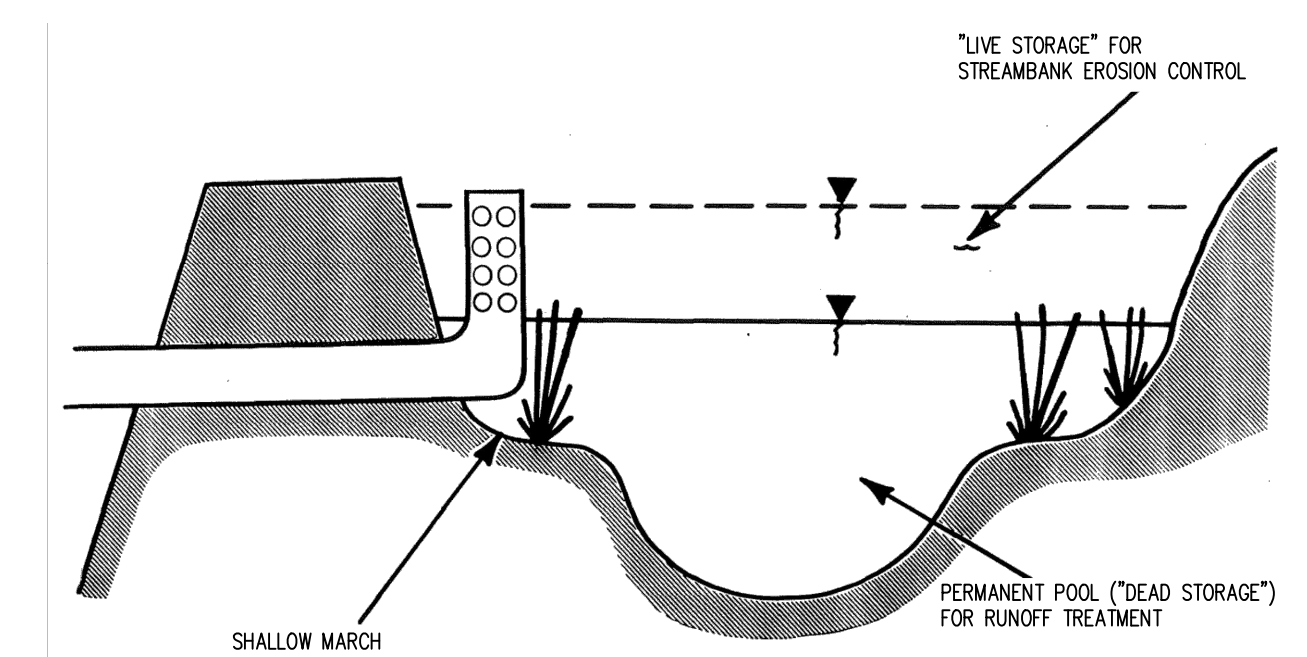


GENERAL NOTES

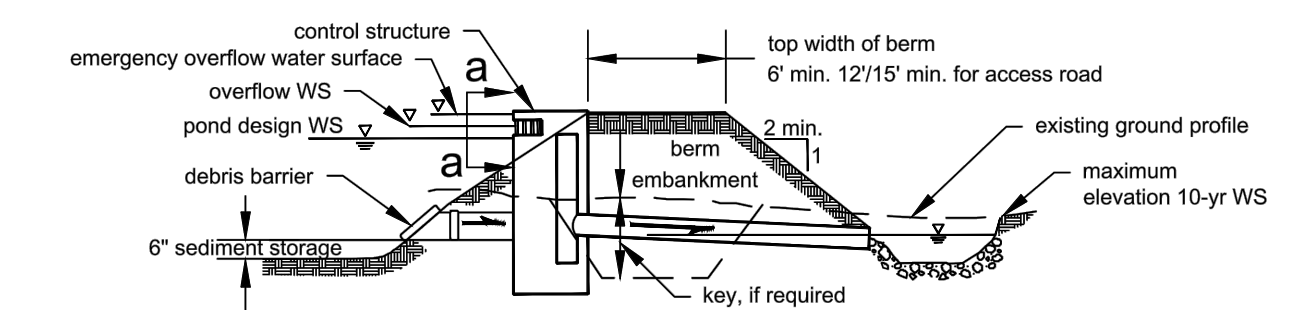
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2. STORMWATER WILL BE TREATED, DETAINED, AND HAVE A METERED DISCHARGE TO NATURAL DOWNSTREAM FLOW PATHS.
3. STORMWATER LINES THROUGHOUT RESIDENTIAL PARCEL SHALL BE MINIMUM 5' FROM SANITARY SEWER AND WATER LINE.
4. STORMWATER FACILITIES ON PRIVATE SITE SHALL BE PRIVATELY OWNED AND MAINTAINED. AN ACCESS AND INSPECTION EASEMENT WITH DEFINED EXTENTS OR IN THE FORM OF A COVENANT RUNNING WITH THE LAND SHALL BE GRANTED TO THE CITY OF WOODLAND.
5. GREEN MOUNTAIN ROAD AND GREEN MOUNTAIN LOOP ROAD FRONTAGE RUNOFF TO BE COLLECTED AND ROUTED TO ON-SITE STORMWATER FACILITIES FOR TREATMENT AND FLOW CONTROL.
6. SEE PRELIMINARY TECHNICAL INFORMATION REPORT (JUNE 2021) FOR MORE INFORMATION.
7. STORMWATER RUNOFF FROM BURRIS LANE TO BE CONVEYED TO PRIVATE TEMPORARY WET POND FOR TREATMENT AND FLOW CONTROL. TEMPORARY WET POND TO BE RELOCATED WITH FUTURE DEVELOPMENT OF COMMERCIAL PROPERTIES UNDER A SEPARATION PERMIT.



BIORETENTION
NTS



WET POND
NTS



DETENTION POND
NTS

LEGEND	
EXISTING GROUND CONTOUR (2 FT)	---102---
EXISTING GROUND CONTOUR (10 FT)	---110---
FINISHED GRADE CONTOUR (2 FT)	---102---
FINISHED GRADE CONTOUR (10 FT)	---110---
DRAINAGE FLOW DIRECTION	→

SEE SHEET P7.2

SEE SHEET P7.1

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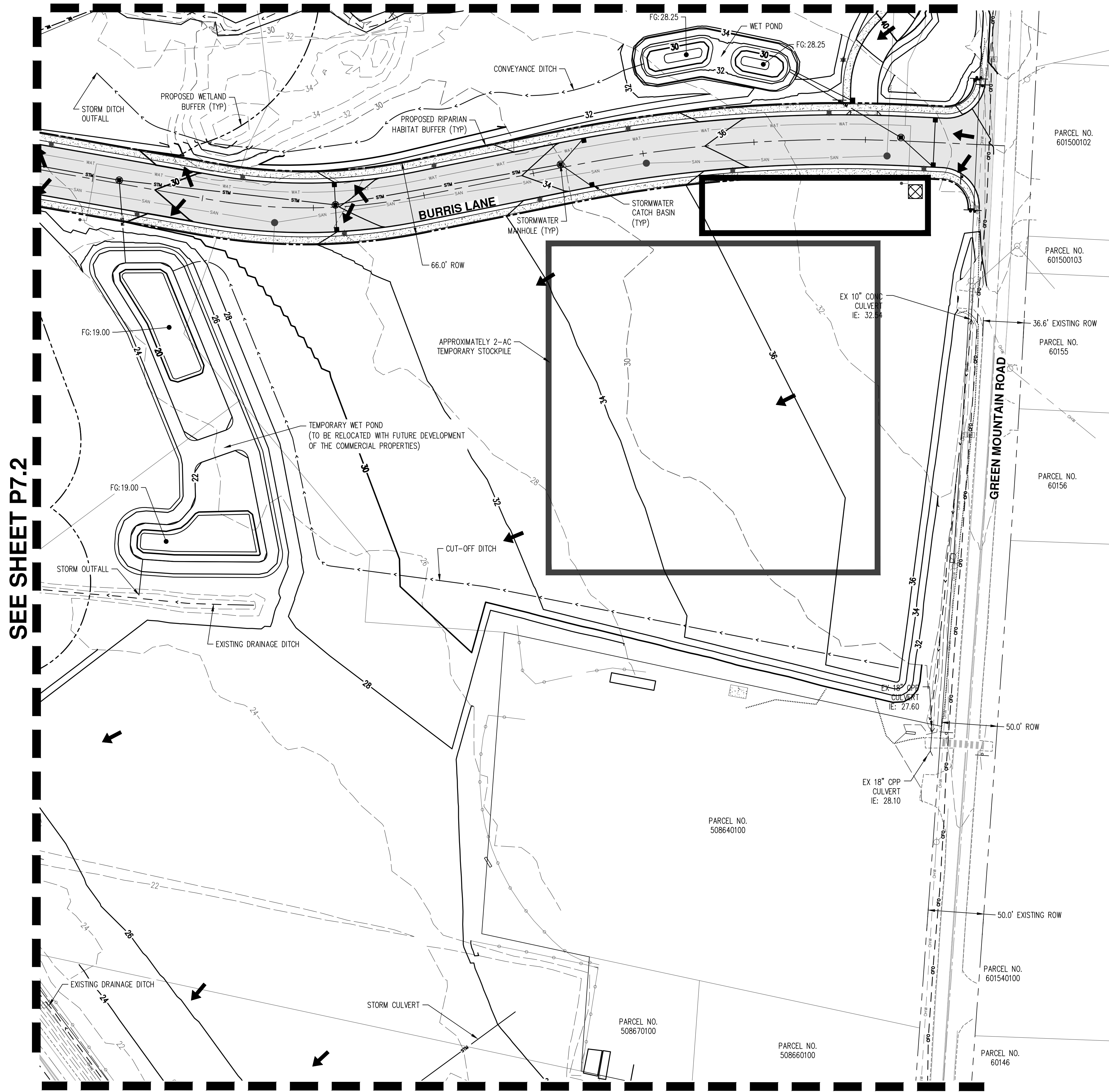
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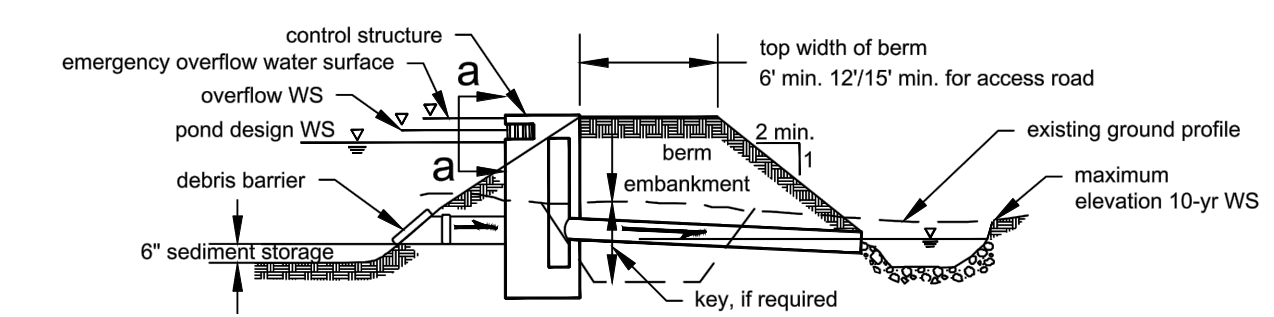
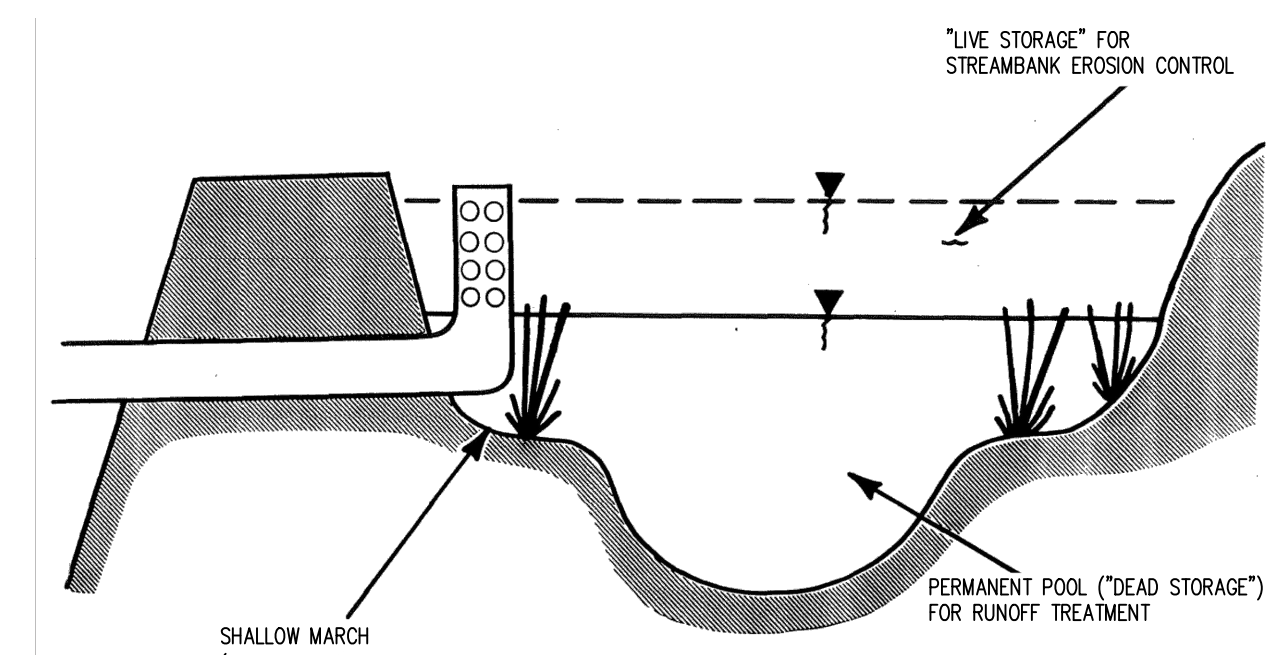
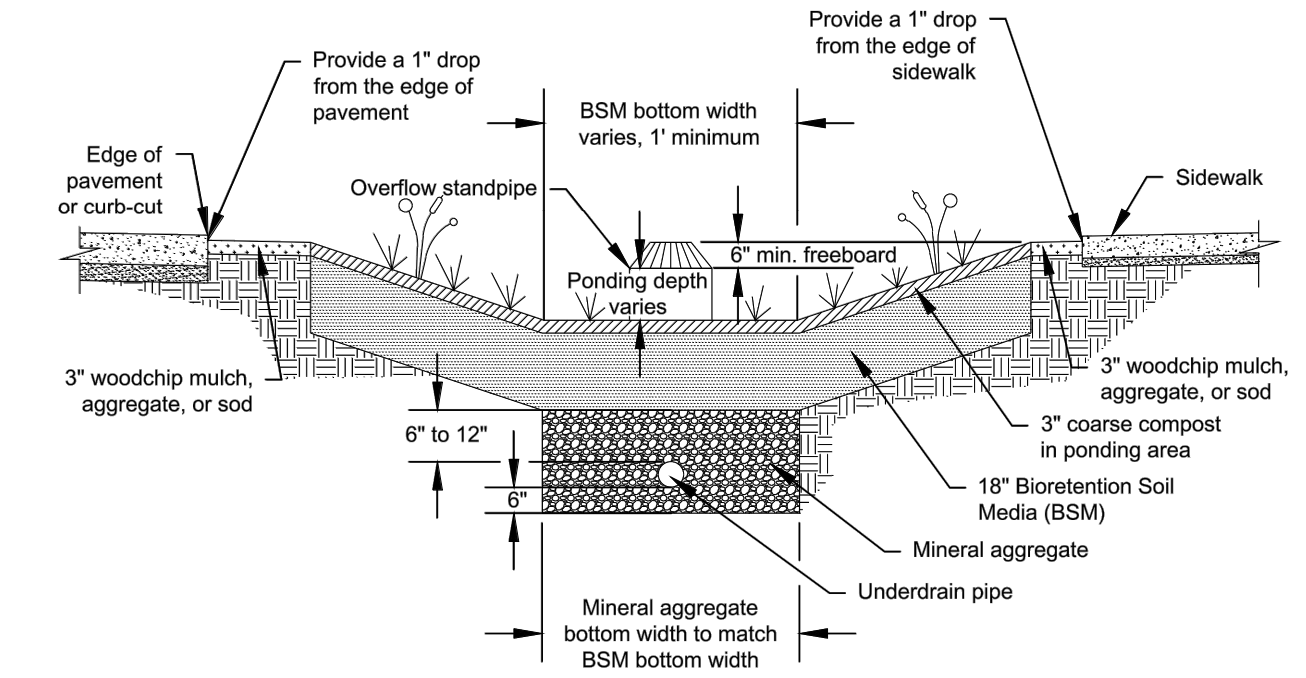
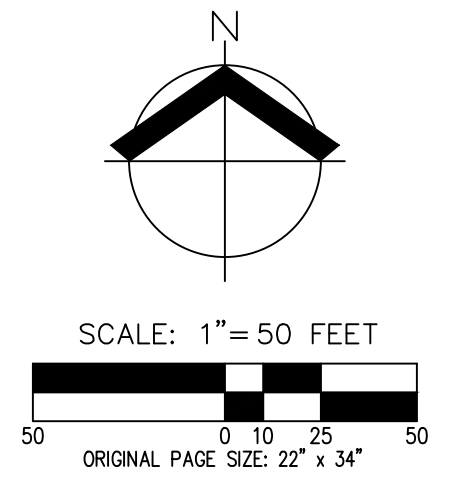
P7.0

SEE SHEET P7.0



GENERAL NOTES

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2. STORMWATER WILL BE TREATED, DETAINED, AND HAVE A METERED DISCHARGE TO NATURAL DOWNSTREAM FLOW PATHS.
3. STORMWATER LINES THROUGHOUT RESIDENTIAL PARCEL SHALL BE MINIMUM 5' FROM SANITARY SEWER AND WATER LINE.
4. STORMWATER FACILITIES ON PRIVATE SITE SHALL BE PRIVATELY OWNED AND MAINTAINED. AN ACCESS AND INSPECTION EASEMENT WITH DEFINED EXTENTS OR IN THE FORM OF A COVENANT RUNNING WITH THE LAND SHALL BE GRANTED TO THE CITY OF WOODLAND.
5. GREEN MOUNTAIN ROAD AND GREEN MOUNTAIN LOOP ROAD FRONTAGE RUNOFF TO BE COLLECTED AND ROUTED TO ONSITE STORMWATER FACILITIES FOR TREATMENT AND FLOW CONTROL.
6. SEE PRELIMINARY TECHNICAL INFORMATION REPORT (JUNE 2021) FOR MORE INFORMATION.
7. STORMWATER RUNOFF FROM BURRIS LANE TO BE CONVEYED TO PRIVATE TEMPORARY WET POND FOR TREATMENT AND FLOW CONTROL. TEMPORARY WET POND TO BE RELOCATED WITH FUTURE DEVELOPMENT OF COMMERCIAL PROPERTIES UNDER A SEPARATE PERMIT.
8. THE MAJORITY OF STORMWATER RUNOFF FROM PROPOSED GREEN MOUNTAIN ROAD INTERSECTION IMPROVEMENTS WILL BE COLLECTED WITHIN BURRIS LANE AND CONVEYED TO PRIVATE TEMPORARY WET POND FOR TREATMENT AND FLOW CONTROL. A NEGLIGIBLE AMOUNT OF RUNOFF FROM PAVEMENT TAPERS, UNABLE TO BE CAPTURED, WILL ENTER THE EXISTING ROADSIDE DITCH. TEMPORARY WET POND TO BE RELOCATED WITH FUTURE DEVELOPMENT OF COMMERCIAL PROPERTIES UNDER SEPARATE PERMIT.



LEGEND

EXISTING GROUND CONTOUR (2 FT)	---102---
EXISTING GROUND CONTOUR (10 FT)	---110---
FINISHED GRADE CONTOUR (2 FT)	---102---
FINISHED GRADE CONTOUR (10 FT)	---110---
DRAINAGE FLOW DIRECTION	→

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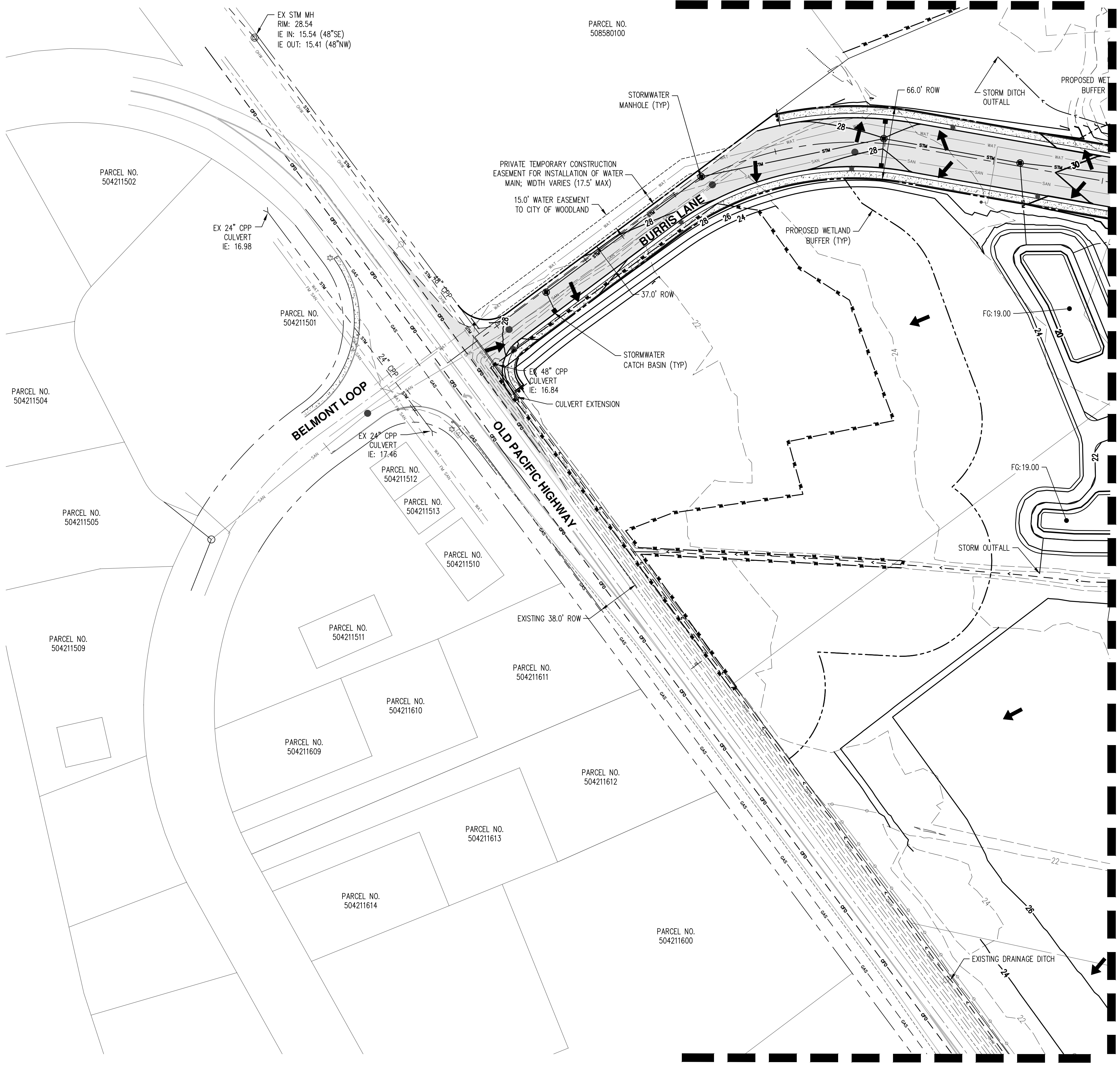
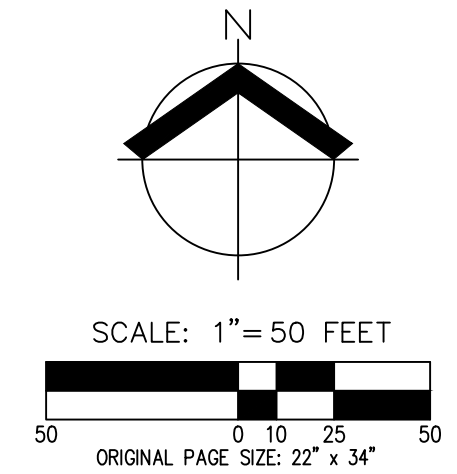
PRELIMINARY STORMWATER PLAN
OAK VILLAGE APARTMENTS
41ST AVENUE LLC
WOODLAND, WASHINGTON



JOB NUMBER:	8344
DATE:	06/24/2021
DESIGNED BY:	TJW/BDH
DRAWN BY:	TJW
CHECKED BY:	BDH

P7.1

SEE SHEET P7.0



SEE SHEET P7.1

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SEE SHEET P7.3

LEGEND	
EXISTING GROUND CONTOUR (2 FT)	---102---
EXISTING GROUND CONTOUR (10 FT)	---110---
FINISHED GRADE CONTOUR (2 FT)	---102---
FINISHED GRADE CONTOUR (10 FT)	---110---
DRAINAGE FLOW DIRECTION	→

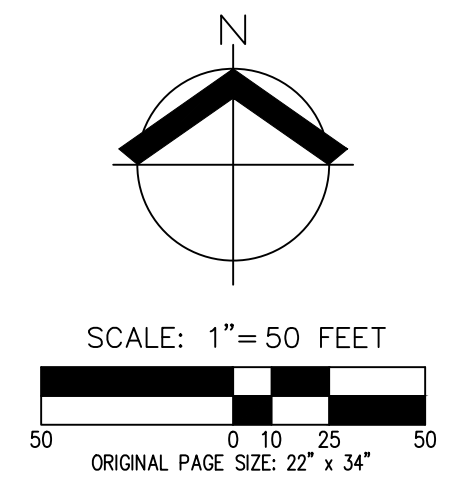
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P7.2

SEE SHEET P7.1



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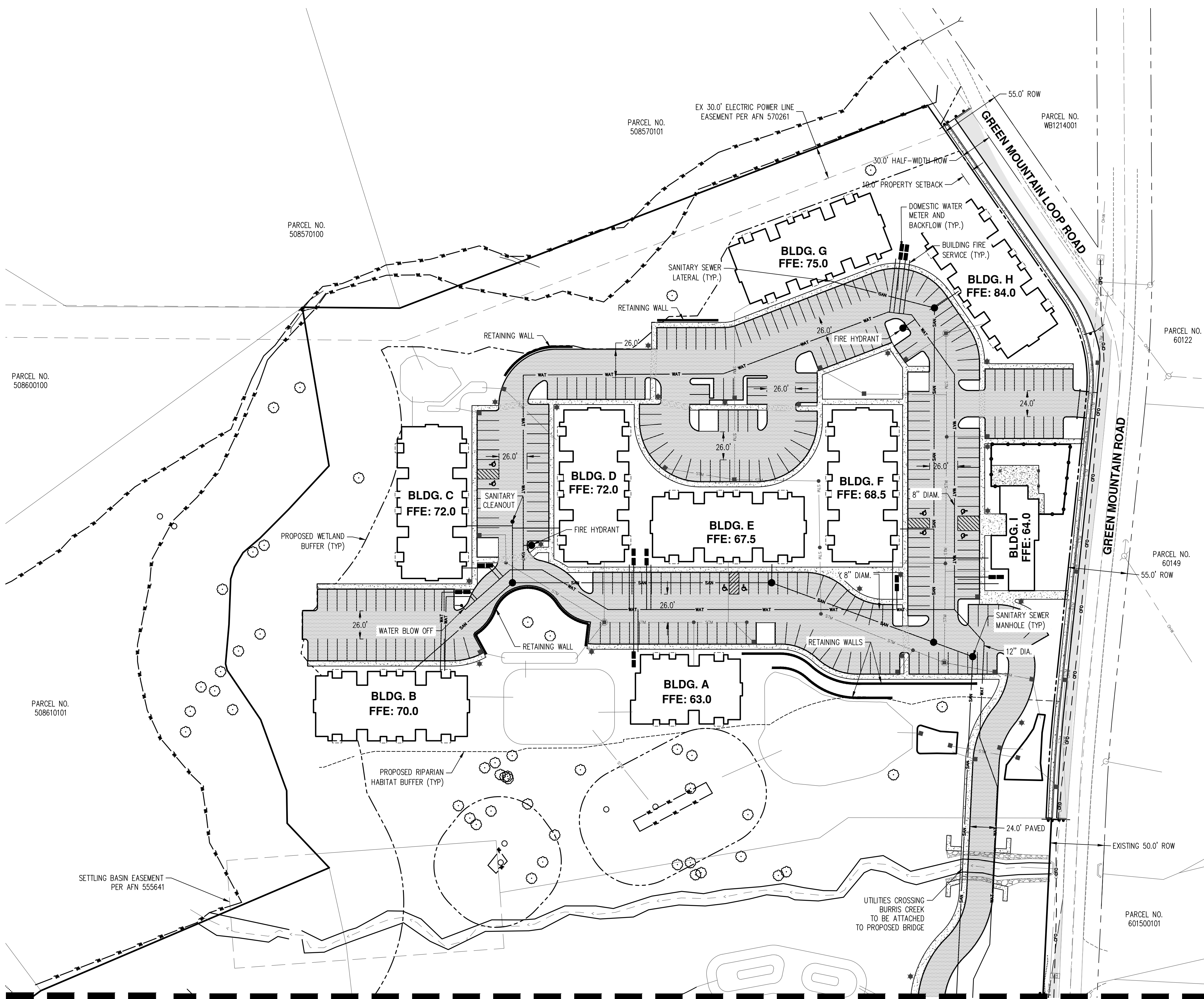
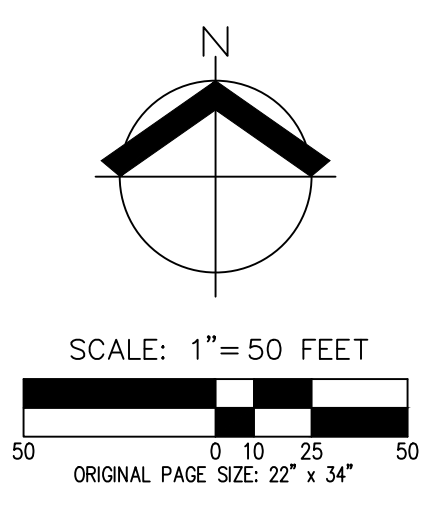
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**PRELIMINARY STORMWATER PLAN
OAK VILLAGE APARTMENTS
41ST AVENUE LLC
WOODLAND, WASHINGTON**



LEGEND	
EXISTING GROUND CONTOUR (2 FT)	--- -102 ---
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DRAINAGE FLOW DIRECTION	→

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GENERAL NOTES

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2. DOMESTIC WATER AND FIRE SERVICES PROPOSED FOR EACH BUILDING AS SHOWN. FIRE SERVICE BACKFLOWS AND FIRE DEPARTMENT CONNECTIONS WILL BE DETAILED IN FINAL ENGINEERING.
3. A WATER CONNECTION IS PROPOSED TO THE CITY OF WOODLAND WATER SYSTEM AT THE EXISTING 12" PVC MAIN WITHIN THE INTERSECTION OF OLD PACIFIC HIGHWAY AND BELMONT LOOP.
4. A SANITARY SEWER CONNECTION IS PROPOSED TO THE CITY OF WOODLAND SEWER SYSTEM AT EXISTING MANHOLE INSTALLED UNDER PACIFIC PARK CENTER 2 DEVELOPMENT (LIFT STATION #12). CONNECTION TO EXISTING LIFT STATION PROPOSED PENDING CAPACITY ANALYSIS. IF EXISTING FACILITY LACKS CAPACITY, EXISTING LIFT STATION WILL BE UPGRADED OR NEW LIFT STATION WILL BE DESIGNED AND PROPOSED WITH FINAL ENGINEERING. IT IS ASSUMED THAT ONE BUILDING (MINIMUM) CAN BE SERVED BY LIFT STATION #12.
5. PROPOSED WATER MAIN IN BURRIS LANE TO BE 12" PVC.
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10. PROPOSED WATER MAINS, STRUCTURES, AND HYDRANTS OUTSIDE PUBLIC RIGHT-OF-WAY WILL BE LOCATED WITHIN MINIMUM 15' WIDE EASEMENTS TO THE CITY OF WOODLAND. THESE ARE NOT DISPLAYED ON THIS PLAN FOR CLARITY.
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SEE SHEET P8.2

SEE SHEET P8.1

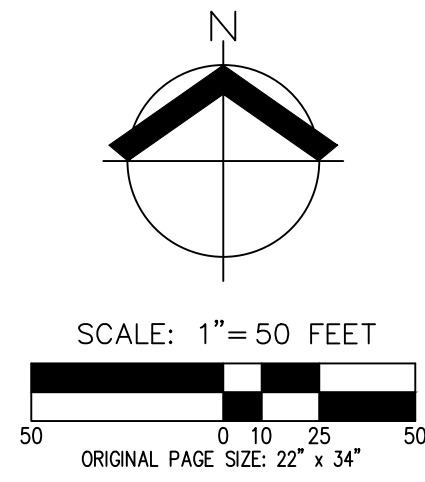
**PRELIMINARY SANITARY SEWER AND WATER PLAN
 OAK VILLAGE APARTMENTS
 41ST AVENUE LLC
 WOODLAND, WASHINGTON**



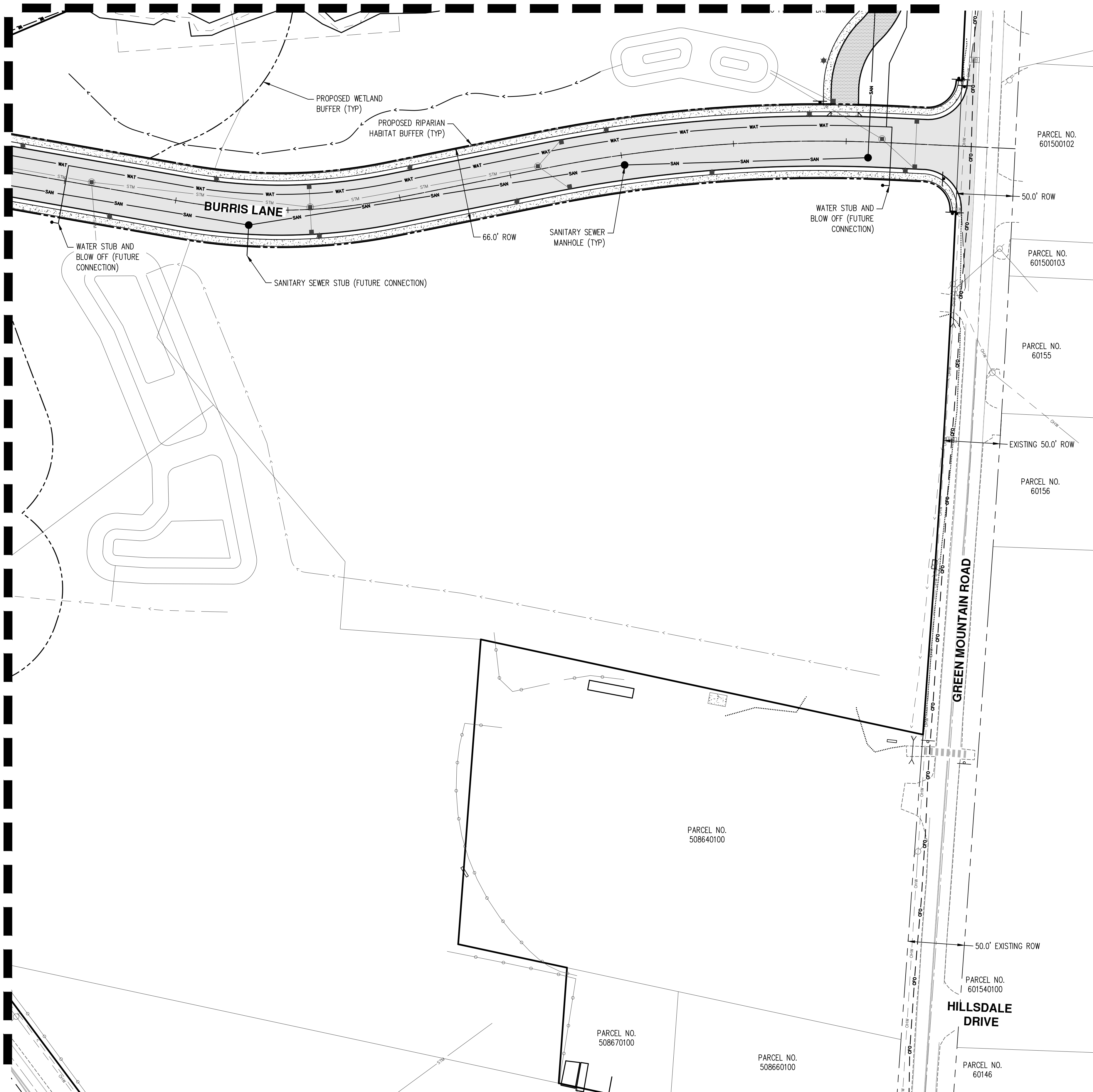
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P8.0

SEE SHEET P8.1



SEE SHEET P8.2



GENERAL NOTES

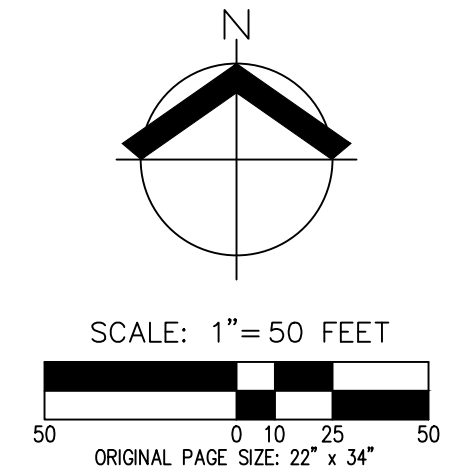
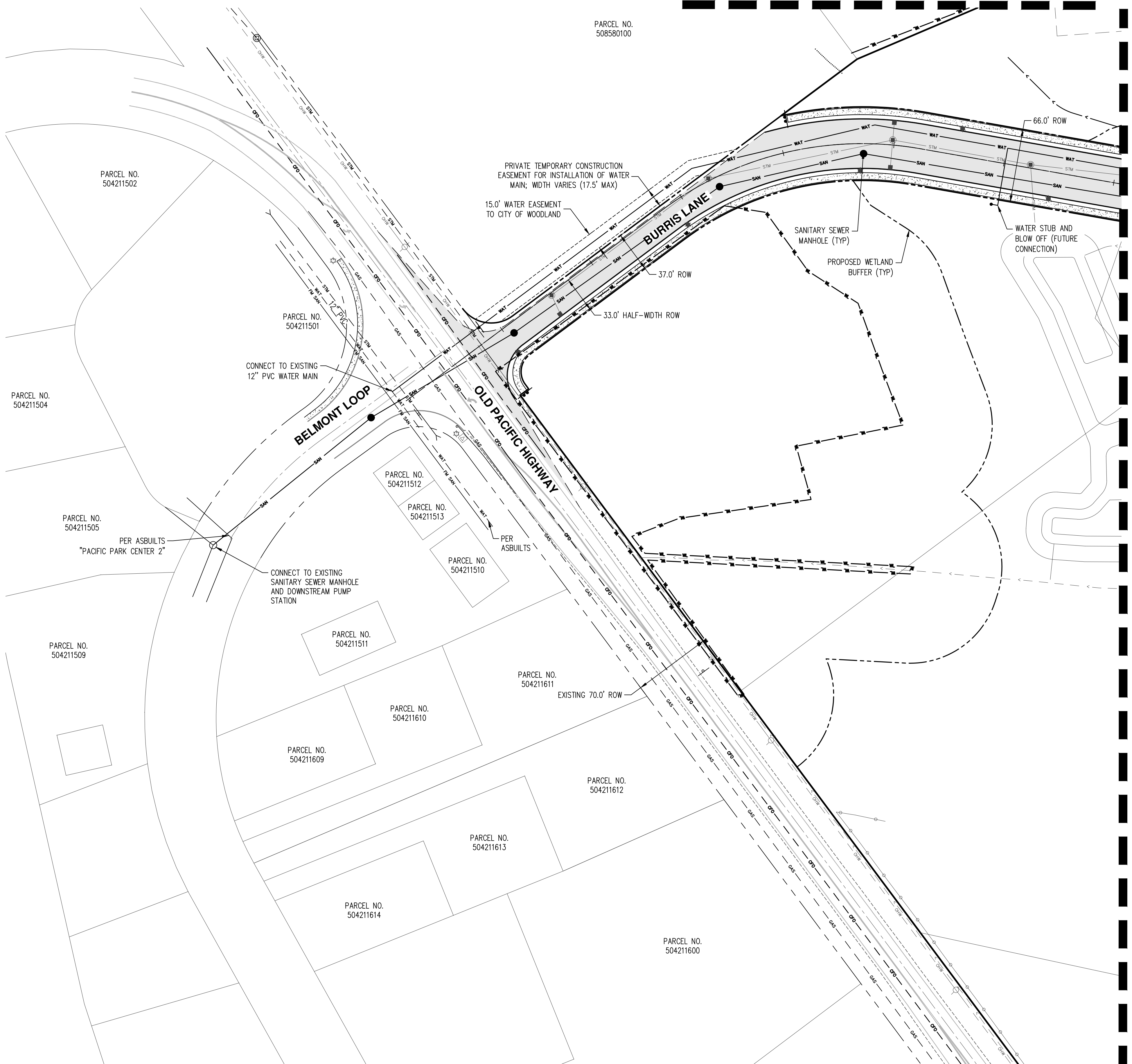
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PRELIMINARY SANITARY SEWER AND WATER PLAN
OAK VILLAGE APARTMENTS
41ST AVENUE LLC
WOODLAND, WASHINGTON



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SEE SHEET P8.0



SEE SHEET P8.1

GENERAL NOTES

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OAK VILLAGE APARTMENTS
41ST AVENUE LLC
WOODLAND, WASHINGTON

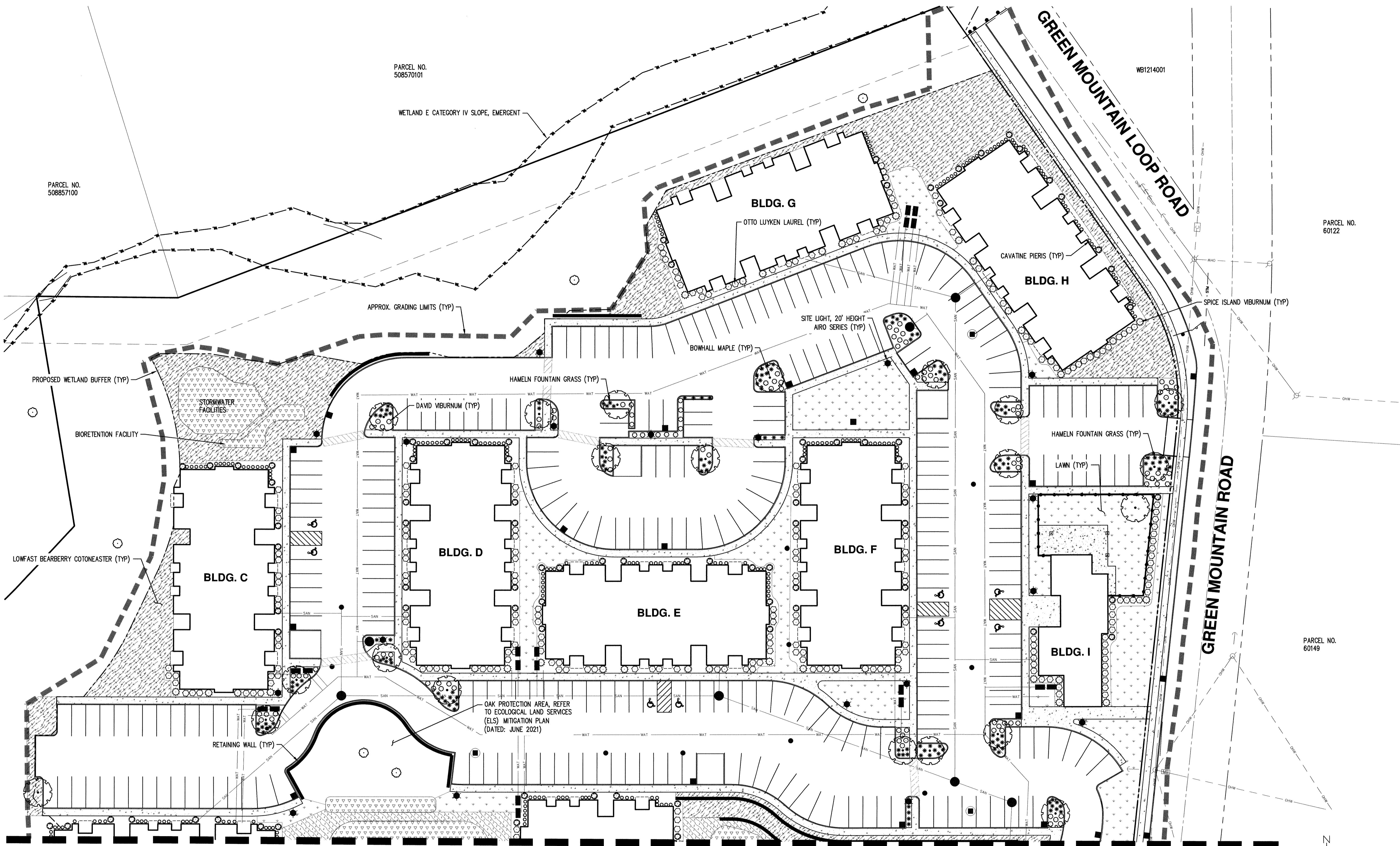


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P8.2

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AKS DRAWING FILE: 8344_P8_SAN SEWER WATER.DWG | LAYOUT: P8.2



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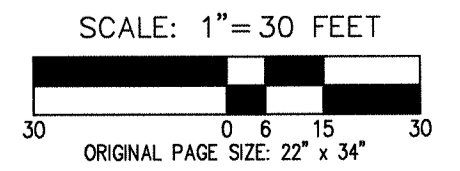
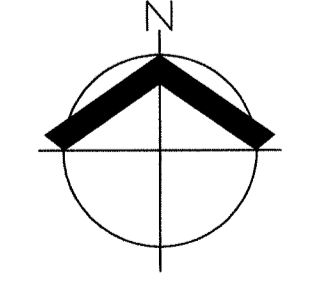
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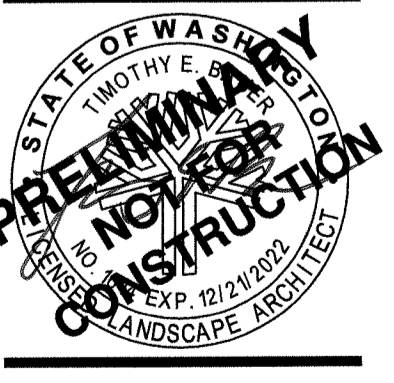
SEE SHEET P9.1

GENERAL NOTES

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2. ADA STALLS FRONTING THE BUILDINGS SHALL BE LIT WITH WALL PACK LIGHTS TO A STANDARD OF 1 FOOT CANDLE.
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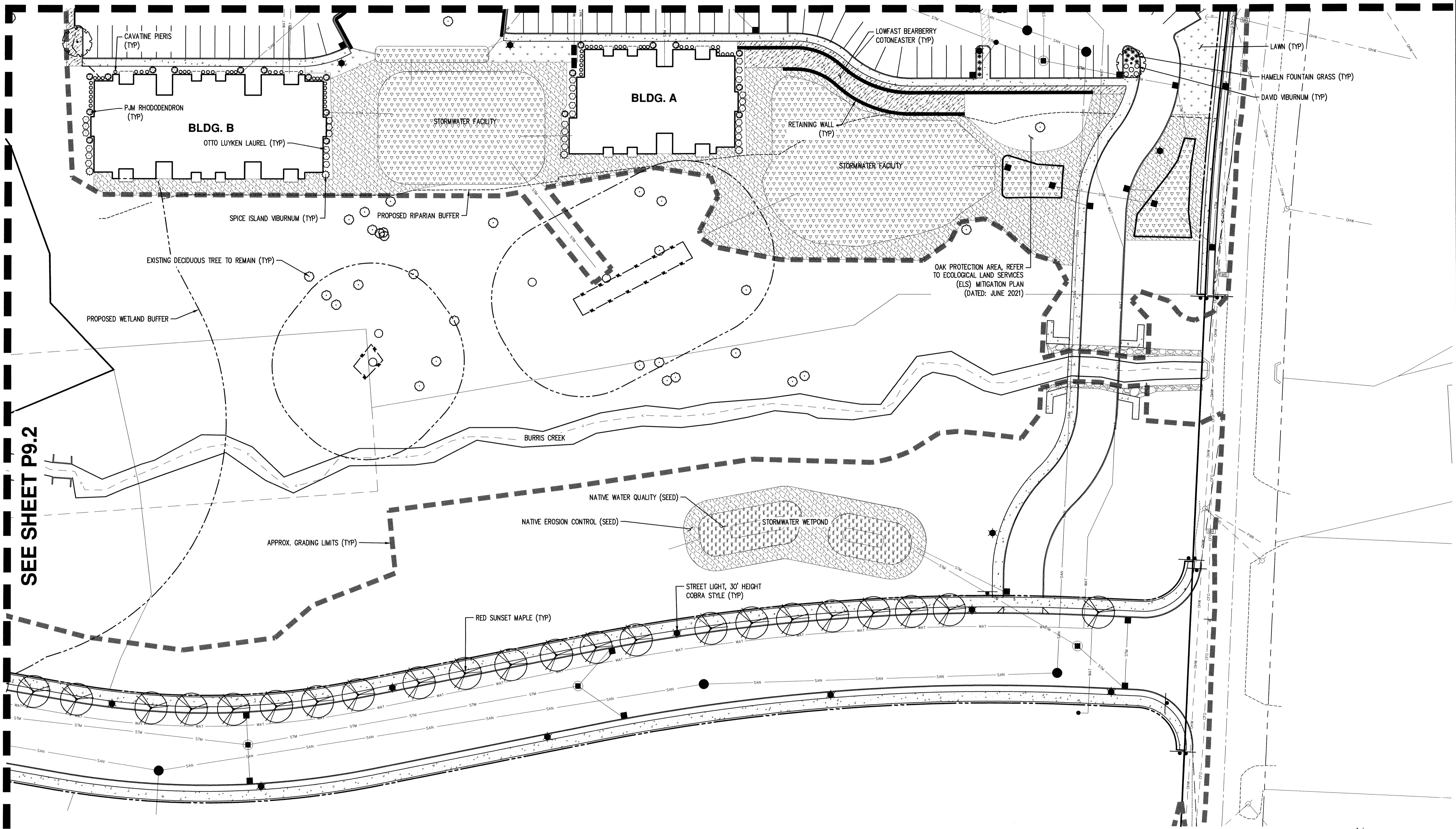


**PRELIMINARY LANDSCAPE AND LIGHTING PLAN
 OAK VILLAGE APARTMENTS
 41ST AVENUE LLC
 WOODLAND, WASHINGTON**



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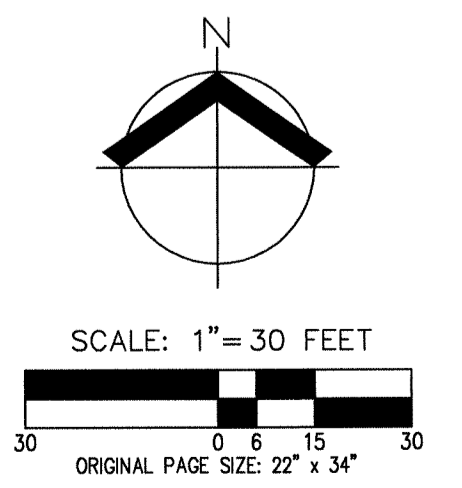
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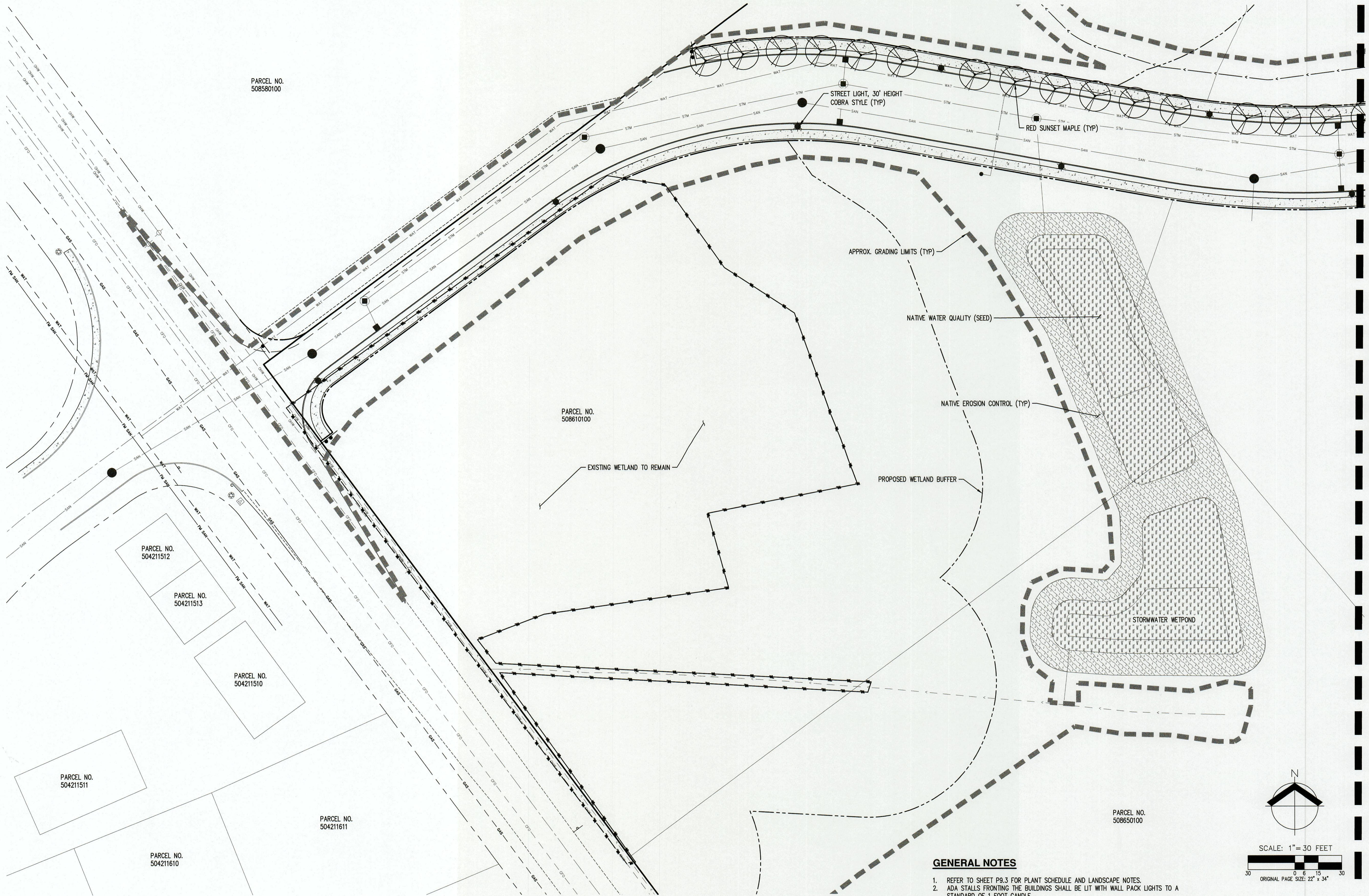
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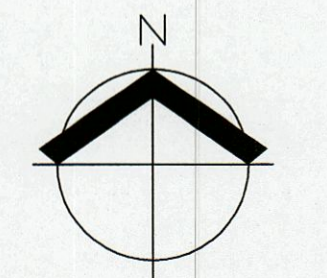


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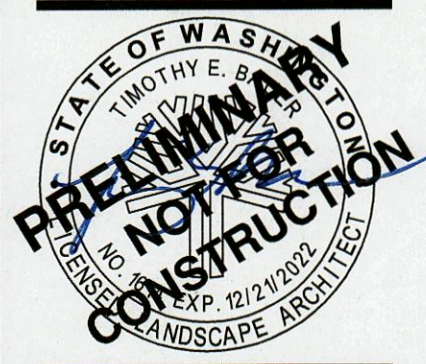
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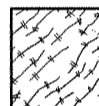
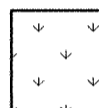
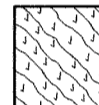


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PRELIMINARY PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
	32	ACER GRANDIDENTATUM 'SCHMIDT'	ROCKY MOUNTAIN GLOW MAPLE	2" CAL. B&B	AS SHOWN
	21	ACER RUBRUM 'BOWHALL'	BOWHALL RED MAPLE	2" CAL. B&B	AS SHOWN
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
*	151	PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	1 GAL. CONT.	30" o.c.
o	211	PIERIS JAPONICA 'CAVATINE'	CAVATINE JAPANESE PIERIS	2 GAL. CONT.	24" o.c.
⊙	246	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN ENGLISH LAUREL	2 GAL. CONT.	48" o.c.
⊗	88	RHODODENDRON X 'P.J.M.'	PJM RHODODENDRON	3 GAL. CONT.	48" o.c.
⊙	41	VIBURNUM CARLESII 'SPICE ISLAND'	SPICE ISLAND KOREANSPICE VIBURNUM	3 GAL. CONT.	60" o.c.
o	104	VIBURNUM DAVIDII	DAVID VIBURNUM	2 GAL. CONT.	36" o.c.
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE/CONTAINER	SPACING
	1,258	COTONEASTER DAMMERI 'LOWFAST'	LOWFAST BEARBERRY COTONEASTER	4" POTS	48" o.c.
	± 16,696 SF	LAWN – NORTHWEST SUPREME LAWN MIX – SUNMARK SEEDS (OR APPROVED EQUAL APPLICATION RATES) DASHER 3 PERENNIAL RYEGRASS (LOLIUM PERENNE VAR DASHER 3) 35%, CUTTIE II PERENNIAL RYEGRASS (LOLIUM PERENNE VAR CUTTIE II) 35%, GARNET CREEPING RED FESCUE (FESTUCA RUBRA VAR GARNET) 15%, MINDWARD CHEWINGS FESCUE (FESTUCA RUBRA SPP FALLAX VAR MINDWARD) 15% APPLY AT A RATE OF 8 LBS PER 1,000 SF OR AT RATE RECOMMENDED BY SUPPLIER. OBTAIN FROM SUNMARK SEEDS OR OTHER APPROVED SUPPLIER.			
	± 32,825 SF	NATIVE EROSION CONTROL MIX – SUNMARK SEEDS (OR APPROVED EQUAL APPLICATION RATES) MEADOW BARLEY (HORDEUM BRACHYANTHERUM) 40%, CALIFORNIA BROME (BROMUS CARINATUS) 35%, NATIVE RED FESCUE (FESTUCA RUBRA RUBRA) 20%, TUFTED HAIRGRASS (DESCHAMPSIA CAESPITOSA) 3%, SPIKE BENTGRASS (AGROSTIS EXERATA) 2% APPLY AT A RATE OF 1 LB PER 1,000 SF OR AT RATE RECOMMENDED BY SUPPLIER. OBTAIN FROM SUNMARK SEEDS OR OTHER APPROVED SUPPLIER.			
	± 17,711 SF	NATIVE WATER QUALITY – SUNMARK SEEDS (OR APPROVED EQUAL APPLICATION RATES) BLUE WILDRIE (ELYMUS GLAUCUS) 46%, NATIVE RED FESCUE FESTUCA RUBRA RUBRA) 38%, TUFTED HAIRGRASS (DESCHAMPSIA CAESPITOSA) 12%, WESTERN MANNAGRASS (GLYCERIA OCCIDENTALIS) 2%, AMERICAN SLOUGHGRASS (BECKMANNIA SYZIGACHNE) 2% APPLY AT A RATE OF 1 LB PER 1,000 SF OR AT RATE RECOMMENDED BY SUPPLIER. OBTAIN FROM SUNMARK SEEDS OR OTHER APPROVED SUPPLIER.			
		STORMWATER/BIORETENTION FACILITIES – TO BE PLANTED TO 1992 WESTERN WASHINGTON STORMWATER MANAGEMENT MANUAL STANDARDS			

PRELIMINARY LANDSCAPE NOTES

- LANDSCAPE PLAN IS PRELIMINARY AND INTENDED TO SHOW DESIGN INTENT ONLY. REVISIONS OR SUBSTITUTIONS TO PLANTINGS, INCLUDING CHANGES TO LOCATION, QUANTITIES, SPECIES, SIZES, SPACING, ETC. DUE TO UNFORESEEN SITE CONDITIONS, PLANT AVAILABILITY, ETC. MAY BE MADE WHERE ALLOWED BY CITY OF WOODLAND LANDSCAPE DESIGN STANDARDS, PRIOR TO FINAL APPROVAL.
- ALL PLANTS AND PLANTINGS SHALL CONFORM TO THE CITY OF WOODLAND DESIGN STANDARDS AND TO AMERICAN NURSERY STANDARDS ANSI Z60.1. PLANT IN ACCORDANCE WITH ACCEPTED BEST PRACTICE INDUSTRY STANDARDS SUCH AS THOSE ADOPTED BY THE WASHINGTON ASSOCIATION OF LANDSCAPE PROFESSIONALS (WALP).
- CENTER TREES IN PLANTER STRIPS AND LANDSCAPE PARKING ISLANDS WHERE POSSIBLE. KEEP OTHER TREE TRUNKS 3' O.C. MINIMUM FROM CURBS, SIDEWALKS, AND OTHER PAVING OR CENTERED IN PLANTING ISLAND. KEEP SHRUBS AND GROUNDCOVER A MINIMUM OF 24" O.C. FROM PAVING AND 3' O.C. FROM TREES. ADJUST PLANTINGS AS NECESSARY ON SITE TO AVOID CONFLICT WITH UTILITIES, HYDRANTS, LIGHT POLES, METERS, ETC.
- HATCHED AREAS ARE MEANT TO CONVEY GENERAL PLANT LOCATION. PLANT COVERAGE, SPACING, AND LAYOUT SHALL BE CONSISTENT WITH THE SPACING LISTED IN THE PLANT LEGEND FOR FULL COVERAGE.
- MULCH: APPLY 3" DEEP WELL-AGED MEDIUM GRIND OR SHREDDED DARK HEMLOCK BARK MULCH UNDER AND AROUND ALL TREES AND SHRUBS IN PLANTER STRIP AREAS AND IN AREAS SHOWN.
- ALL PLANTINGS SHALL BE WATERED USING AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. TO BE DESIGN BUILD BY LANDSCAPE CONTRACTOR.

PRELIMINARY LANDSCAPE PLANT SCHEDULE AND NOTES
OAK VILLAGE APARTMENTS
41ST AVENUE LLC
WOODLAND, WASHINGTON



JOB NUMBER:	8344
DATE:	06/24/2021
DESIGNED BY:	TEB/ZTN
DRAWN BY:	ZTN
CHECKED BY:	TEB