

FILE COPY

BP# PNC/6-252

OMB No. 1660-0008
 Expiration Date: November 30, 2018

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

JOB COPY

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

| SECTION A – PROPERTY INFORMATION | | | | FOR INSURANCE COMPANY USE | |
|---|------------------------|--|---|-------------------------------|---|
| A1. Building Owner's Name | | | | Policy Number: | |
| A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. <u>1805 Blacktail Lane</u> | | | | Company NAIC Number: | |
| City <u>Woodland</u> | | State <u>Washington</u> | | ZIP Code <u>98674</u> | |
| A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) <u>Lot 80, Meriwether PH 2 (Vol. 14, Pg. 103)</u> | | | | | |
| A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u> | | | | | |
| A5. Latitude/Longitude: Lat. <u>45°55'31.31"</u> Long. <u>-122°44'08.71"</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983 | | | | | |
| A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance. | | | | | |
| A7. Building Diagram Number <u>9</u> | | | | | |
| A8. For a building with a crawlspace or enclosure(s): | | | | | |
| a) Square footage of crawlspace or enclosure(s) <u>1,485</u> sq ft | | | | | |
| b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>2</u> | | | | | |
| c) Total net area of flood openings in A8.b <u>1,485</u> sq in MINIMUM | | | | | |
| d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | | | | |
| A9. For a building with an attached garage: | | | | | |
| a) Square footage of attached garage <u>400</u> sq ft | | | | | |
| b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>2</u> | | | | | |
| c) Total net area of flood openings in A9.b <u>400</u> sq in MINIMUM | | | | | |
| d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | | | | |
| SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION | | | | | |
| B1. NFIP Community Name & Community Number <u>City of Woodland 530035</u> | | | B2. County Name <u>Cowlitz</u> | | B3. State <u>Washington</u> |
| B4. Map/Panel Number <u>5301C0886</u> | B5. Suffix <u>G</u> | B6. FIRM Index Date <u>12/15/2016</u> | B7. FIRM Panel Effective/ Revised Date <u>12/15/2016</u> | B8. Flood Zone(s) <u>A</u> | B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) <u>37.4'</u> |
| B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input checked="" type="checkbox"/> FIS Profile <input type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____ | | | | | |
| B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____ | | | | | |
| B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA | | | | | |

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| | | | |
|--|---------------------|-------------------|----------------------------------|
| IMPORTANT: In these spaces, copy the corresponding information from Section A. | | | FOR INSURANCE COMPANY USE |
| Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1805 Blacktail Lane | | | Policy Number: |
| City Woodland | State Washington | ZIP Code 98674 | Company NAIC Number |

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: WSDOT/NOAA Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used

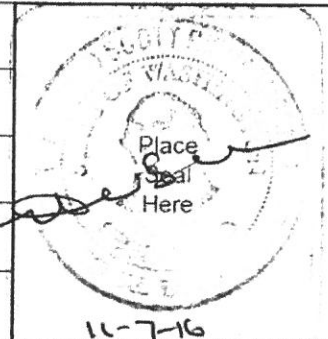
- a) Top of bottom floor (including basement, crawlspace, or enclosure floor) 36.9 feet meters
- b) Top of the next higher floor 38.4 feet meters
- c) Bottom of the lowest horizontal structural member (V Zones only) N/A feet meters
- d) Attached garage (top of slab) 37.7 feet meters
- e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments) 37.7 feet meters
- f) Lowest adjacent (finished) grade next to building (LAG) 35.8 feet meters
- g) Highest adjacent (finished) grade next to building (HAG) 36.6 feet meters
- h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support N/A feet meters

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

| | |
|--|-----------------------------|
| Certifier's Name Howard S. Richardson | License Number 38485 |
| Title PLS | |
| Company Name Olson Engineering, Inc. | |
| Address 222 E. Evergreen Blvd. | |
| City Vancouver | State Washington |
| | ZIP Code 98660 |
| Signature | Date 11-7-16 |
| | Telephone (360) 695-1385 |



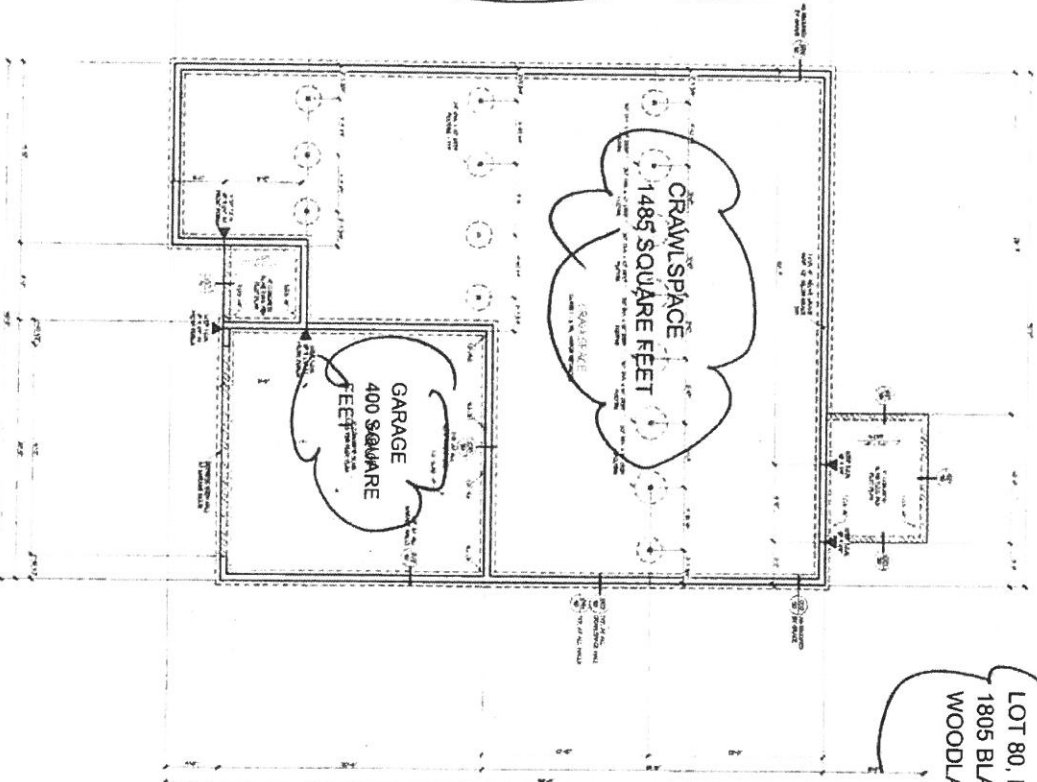
Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
A5 was taken from GoogleEarth. C2-elevations are based on fast static GPS observations on NOAA and WSDOT benchmarks and adjusted using OPUS. C2f & g are existing grades on the lot.

THE ENCLOSED AREA OF THE HOUSE TO BE BUILT AT 1805 BLACKTAIL LANE, WOODLAND, WA HAS A CRAWLSPACE AREA OF 1485 SQUARE FEET WHICH REQUIRES A MINIMUM OF 1485 SQUARE INCHES OF VENTING. THE GARAGE AREAS 400 SQUARE FEET WHICH REQUIRES A MINIMUM OF 400 SQUARE INCHES OF VENTING. THE VENTING MUST BE WITHIN 1' OF WITH THE INSIDE (CRAWSPACE) OR OUTSIDE GRADE AND LOCATED ON A MINIMUM OF 2 FOUNDATION WALLS.

I CERTIFY THAT THE BASE FLOOD ELEVATION AS DERIVED FROM THE FIRM (FLOOD INSURANCE RATE MAP) FOR THE CITY OF WOODLAND (530035) 53015C00886G BEARING THE DATE OF DECEMBER 16, 2016, ADOPTED BY THE CITY OF WOODLAND UNDER ORDINANCE NO. 1338 IS AN ELEVATION OF 37.4', AND THAT THE FINISH FLOOR ELEVATION ON THESE PLANS AS REQUIRED BY WOODLAND CITY CODE 14.40.050(B)(1)(a) WILL BE 38.4'. THESE ELEVATIONS ARE NAVD 1988 AS SHOWN ON THE PLAT RECORDED UNDER VOLUME 14, AT PAGE 103, RECORDS OF COMWLITZ COUNTY, WASHINGTON.

HOWARD S. RICHARDSON
PLS 38485



LOT 80, MERIWETHER PH2
1805 BLACKTAIL LANE
WOODLAND, WA 98674

| SCALE INFORMATION | |
|---|-----------|
| DATE | 1/11/2017 |
| DRAWN BY | ASST |
| CHECKED BY | ASST |
| DATE | 1/11/2017 |
| SCALE | AS SHOWN |
| CONSTRUCTION TOLERANCES | |
| FOUNDATION | ± 1/4" |
| CONCRETE | ± 1/4" |
| WOOD | ± 1/4" |
| MECHANICAL | ± 1/4" |
| ELECTRICAL | ± 1/4" |
| PLUMBING | ± 1/4" |
| FINISH | ± 1/4" |
| NOTES | |
| 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. | |
| 2. ALL FOUNDATION WALLS SHALL BE CONCRETE ON GRADE. | |
| 3. ALL FOUNDATION WALLS SHALL BE MINIMUM 12" THICK. | |
| 4. ALL FOUNDATION WALLS SHALL BE MINIMUM 4" REINFORCED. | |
| 5. ALL FOUNDATION WALLS SHALL BE MINIMUM 4" REINFORCED. | |
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FOUNDATION PLAN

FOUNDATION PLAN
ALL ELEVATIONS

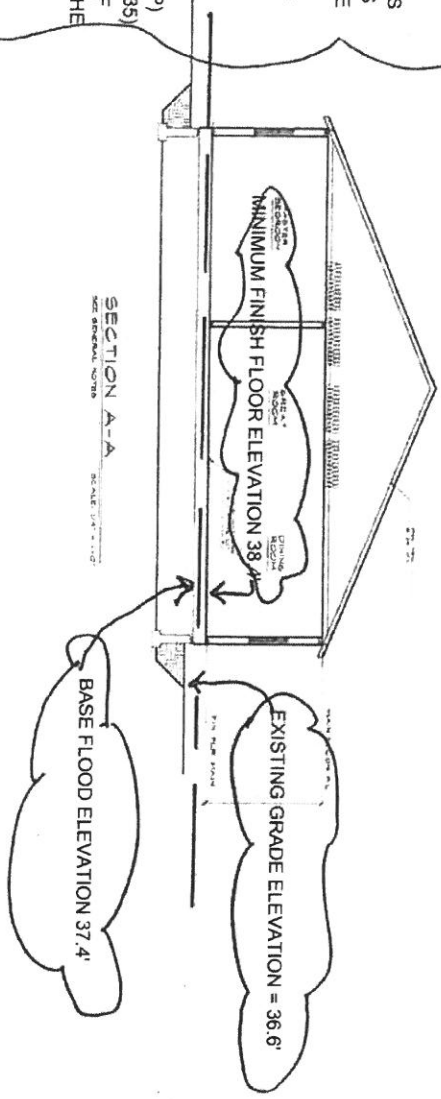
FELTENGROUP
204-949-5555
10111 LITTLE BLVD
KIRKLAND, WA 98043

1497
MERIWETHER
S1.1

THE ENCLOSED AREA OF THE HOUSE TO BE BUILT AT 1805 BLACKTAIL LANE, WOODLAND, WA HAS A CRAWLSPACE AREA OF 1485 SQUARE FEET WHICH REQUIRES A MINIMUM OF 1485 SQUARE INCHES OF VENTING. THE GARAGE AREA IS 400 SQUARE FEET WHICH REQUIRES A MINIMUM OF 400 SQUARE INCHES OF VENTING. THE VENTING MUST BE WITHIN 1' OF WITH THE INSIDE (CRAWSPACE) OR OUTSIDE GRADE AND LOCATED ON A MINIMUM OF 2 FOUNDATION WALLS.

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HOWARD S. RICHARDSON
PLS 38485



LOT 80, MERIWETHER PH2
1805 BLACKTAIL LANE
WOODLAND, WA 98674

| | | | |
|--|---|--|---|
| | project: 1805 BLACKTAIL LANE WOODLAND, WA | | 800 115TH AVE NE - BELLINGHAM, WA - 98201 425-854-1117 www.nash-associates.com |
| | DATE: 07/27/16 DRAWN BY: HSR CHECKED BY: HSR SCALE: 1/4" = 1'-0" | | |